

**CITY OF MARKHAM**

**OFFICIAL PLAN AMENDMENT NO. 9**

To amend the City of Markham Official Plan 2014, as amended.

***DEL RIDGE (EAST MARKHAM) INC.***

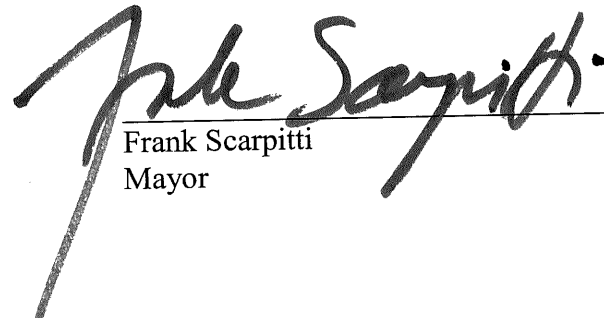
***(April, 2016)***

**CITY OF MARKHAM**

**OFFICIAL PLAN AMENDMENT NO. 9**

To amend the City of Markham Official Plan 2014, as amended.

This Official Plan Amendment was adopted by the Corporation of the City of Markham, By-law No. 2016-39 in accordance with the Planning Act, R.S.O., 1990 c.P.13, as amended, on the 5<sup>th</sup> day of April, 2016.

  
\_\_\_\_\_  
Kim Kitteringham  
City Clerk  
\_\_\_\_\_  
Frank Scarpitti  
Mayor



## By-law 2016-39

Being a by-law to adopt Amendment No. 9  
to the City of Markham Official Plan 2014, as amended


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THE COUNCIL OF THE CORPORATION OF THE CITY OF MARKHAM, IN  
ACCORDANCE WITH THE PROVISIONS OF THE PLANNING ACT, R.S.O.,  
1990 HEREBY ENACTS AS FOLLOWS:

1. THAT Amendment No. 9 to the City of Markham Official Plan 2014, as amended, attached hereto, is hereby adopted.
2. THAT this by-law shall come into force and effect on the date of the final passing thereof, after the "City of Markham Official Plan, Part 1" is in effect.

Read a first, second, and third time and passed on April 5, 2016.

  
\_\_\_\_\_  
Kim Kitteringham  
City Clerk

  
\_\_\_\_\_  
Frank Scarpitti  
Mayor

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## **PART I - INTRODUCTION**

(This is not an operative part of Official Plan Amendment No. 9)

## **PART I - I NTRODUCTION**

### **1.0 GENERAL**

- 1.1** PART I - INTRODUCTION, is included for information purposes and is not an operative part of this Official Plan Amendment.
- 1.2** PART II - THE OFFICIAL PLAN AMENDMENT, including Schedules “A”, “B” and “C” attached thereto, constitutes Official Plan Amendment No. 9. Part II is an operative part of this Official Plan Amendment.

### **2.0 LOCATION**

This Amendment applies to a 2.22 hectare (5.5 acre) parcel of land located at the south-east corner of Markham Road and New Delhi Drive, and municipally known as 7325 Markham Road.

### **3.0 PURPOSE**

The subject property is designated “Mixed Use Mid Rise” which allows a maximum overall density of up to 2.0 FSI (Floor Space Index). The purpose of this Official Plan Amendment is to increase the maximum density allowed on the subject property and to designate the 6 metre environmental buffer “Greenway” which is provided along the south and east property lines.

### **4.0 BASIS OF THIS OFFICIAL PLAN AMENDMENT**

The maximum net site density permitted through this amendment is supported by the proximity of the subject site to public transit and public amenities as well as the implementation of sustainable initiatives throughout the proposed development. An environmental buffer to the water channel to the south of the subject site is also provided.

## **PART II - THE OFFICIAL PLAN AMENDMENT**

(This is an operative part of Official Plan Amendment No. 9)

## PART II - THE OFFICIAL PLAN AMENDMENT

### 1.0 THE OFFICIAL PLAN AMENDMENT

- 1.1 Maps 1 and 2 and Appendices B and C of the Official Plan 2014, as amended, are hereby amended by adjusting the 'Greenway System' to include those lands shown on Schedule "A" attached hereto.
- 1.2 Map 3 - Land Use of the Official Plan 2014, as amended, is hereby amended by redesignating a portion of the subject lands as shown on Schedule "B" attached hereto.
- 1.3 Map 4 - Greenway System, Map 5 - Natural Heritage Features and Landforms and Map 6 - Hydrologic Features of the Official Plan 2014, as amended, are hereby amended by adding the subject lands as shown on Schedule "C" attached hereto to the "Other Greenway System Lands Including Certain Naturalized Stormwater Management Facilities" category.
- 1.4 Section 9.2 of the Official Plan 2014, as amended, is hereby amended by adding the following new Section 9.2.11 and a new Figure 9.2.11 as follows:
  - "9.2.11 7325 Markham Road  
The following density provisions shall apply to the 'Mixed Use Mid Rise' lands shown in Figure 9.2.11:
    - a) the maximum *floor space index* for the lands shown as 'A' (Phase 1) is 2.1;
    - b) the maximum *floor space index* for the lands shown as 'B' (Phase 2) is 2.6; and
    - c) the maximum *floor space index* for the combined 'A' and 'B' lands (Phases 1 and 2) is 2.3.



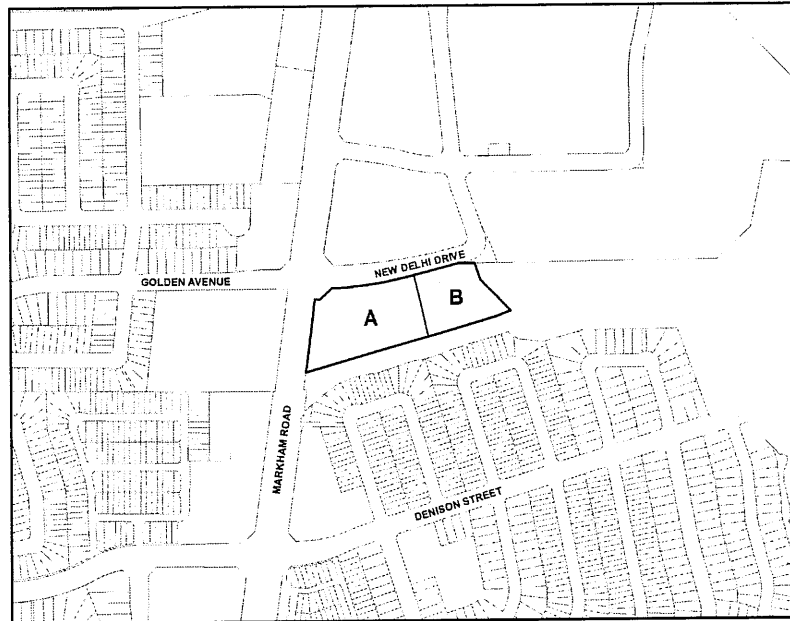


Figure 9.2.11”

- 1.2 Section 9.2.1 of the Official Plan 2014, as amended, is hereby amended by adding a new reference to Section 9.2.11 in Figure 9.2.1 as follows:

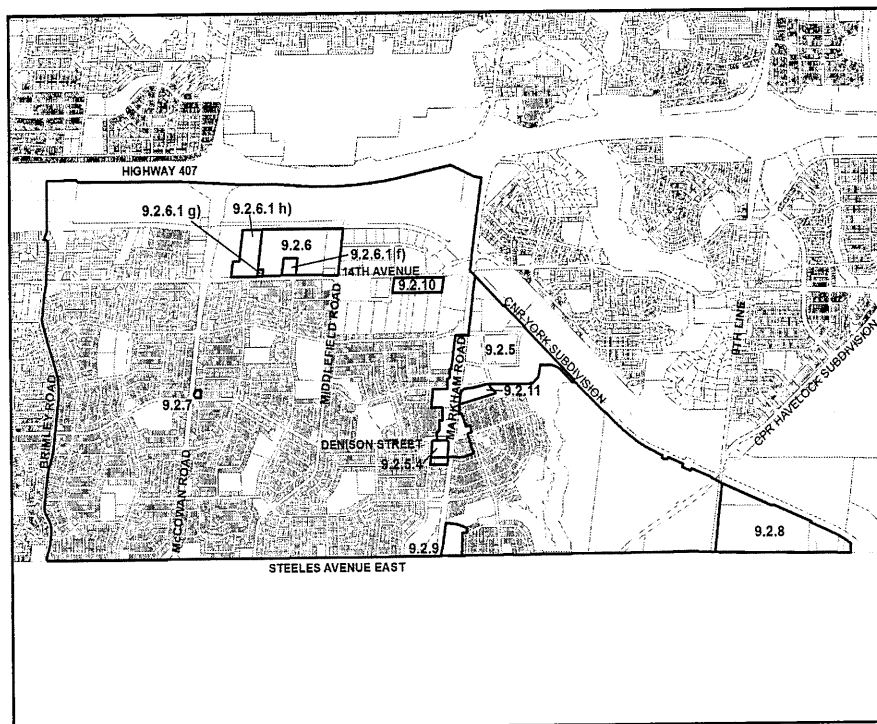


Figure 9.2.1

## 2.0 IMPLEMENTATION AND INTERPRETATION

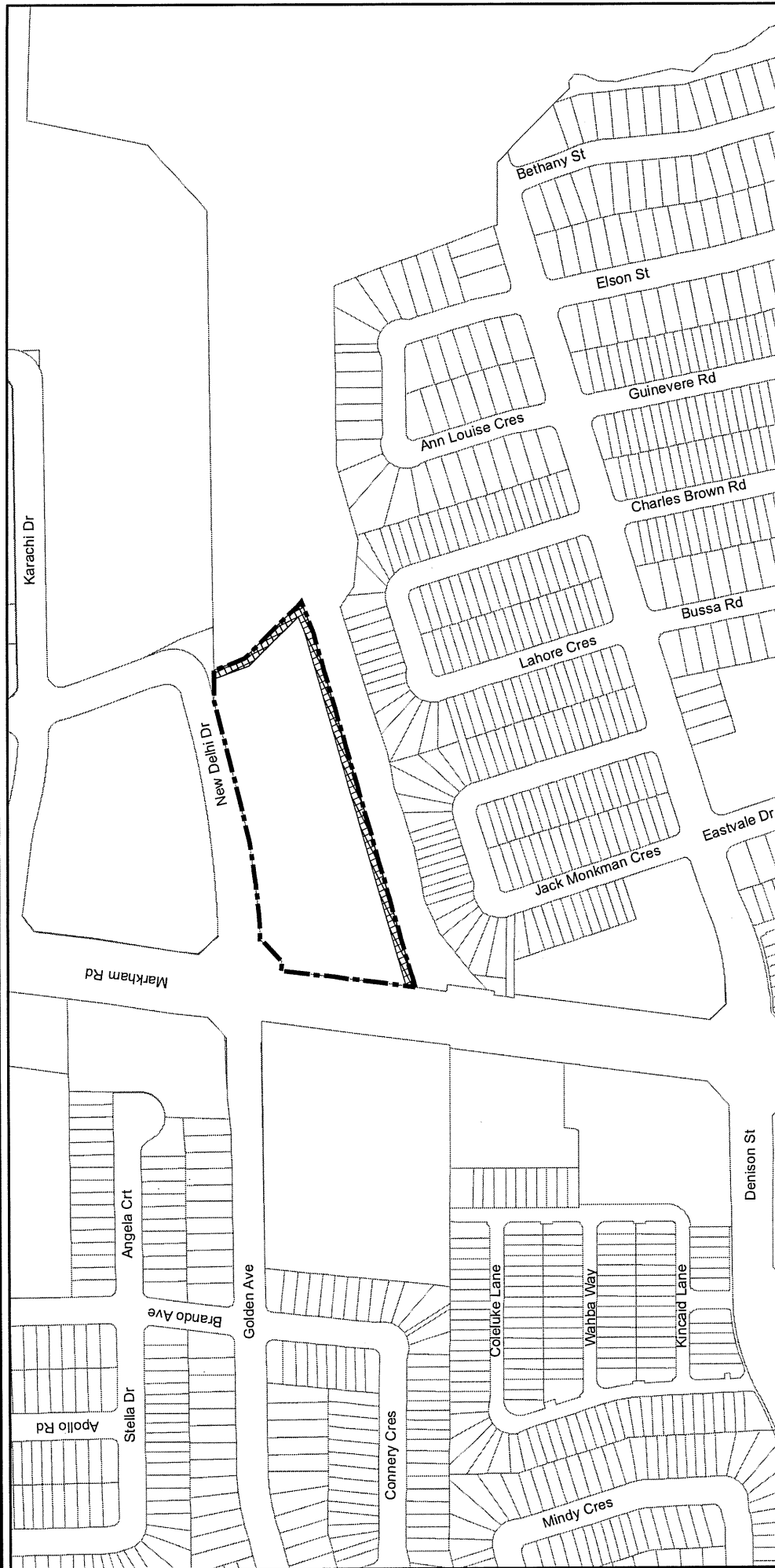
The provisions of the City of Markham Official Plan 2014, as amended, regarding the implementation and interpretation of the Plan, shall apply in regard to this Amendment, except as specifically provided for in this Amendment.

This Amendment shall be implemented by an amendment to the Zoning By-law and Site Plan Approval in conformity with the provisions of this Amendment.

This Amendment to the City of Markham Official Plan 2014, as amended, is exempt from the approval by York Region. Following adoption, notice of Council's decision will be given in accordance with the Planning Act, and the decision of Council is final, if a notice of appeal is not received before or on the last day for filing an appeal.

Prior to Council's decision becoming final, this Amendment may be modified to incorporate technical amendments to the text and map(s). Technical amendments are those minor changes that do not affect the policy or intent of the Amendment. For such technical amendments, the notice provisions of Section 10.7.5 of the City of Markham Official Plan 2014, as amended, shall apply.

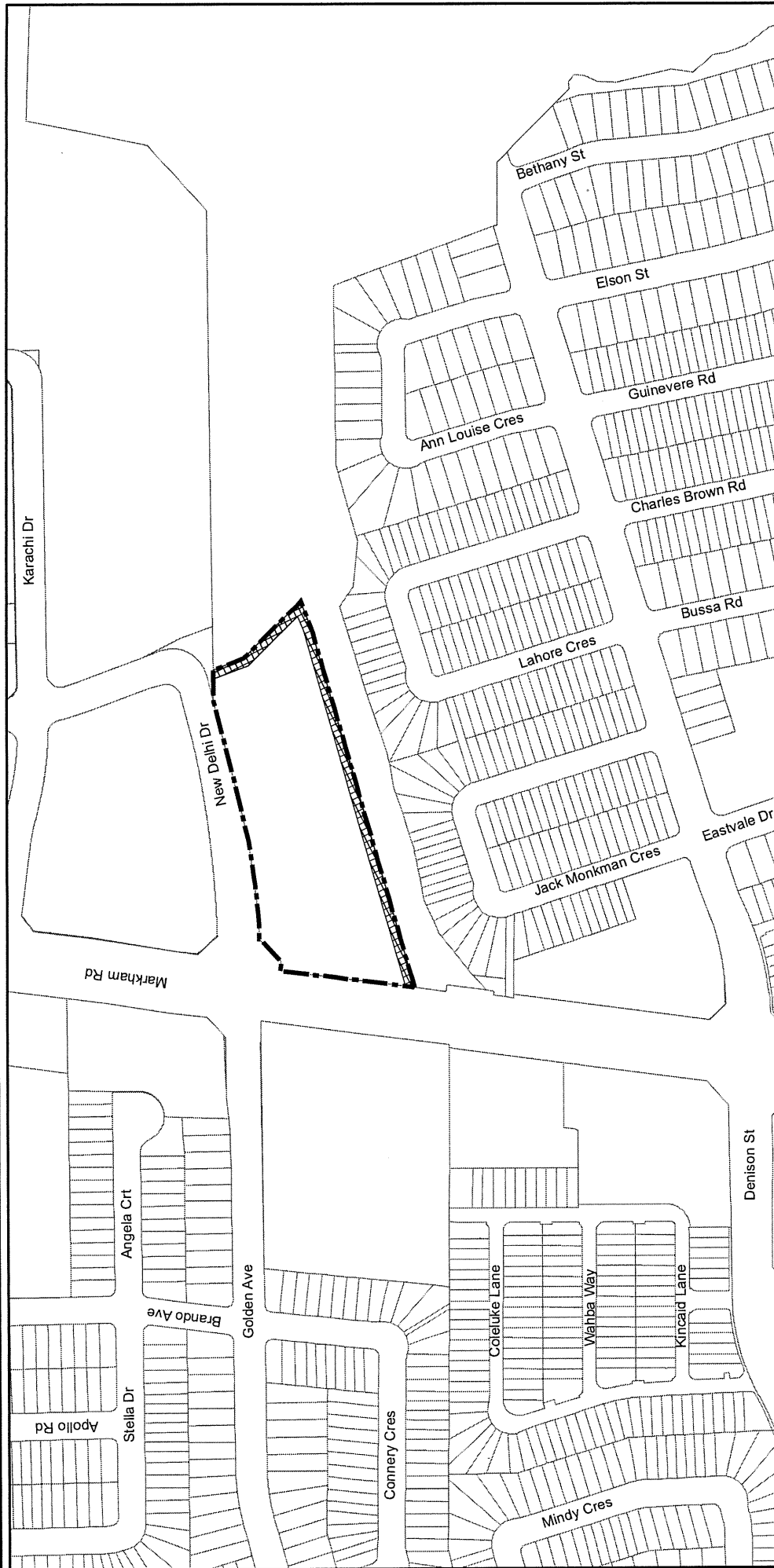
*(April 2016)*



# AMENDMENT TO CITY OF MARKHAM OFFICIAL PLAN (2014), as amended

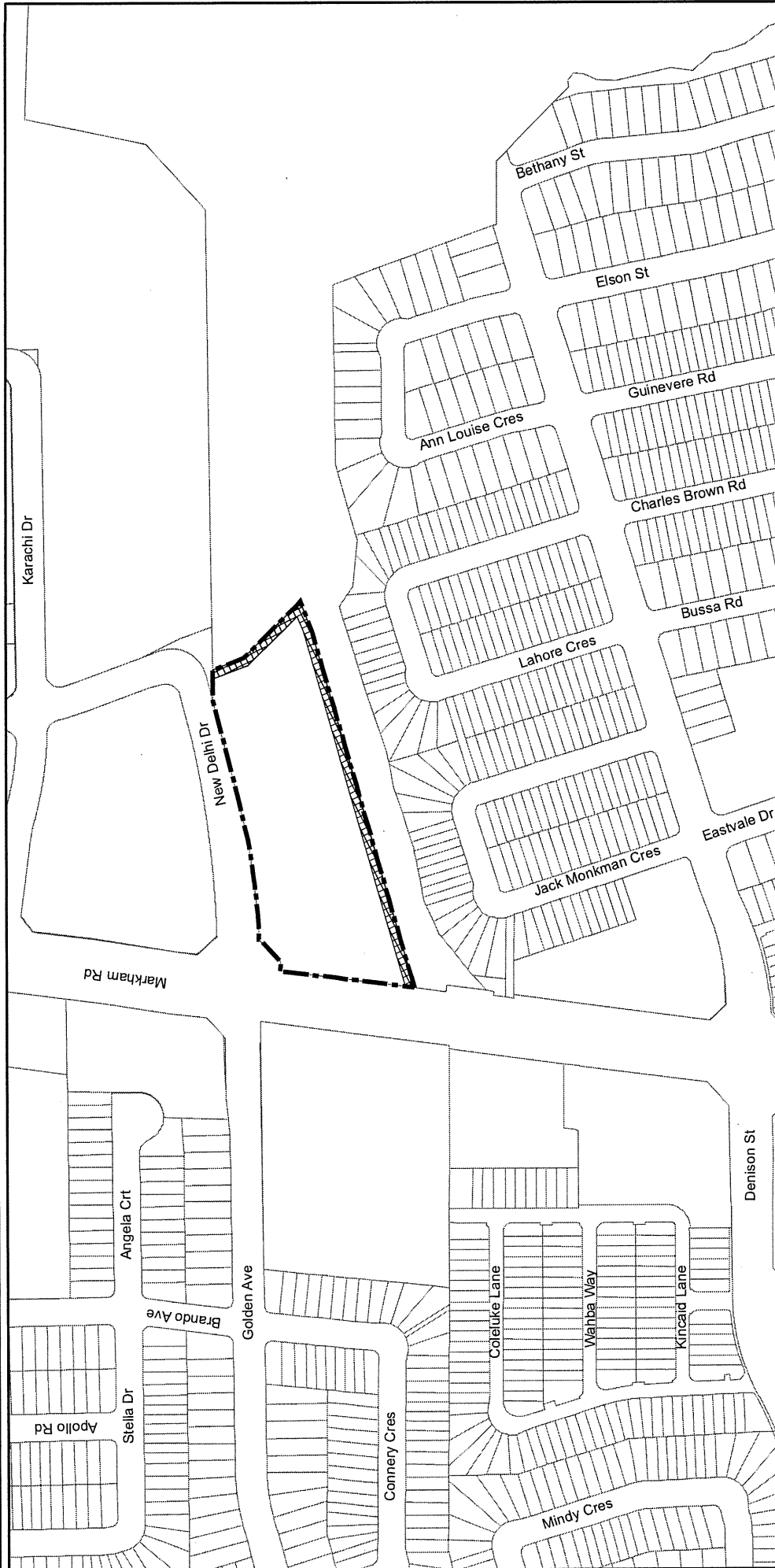
--- BOUNDARY OF AREA COVERED BY THIS AMENDMENT

▨ INCLUDE IN THE 'GREENWAY SYSTEM' ON MAPS 1 AND 2, AND APPENDICES B AND C



# AMENDMENT TO MAP 3 - LAND USE CITY OF MARKHAM OFFICIAL PLAN (2014), as amended

- BOUNDARY OF AREA COVERED BY THIS AMENDMENT
- FROM 'MIXED USE MID RISE' TO 'GREENWAY'



# AMENDMENT TO MAP 4 - GREENWAY SYSTEM, MAP 5 - NATURAL HERITAGE FEATURES AND LANDFORMS, AND MAP 6 - HYDROLOGIC FEATURES CITY OF MARKHAM OFFICIAL PLAN (2014), as amended

- BOUNDARY OF AREA COVERED BY THIS AMENDMENT
- ADD TO 'OTHER GREENWAY SYSTEM LANDS INCLUDING CERTAIN NATURALIZED STORMWATER MANAGEMENT FACILITIES'