

OFFICIAL PLAN
of the
TOWN OF MARKHAM PLANNING AREA
AMENDMENT NO. 192

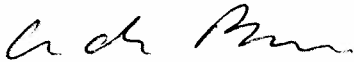
To amend the Official Plan (Revised 1987), as amended, and to incorporate Amendment
No. 15 to the Thornhill Secondary Plan (PD 3-1)
for the Thornhill Planning District (Planning District No. 3)

(Proctor Investments Limited)
(Registered Plan 2368, Part of Lots 28, 29 and 30, Concession 1)

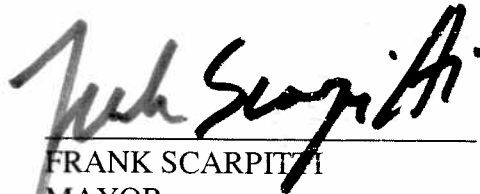
OFFICIAL PLAN
of the
MARKHAM PLANNING AREA
AMENDMENT NO. 192

To amend the Official Plan (Revised 1987) as amended and to incorporate Amendment No. 15 to the Thornhill Secondary Plan (PD 3-1) for the Thornhill Planning District (Planning District No. 3).

This Official Plan Amendment was adopted by the Corporation of the Town of Markham, By-law No. 2011-68 in accordance with the Planning Act, R.S.O., 1990 c.P.13, as amended, on the 1st day of March, 2011.



ANDREW BROUWER
DEPUTY TOWN CLERK



FRANK SCARPITTI
MAYOR



BY-LAW 2011-68

Being a by-law to adopt Amendment No. 192
to the Town of Markham Official Plan (Revised 1987) as amended

THE COUNCIL OF THE CORPORATION OF THE TOWN OF
MARKHAM, IN ACCORDANCE WITH THE PROVISIONS OF THE
PLANNING ACT, R.S.O., 1990 HEREBY ENACTS AS FOLLOWS:

1. THAT Amendment No. 192 to the Town of Markham Official Plan (Revised 1987), as amended, attached hereto, is hereby adopted.
2. THAT this by-law shall come into force and take effect on the date of the final passing thereof.

READ A FIRST, SECOND, AND THIRD TIME AND PASSED THIS
1ST DAY OF MARCH, 2011.

ANDREW BROUWER
DEPUTY TOWN CLERK

FRANK SCARPITTI
MAYOR

CONTENTS

PART I- INTRODUCTION

1. GENERAL	6
2. LOCATION	6
3. PURPOSE	6
4. BASIS	6

PART II – THE OFFICIAL PLAN AMENDMENT

1. THE OFFICIAL PLAN AMENDMENT	9
2. IMPLEMENTATION AND INTERPRETATION	9

PART III – THE SECONDARY PLAN AMENDMENT

1. THE SECONDARY PLAN AMENDMENT	11
2. IMPLEMENTATION AND INTERPRETATION	11
3. SCHEDULE A	

PART I – INTRODUCTION
(This is not an operative part of Official Plan Amendment No. 192)

PART I – INTRODUCTION

1.0 GENERAL

- 1.1 PART I – INTRODUCTION, is included for information purposes and is not an operative part of this Official Plan Amendment.
- 1.2 PART II- THE OFFICIAL PLAN AMENDMENT constitutes Official Plan Amendment No. 192 to the Official Plan (Revised 1987), as amended and is required to enact Amendment No.15 to the Thornhill Secondary Plan (PD 3-1) for the Thornhill Planning District (Planning District No. 3). Part II is an operative part of this Official Plan Amendment.
- 1.3 Part III –THE SECONDARY PLAN AMENDMENT, including Schedule ‘A’, constitutes Official Plan Amendment No. 192 to Thornhill Secondary Plan (PD 3-1) for the Thornhill Planning District (Planning District No. 3). This Secondary Plan Amendment may be identified by the symbol PD3-1-15. Part III is an operative part of this Official Plan Amendment.

2.0 LOCATION

The land subject to this Official Plan Amendment is 0.375 hectares (0.93 acres) in area and is located on the north side of Proctor Avenue, south of the CN Rail lands, west of Bayview Avenue and east of Henderson Avenue. The lands are legally known as Part of Lots 28, 29 and 30, Registered Plan Number 2368, Concession 1 and are municipally referred to as 34 Proctor Avenue.

3.0 PURPOSE

The purpose of this Official Plan Amendment is to:

- Redesignate the subject lands from ‘MEDIUM DENSITY HOUSING’ to ‘LOW DENSITY HOUSING’ in the Thornhill Secondary Plan (PD 3-1).

4.0 BASIS OF THIS OFFICIAL PLAN AMENDMENT

This Official Plan Amendment is intended to provide for the following development of the subject lands:

- Three single detached dwellings;
- A 20.0 metre wide open space buffer between the units and the CN Rail lands.

The proposed development is consistent with the policy intent of the Provincial “Places to Grow – Growth Plan for the Greater Golden Horseshoe 2006”, as well as Regional, municipal and community goals including:

- Efficient use of existing municipal services and infrastructure;
- Housing types compatible with existing forms within the established neighbourhood;
- Connectivity with the existing transportation network;
- Efficient access to public services and amenities.

Furthermore, the proposed 'LOW DENSITY HOUSING' designation facilitates a site design which creates a pedestrian friendly streetscape and is compatible with adjacent residential development. The proposed development is considered to be acceptable on the subject lands for the following reasons:

- Conforms to the residential intensification policies of Section 2.13.1 (m) and (n) in the Official Plan (revised 1987) including:
 - Providing infill residential development on vacant land or underutilized lands in an existing neighbourhood;
 - The type, size and scale of the proposed development is compatible with adjacent development;
 - Infrastructure can support the development, and
 - The required parking can be accommodated on site.
- The proposal conforms to the policies of Section 5.4.3 of the Thornhill Secondary Plan with respect to the compatibility with the character of the surrounding community. The proposed development will be compatible in terms of density, height, built form, parking capacity and landscaping.

The proposed development presents a compatible development in an established residential neighbourhood by providing a consistent building form which is pedestrian friendly and promotes the efficient use of underutilized land.

PART II – THE OFFICIAL PLAN AMENDMENT
(This is an operative part of Official Plan Amendment No. 192)

PART II-THE OFFICIAL PLAN AMENDMENT

1.0 THE OFFICIAL PLAN AMENDMENT

- 1.1 Section 1.1.2 of Part II of the Official Plan (Revised 1987), as amended, is hereby amended by the addition of the number 192 to the list of amendments, to be placed in numerical order including any required grammatical and punctuation changes.
- 1.2 Section 1.1.3 (c) of Part II of the Official Plan (Revised 1987) as amended, is hereby amended by the addition of the number 192 to the list of amendments listed in the second sentence of the bullet item dealing with the Thornhill Secondary Plan PD3-1, for the Thornhill Planning District, to be placed in numerical order including any required grammatical and punctuation changes prior to the words “to this Plan”.
- 1.3 Section 9.2.25 of Part II of the Official Plan (Revised 1987) as amended, is hereby amended by the addition of the number 192 to the list of amendments, to be placed in numerical order including any required grammatical and punctuation changes prior to the words “to this Plan”.
- 1.4 No additional changes to the text or schedules of the Official Plan (Revised 1987), as amended, are being made by this Amendment. This Amendment is also being made to incorporate changes to Schedule ‘AA’ and the text of the Thornhill Secondary Plan (PD 3-1) for Thornhill Planning District (Planning District No. 3). These changes are outlined in Part III which comprises Amendment No.15 to the Thornhill Secondary Plan (PD 3-1).

2.0 IMPLEMENTATION AND INTERPRETATION

The provisions of the Official Plan, as amended, regarding the implementation and interpretation of the Plan, shall apply in regard to this Amendment, except as specifically provided for in this Amendment.

This Amendment to the Official Plan (Revised, 1987) is exempt from the approval by the Region of York. Following adoption, notice of Council’s decision will be given in accordance with the Planning Act, and the decision of Council is final, if a notice of appeal is not received before or on the last day for filing an appeal.

Prior to Council’s decision becoming final, this Amendment may be modified to incorporate technical amendments to the text and schedule(s). Technical amendments are those minor changes that do not affect the policy or intent of the Amendment. For such technical amendments, the notice provisions of Section 7.13(c) of Part II of the Official Plan (Revised, 1987) shall not apply.

PART III – THE SECONDARY PLAN AMENDMENT (PD 3-1-15)
(This is an operative part of Official Plan Amendment No. 192)

PART III – THE SECONDARY PLAN AMENDMENT (PD 3-1-15)

1.0 THE SECONDARY PLAN AMENDMENT

(Amendment No.15 to the Thornhill Secondary Plan PD3-1)

The Secondary Plan (PD3-1) for the Thornhill Planning District is hereby amended as follows:

1.1 Schedule 'AA' – LAND USE PLAN is hereby amended by redesignating the lands on the north side of Proctor Avenue, south of CN Rail and east of Henderson Avenue from MEDIUM DENSITY HOUSING to LOW DENSITY HOUSING, as shown on Schedule 'A' attached hereto.

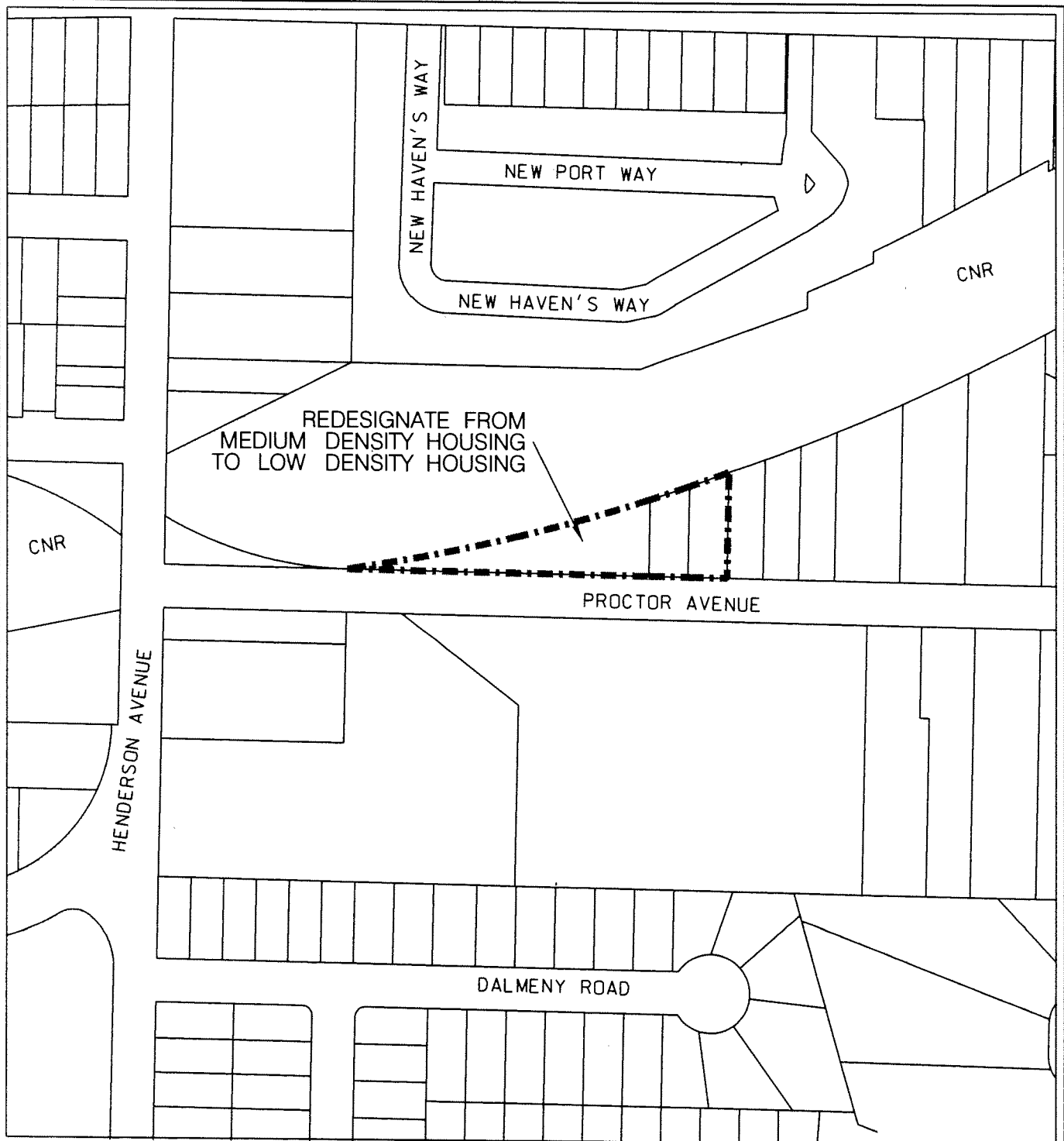
1.2 Section 5.6.7 (created by OPA No. 158) is hereby deleted in its entirety.

2.0 IMPLEMENTATION AND INTERPRETATION


The provisions of the Official Plan, as amended, regarding the implementation and interpretation of the Plan, shall apply in regard to this Amendment.

This Amendment to the Official Plan (Revised, 1987) is exempt from the approval by the Region of York. Following adoption, notice of Council's decision will be given in accordance with the Planning Act, and the decision of Council is final, if a notice of appeal is not received before or on the last day for filing an appeal.


Prior to Council's decision becoming final, this Amendment may be modified to incorporate technical amendments to the text and schedule(s). Technical amendments are those minor changes that do not affect the policy or intent of the Amendment. For such technical amendments, the notice provisions of Section 7.13(c) of Part II of the Official Plan (Revised, 1987) shall not apply.



AMENDMENT TO SCHEDULE 'AA'— LAND USE PLAN
OF THE THORNHILL SECONDARY PLAN PD 3-1 FOR
THE THORNHILL PLANNING DISTRICT No. 3

 BOUNDARY OF AREA COVERED BY THIS AMENDMENT



 MARKHAM DEVELOPMENT SERVICES COMMISSION	SCHEDULE 'A' TO OPA No. 192	PD 3-1-15	DRAWN BY:DD CHECKED BY:GD	SCALE:3000 DATE:02/14/11
-----------------------------------------------------------------------------------------------------------------------------	-----------------------------	-----------	------------------------------	-----------------------------