



## **EXPLANATORY NOTE**

### **BY-LAW 2016-40**

**A By-law to amend By-law 177-96, as amended**

**Del Ridge (East Markham) Inc.**

**7325 Markham Rd**

**South-east corner of Markham Road and New Delhi Drive**

**CON 8 PT LT 3 65R15734 PT PT 1**

### **Lands Affected**

The proposed by-law amendment applies to a 2.2 hectare (5.5 acre) parcel of land located at the south-east corner of Markham Road and New Delhi Drive. The subject property is municipally known as 7325 Markham Road.

### **Existing Zoning**

The subject property is zoned “Community Amenity \*258 (Holding) [CA2\*258(H)]” under By-law 177-96, as amended.

### **Purpose and Effect**

The purpose of this By-law is to amend the above-noted Zoning By-law in order to rezone the subject property to “Community Amenity Two \*552 (CA2\*552)”, “Community Amenity Two \*553 (CA2\*553)” and “Open Space One (OS1)”.

The effect of the By-law is to permit two (2)- 8 storey apartment buildings with a total of 442 residential units which will be constructed in two (2) phases.



## BY-LAW 2016-40

### A By-law to amend By-law 177-96, as amended

---

The Council of the Corporation of the City of Markham hereby enacts as follows:

1.0 By-law 177-96, as amended, is hereby further amended as follows:

1.1 By rezoning the lands outlined on Schedule 'A' attached hereto as follows:

From

**Community Amenity Two \*258 (Holding) [CA2\*258(H)]**

to

**Community Amenity Two \*552 (CA2\*552)**

**Community Amenity Two \*553 (CA2\*553)**

**Open Space One (OS1)**

1.2 By adding the following subsections to Section 7 – EXCEPTIONS

**“7.552 Del Ridge (East Markham) Inc. at the south-east corner of Markham Road and New Delhi Drive – Phase 1**

Notwithstanding any other provisions of this By-law, the provisions in this Section shall apply to those lands denoted by the symbol \*552 on Schedule 'A' of this By-law.

**7.552.1 Special Zone Provisions**

The following special zone standards shall apply:

- a) Minimum setback from the south property line – 20m;
- b) Minimum setback for a one-storey parking ramp enclosure from the south property line – 5.5m;
- c) Minimum setback from any *public street*- 6m;
  - i) balconies are allowed to encroach a maximum of 5.2 m into the minimum setback from any public street;
- d) Minimum *landscaped open space* along south property line – 4m;
  - i) A retaining wall is permitted to encroach into the *landscaped open space*;
- e) Minimum *landscaped open space* adjoining any *public street* – 6m;
  - i) awnings, roof overhangs, open colonnades, canopies, uncovered platforms or stairs and balconies are allowed to encroach into the landscaped open space;
- f) Maximum *floor space index (FSI)* – 2.0;
- g) Maximum number of *apartment dwellings* – 261;
- h) Maximum number of *storeys* – 8;
- i) Maximum *height* – 30m.

- j) The minimum height requirements of Table B7 – Part 2 of 4 shall not apply;
- k) The applicant shall be required to enter into a Section 37 Agreement to secure provision of community facilities and services by the City.”

**“7.553 Del Ridge (East Markham) Inc. at the south-east corner of Markham Road and New Delhi Drive – Phase 2**

Notwithstanding any other provisions of this By-law, the provisions in this Section shall apply to those lands denoted by the symbol \*553 on Schedule ‘A’ of this By-law.

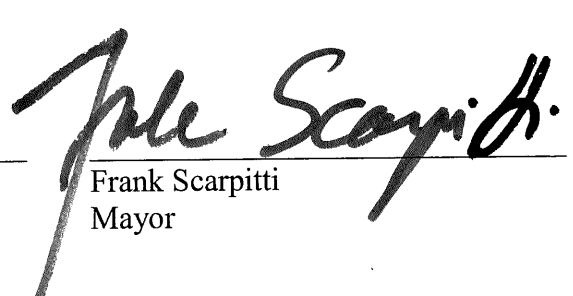
**7.553.1 Special Zone Provisions**

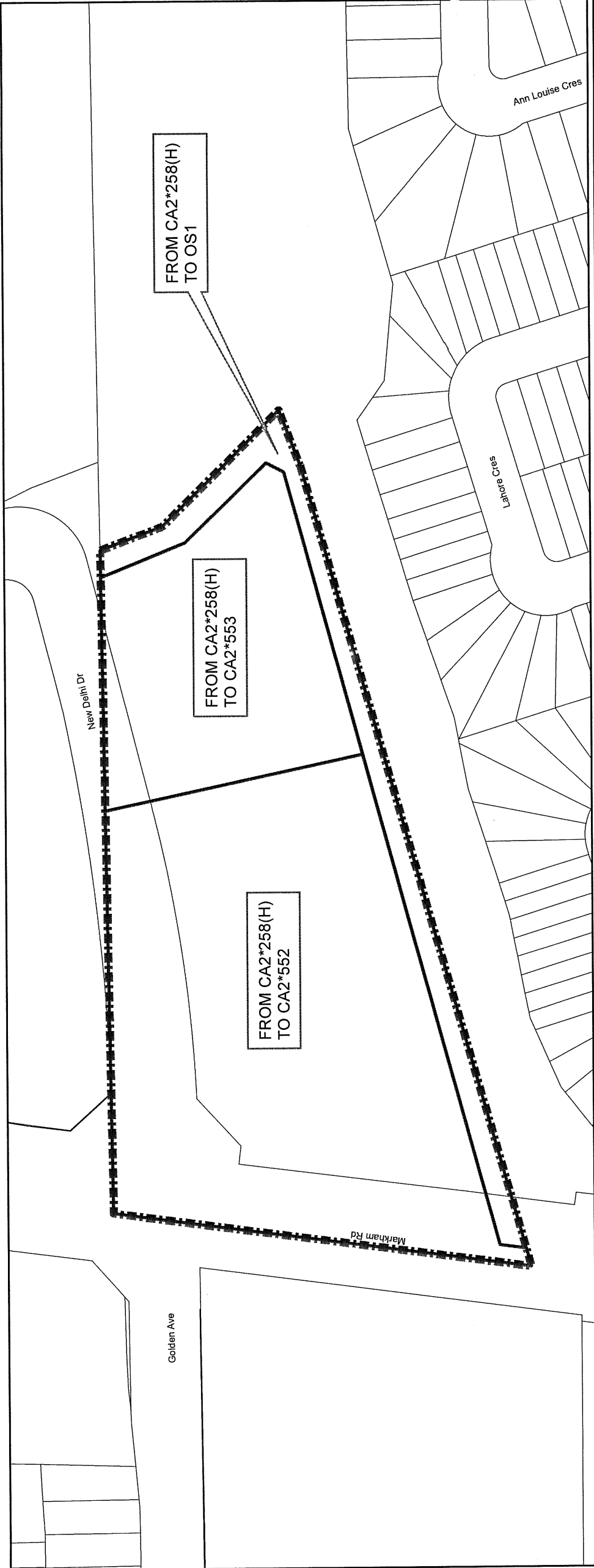
The following special zone standards shall apply:

- a) Minimum setback from the south property line – 7m;
- b) Minimum setback for a one-storey parking ramp enclosure from the south property line – 4.5m;
- c) Minimum setback from any *public street* – 6m;
  - i) balconies are allowed to encroach a maximum of 5.2m into the minimum setback from any public street;
- d) Minimum *landscaped open space* along the south and east property lines – 4m;
- e) Minimum *landscaped open space* adjoining any *public street*- 6m;
  - i) awnings, roof overhangs, open colonnades, canopies, uncovered platforms or stairs and balconies are permitted to encroach into the landscaped open space;
- f) Maximum *floor space index (FSI)* – 2.2;
- g) Maximum number of *apartment dwellings* – 181;
- h) Maximum number of *storeys* – 8;
- i) Maximum *height* – 30m;
- j) The minimum height requirements of Table B7 – Part 2 of 4 shall not apply;
- k) The applicant shall be required to enter into a Section 37 Agreement to secure provision of community facilities and services by the City.”

Read a first, second, and third time and passed on April 5, 2016.

  
Kimberly Kitteringham  
City Clerk

  
Frank Scarpitti  
Mayor



Q:\Geomatics\New Operation\By-Laws\ZA\ZA15133670\ZA15133670.mxd



# BY-LAW SCHEDULE "A" TO BY-LAW 2016-40

## AMENDING BY-LAW 177-96 DATED April 5, 2016

<input type="checkbox"/> <b>BOUNDARY OF AREA COVERED BY THIS BY-LAW SCHEDULE</b>	<input type="checkbox"/> <b>BOUNDARY OF ZONE DESIGNATION(S)</b>
<input type="checkbox"/> <b>CA2</b> <b>COMMUNITY AMENITY AREA TWO</b>	<input type="checkbox"/> <b>*(No)</b> <b>EXCEPTION NUMBER</b>
<input type="checkbox"/> <b>OS1</b> <b>OPEN SPACE</b>	<input type="checkbox"/> <b>(H)</b> <b>HOLDING PROVISION</b>

NOTE: This Schedule should be read in conjunction with the signed original By-Law filed with the City of Markham Clerk's Office