

## EXPLANATORY NOTE

### BY-LAW NO.

A By-law to amend By-law 304-87, as amended

### **Wismer Markham Developments Inc.**

### **Part of Lots 19 and 20, Concession 7**

The proposed by-law amendment applies to two parcels of land comprising a total of 6 hectares (15 acres) located within the Wismer Commons community as follows:

- northwest of Castlemore Avenue and Kindy Street
- southwest of Castlemore Avenue and Hammersly Boulevard

The lands are presently zoned Agriculture (A1) by By-law 304-87, as amended.

The purpose and effect of the by-law amendment is to delete the lands from the designated area of By-law 304-87.

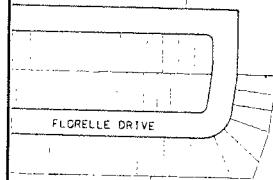
A by-law to amend Rural Area Zoning By-law 304-87, as amended  
*(To delete lands from the designated area of this By-law)*

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THE COUNCIL OF THE CORPORATION OF THE TOWN OF MARKHAM  
HEREBY ENACTS AS FOLLOWS:

1. THAT By-law 304-87, as amended, is hereby further amended by deleting the lands in Lots 19 and 20, Concession 7, as shown on Schedules 'A' and 'B' attached hereto, from the designated area of By-law 304-87, as amended.
2. This by-law shall not come into effect until By-law **XXXXXX** amending By-law 177-96, as amended comes into effect and the lands, as shown on Schedules 'A' and 'B' attached hereto, are incorporated into the designated area of By-law 177-96, as amended.
3. All other provisions of By-law 304-87, as amended, not inconsistent with the provisions of this by-law shall continue to apply

MAJOR MACKENZIE DRIVE EAST



HYACINTH STREET

BEGONIA STREET

GREENSPIRE AVENUE

SCHOOL

FRED MCLAREN BLVD

STOTTS CRESCENT

KINDY STREET

MINGAY AVENUE

CASTLEMORE AVE

HOUSER STREET

ATHART STREET



DEVELOPMENT SERVICES COMMISSION

# A BY-LAW TO AMEND BY-LAW 304-87



BOUNDARY OF AREA COVERED BY THIS BY-LAW

THIS IS SCHEDULE 'A' TO BY-LAW .....  
PASSED THIS ..... DAY .....

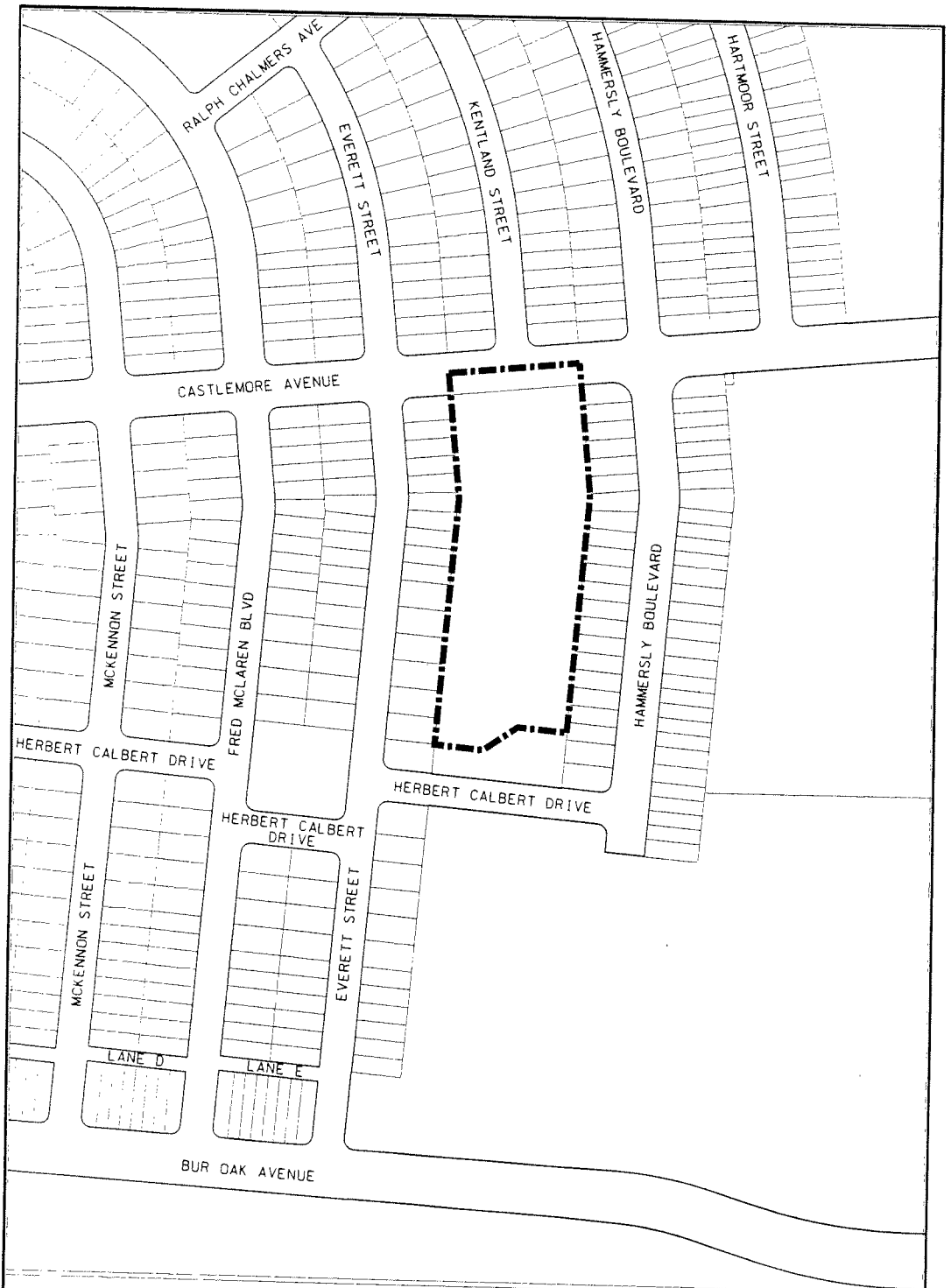
.....MAYOR

.....CLERK

NOTE: 1) DIMENSIONS ARE IN METRES  
2) REFERENCE SHOULD BE MADE TO  
THE ORIGINAL BY-LAW LODGED IN  
THE OFFICE OF THE CLERK

SCALE 1: 4000

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# A BY-LAW TO AMEND BY-LAW 304-87

--- BOUNDARY OF AREA COVERED BY THIS BY-LAW

THIS IS SCHEDULE 'B' TO BY-LAW .....  
 PASSED THIS ..... DAY .....  
 ..... MAYOR  
 ..... CLERK

NOTE: 1) DIMENSIONS ARE IN METRES  
 2) REFERENCE SHOULD BE MADE TO  
 THE ORIGINAL BY-LAW LODGED IN  
 THE OFFICE OF THE CLERK

SCALE 1: 2700

## EXPLANATORY NOTE

### BY-LAW NO.

A By-law to amend By-law 177-96, as amended

### **Wismer Markham Developments Inc.**

### **Part of Lots 19 and 20, Concession 7**

The proposed by-law amendment applies to two parcels of land comprising a total of 6 ha. (15 acres) located within the Wismer Commons community as follows:

- northwest of Castlemore Avenue and Kindy Street
- southwest of Castlemore Avenue and Hammersly Boulevard

The lands are presently zoned Agriculture (A1) by By-law 304-87, as amended.

The purpose of the by-law amendment is to incorporate the lands into the designated area of By-law 177-96, and zone them Residential One (R1-F15\*123) Zone, Residential Two (R2\*99) Zone, Residential Two - Special (R2-S\*99) Zone, Residential Two (R2\*185) Zone and Residential Two - Special (R2-S\*185) Zone.

The effect of the by-law amendment will be to permit the lands to be developed for residential purposes.

A by-law to amend Urban Expansion Area  
Zoning By-law 177-96, as amended  
*(To incorporate lands into the designated area of this By-law)*

THE COUNCIL OF THE CORPORATION OF THE TOWN OF MARKHAM  
HEREBY ENACTS AS FOLLOWS:

1. THAT By-law 177-96, as amended, is hereby further amended as follows:
  - 1.1 By expanding the designated area of By-law 177-96 to include the lands in Lots 19 and 20, Concession 7, as shown on Schedules 'A' and 'B' attached hereto.
  - 1.2 By zoning the lands  
  
Residential One (R1-F15\*123) Zone  
Residential Two (R2\*99) Zone  
Residential Two (R2\*185) Zone  
Residential Two - Special (R2-S\*99) Zone  
Residential Two - Special (R2-S\*185) Zone  
  
as shown on Schedules 'A' and 'B' attached hereto.
2. All other provisions of By-law 177-96, as amended, not inconsistent with the provisions of this by-law shall continue to apply.

MAJOR MACKENZIE DRIVE EAST

FROM A1 (BL 304-87)  
TO R2\*99 (BL 177-96)

FROM A1 (BL 304-87)  
TO R2-S\*99 (BL 177-96)

FLORELLE DRIVE

HYACINTH  
STREET

BECONIA  
STREET

GREENSPIRE  
AVENUE

FROM A1 (BL 304-87)  
TO R2\*99 (BL 177-96)

FROM A1 (BL 304-87)  
TO R1-F15\*123 (BL 177-96)

SCHOOL

FRED MCLAREN BLVD

STOTTS CRESCENT

MINGAY AVENUE

CASTLEMORE AVE

HOUSER STREET

ATHART STREET



DEVELOPMENT SERVICES COMMISSION

## A BY-LAW TO AMEND BY-LAW 177-96



BOUNDARY OF AREA COVERED BY THIS BY-LAW



ZONE BOUNDARY

A1

AGRICULTURE ONE

R1

RESIDENTIAL ONE

R2

RESIDENTIAL TWO

R2-S

RESIDENTIAL TWO-SPECIAL

\*No.

EXCEPTION SECTION NUMBER

THIS IS SCHEDULE 'A' TO BY-LAW .....  
PASSED THIS ..... DAY .....

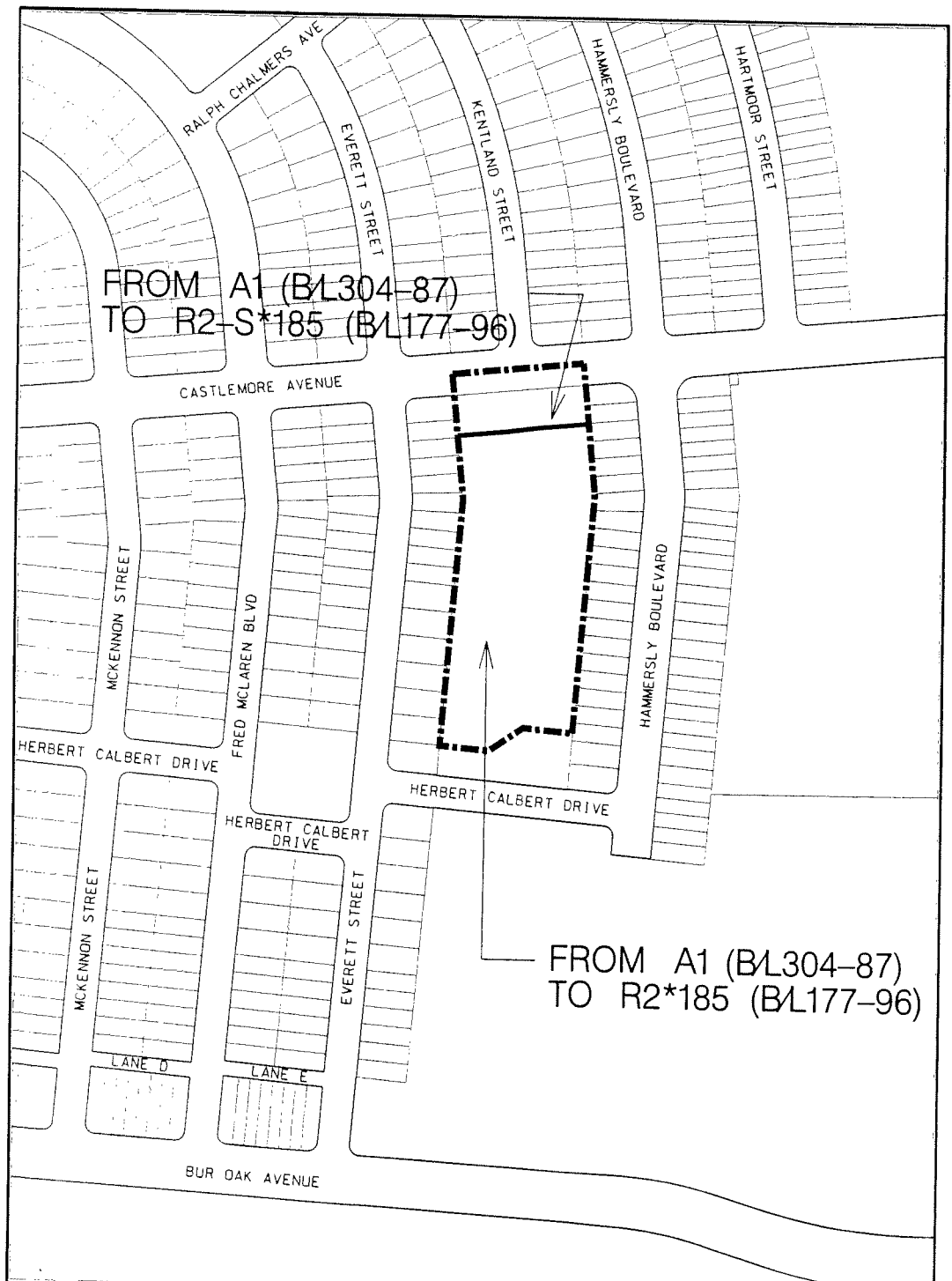
.....MAYOR

.....CLERK

NOTE: 1) DIMENSIONS ARE IN METRES  
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SCALE 1: 4000

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DEVELOPMENT SERVICES COMMISSION

# A BY-LAW TO AMEND BY-LAW 177-96

- BOUNDARY OF AREA COVERED BY THIS BY-LAW
- ZONE BOUNDARY
- A1 AGRICULTURE ONE
- R2 RESIDENTIAL TWO

- R2-S RESIDENTIAL TWO-SPECIAL
- \*No. EXCEPTION SECTION NUMBER

THIS IS SCHEDULE 'B' TO BY-LAW .....  
PASSED THIS ..... DAY .....

.....MAYOR

.....CLERK

NOTE: 1) DIMENSIONS ARE IN METRES  
2) REFERENCE SHOULD BE MADE TO  
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THE OFFICE OF THE CLERK

SCALE 1: 2700