

EXPLANATORY NOTE

BY-LAW 2011-56

A By-law to amend By-law 177-96, as amended

B. McGregor Developments Limited

57 and 59 Bridlefield Lane

Blocks 90 and 91, 65M-3168

Lands Affected

The proposed by-law amendment applies to 0.47 ha. (1.2 acres) located north of 16th Avenue, west of Stonebridge Drive municipally known as 57 and 59 Bridlefield Lane.

Existing Zoning

The lands are presently zoned Residential Two – Special*51 [R2-S*51] by By-law 177-96, as amended. The *51 provision permits a maximum of 2 dwelling units on the lands.

Purpose and Effect

The purpose of the by-law amendment is to rezone the lands from Residential Two - Special*51[R2-S*51] to Residential Two - Special*439 Hold [R2-S*439 (H)] and establish development standards.

The effect of the by-law amendment is to permit a 7 single detached residential unit common element condominium development on the lands.

The condition required to be met prior to removing the Hold (H) provision is that the Owner execute a development agreement to the satisfaction of the Town



BY-LAW 2011-56

A By-law to amend the New Urban Area Zoning By-law 177-96, as amended

THE COUNCIL OF THE CORPORATION OF THE TOWN OF MARKHAM
HEREBY ENACTS AS FOLLOWS:

1. By-law 177-96, as amended, is hereby further amended as follows:

- 1.1 By rezoning the lands from

Residential Two - Special*51 [R2-S*51] to
Residential Two - Special*439 Hold [R2-S*439 (H)]

as shown on Schedule 'A' attached hereto.

- 1.2 By adding the following subsection to Section 7 – EXCEPTIONS:

“7.439 Notwithstanding any other provisions of this By-law, the provisions in this section shall apply to those lands denoted by the symbol *439 on the schedule to this By-law. All other provisions of this By-law, unless specifically modified/amended by this section, continue to apply to the lands subject to this Section.

7.439.1 Only Uses Permitted

The following use is the only use permitted:

- a) *single detached dwellings*

7.439.2 Zone Standards

The following specific zone standards apply:

- a) Minimum *lot frontage* – 12.0m
 - b) Minimum required *rear yard* – 7.5m
 - c) Minimum required westerly *interior side yard* on Block 91, Plan 65M-3168 - 4.0m
 - d) Minimum width of a private *lane* – 8.5m

7.439.3 Special Site Provision

The following additional provisions apply:

- a) *lot frontage* is on a private *lane*

- 1.3 **Holding Provision:**

For the purpose of this By-law, a Holding '(H)' *zone* is hereby established and is identified on Schedule 'A' attached hereto by the letter '(H)' in parenthesis following the zoning symbol.

No person shall hereafter *erect* or *alter* any *building* or *structure* on lands subject to the '(H)' provision for the purpose permitted under this By-law until an amendment to this By-law to remove the letter '(H)' has come into effect pursuant to the provisions of Section 36 of the Planning Act.

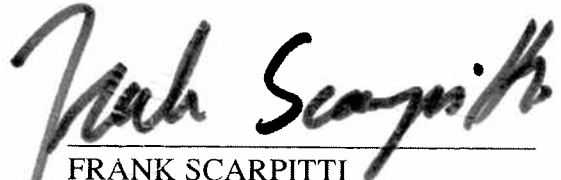
Prior to removing the 'H' Holding provision, the following condition must be met to the satisfaction of the Town of Markham:

- that the Owner execute a development agreement that secures all Town conditions including, but not limited to, noise attenuation, cash-in-lieu of parkland, open space conveyance and landscaping adjacent to 16th Avenue, tree preservation and associated letters of credit.”
2. All other provisions of By-law 177-96, as amended, not inconsistent with the provisions of this by-law shall continue to apply.

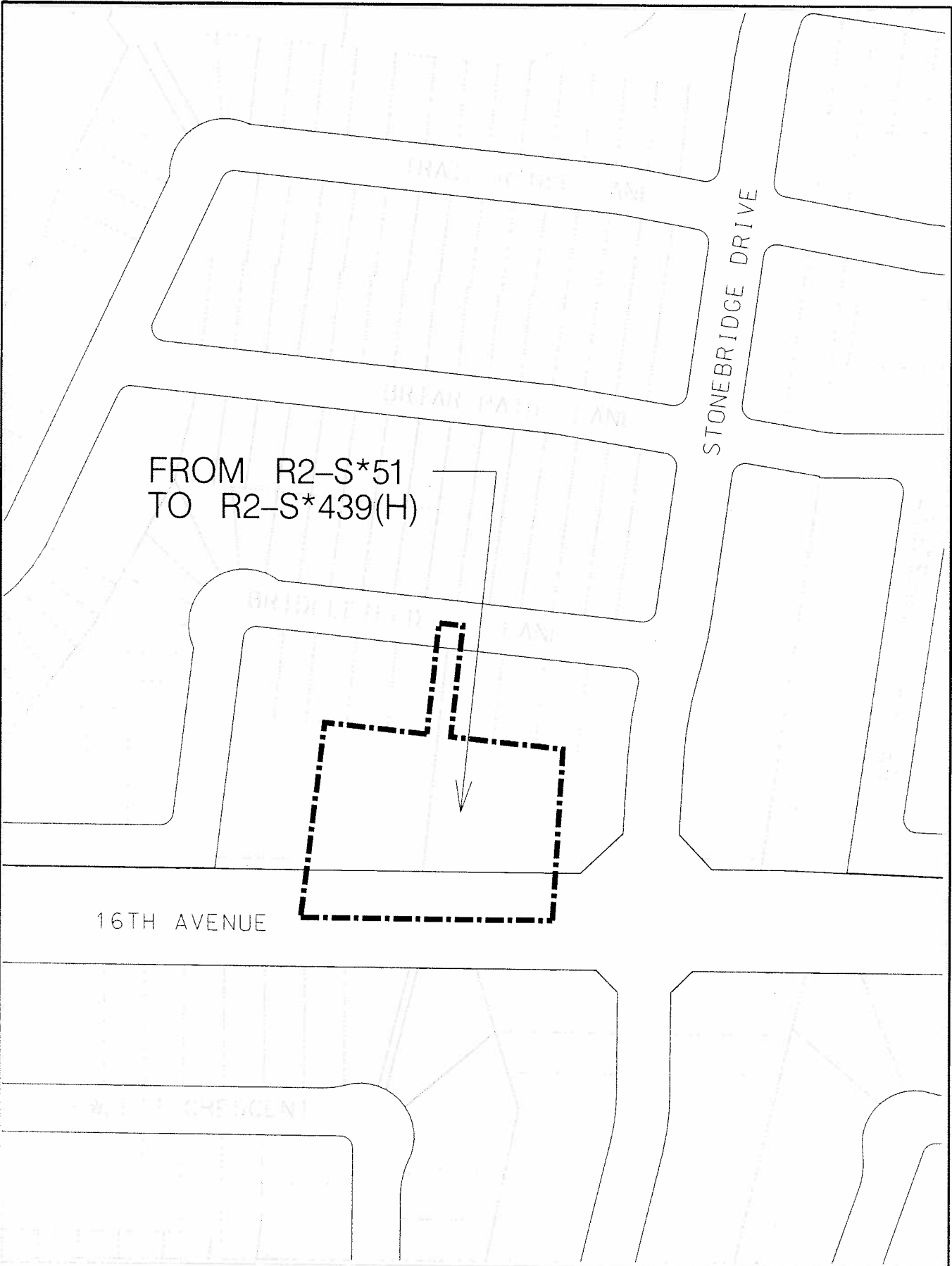
READ A FIRST, SECOND, AND THIRD TIME AND PASSED THIS
8TH DAY OF FEBRUARY, 2011.



KIMBERLEY KITTERINGHAM
TOWN CLERK



FRANK SCARPITTI
MAYOR



DEVELOPMENT SERVICES COMMISSION

A BY-LAW TO AMEND BY-LAW 177-96

--- BOUNDARY OF AREA COVERED BY THIS BY-LAW

R2-S RESIDENTIAL TWO-SPECIAL

(H)

HOLDING PROVISION

*No.

EXCEPTION SECTION NUMBER

THIS IS SCHEDULE 'A' TO BY-LAW 2011-56
PASSED THIS 8TH DAY FEB., 2011

Paul Senguth
MAYOR
[Signature]
CLERK

NOTE: 1) DIMENSIONS ARE IN METRES
2) REFERENCE SHOULD BE MADE TO
THE ORIGINAL BY-LAW LODGED IN
THE OFFICE OF THE CLERK

SCALE 1: 2000