



TO: Mayor and Members of Council

FROM: Jim Baird, Commissioner of Development Services
Valerie Shuttleworth, Director of Planning and Urban Design

DATE: November 21, 2006

Re: **Romain Stables – Monarch Corporation**
North side of Elgin Mills Road, west of Woodbine Avenue
Cathedral Community
19TM-05006
Implementing zoning by-law amendments
File No's.: ZA.05-010968 & SU.05-010966

A handwritten signature in black ink, appearing to read 'J. Baird', is written over the 'FROM' field.

RECOMMENDATION:

That the attached draft zoning by-law amendments be enacted;

And that Council be advised that staff approval of the red line revisions to draft plan of subdivision 19TM-05006 (Phase II) will follow enactment of the zoning by-laws.

BACKGROUND:

On June 7, 2005, a Development Services Committee public meeting was held to consider applications for subdivision approval and zoning by-law amendments to permit 400 single detached and 85 townhouse dwellings (total 485 units) and 5.6 hectares (13.8 ac) of employment land within Draft Plan of subdivision 19TM-05006.

On May 23, 2006, Council granted draft plan approval to the Phase I portion of the subdivision consisting of 204 single detached units, 66 lane based townhouse units and 5.6 hectares (13.8 ac) of employment land, and on June 29, 2006, draft plan approval was issued. These Phase I units were part of a larger allocation of 800 units to the West Cathedral Community, granted by Council in February and November 2005.

On June 20, 2006, Council granted the West Cathedral Community an additional 300 units of servicing allocation. The Landowners' Group has agreed to assign 85 units of the 300 unit allocation to the Romain Stables (Monarch Corporation) subdivision (85 single detached units), which comprises the Phase II portion of the draft plan of

subdivision. The Phase II portion of the Romain Stables (Monarch Corporation) draft plan reflects the comprehensive draft plan of subdivision presented at the June 7, 2005 public meeting, and is consistent with the revised Phase I portion of the draft plan of subdivision approved by Council in May 2006.

Attached are the implementing zoning by-law amendments to permit development of the second phase of the subdivision.

Delegated approval of the draft plan of subdivision by the Director of Planning and Urban Design will follow Council approval of the implementing zoning by-law amendments, in accordance with Section 2(b) (iv) of Delegation By-law 2002-202.

Attach.

Q:\Development\Planning\APPL\SUBDIV\05 010968 MONARCH CATHEDRAL\05 010968a MONARCH CATHEDRAL\memo to council re phase II approval.doc

EXPLANATORY NOTE

BY-LAW 2005 -

A by-law to amend By-law 304-87, as amended

Monarch Corporation
19TM-05006
Part of Lot 26, Concession 3

LANDS AFFECTED

The by-law applies to a 4.36 hectares (10.77 ac) property, located on the north side of Elgin Mills Road, west of Woodbine Avenue, in the Cathedral Secondary Plan Area.

EXISTING ZONING

The lands subject to this By-law are presently zoned Agriculture One (A1) by By-law 304-87, as amended.

PURPOSE AND EFFECT

The purpose and effect of this by-law is to delete the lands from By-law 304-87, as amended, so that they may be incorporated into By-law 177-96, as amended, as part of a larger plan of subdivision. By-law 304-87 is the Town's rural area by-law. By-law 177-96 is the Town's expansion area by-law.

A by-law to amend By-law 304-87, as amended

THE COUNCIL OF THE CORPORATION OF THE TOWN OF MARKHAM
HEREBY ENACTS AS FOLLOWS:

1. By-law 304-87 be amended, by deleting the lands shown on Schedule 'A' attached hereto, from the designated area of By-law 304-87, as amended.
2. This By-law shall not come into effect until By-law 2006-XX, amending By-law 177-96, as amended, comes into effect and the lands, as shown on Schedule 'A' attached hereto, are incorporated into the designated area of By-law 177-96, as amended.
3. All other provisions of By-law 304-87, as amended, not inconsistent with the provisions of this by-law shall continue to apply.

HIGHWAY 404

ELGIN MILLS ROAD EAST

WOODBINE AVENUE



DEVELOPMENT SERVICES COMMISSION

A BY-LAW TO AMEND BY-LAW 304-87



BOUNDARY OF AREA COVERED BY THIS BY-LAW



THIS IS SCHEDULE 'A' TO BY-LAW
PASSED THIS DAY,

.....MAYOR

.....CLERK

NOTE: 1) DIMENSIONS ARE IN METRES
2) REFERENCE SHOULD BE MADE TO
THE ORIGINAL BY-LAW LODGED IN
THE OFFICE OF THE CLERK

SCALE 1:

EXPLANATORY NOTE

BY-LAW 2005 -

A by-law to amend By-law 83-73, as amended

Monarch Corporation
19TM-05006
Part of Lot 26, Concession 3

LANDS AFFECTED

The by-law applies to a 4.36 hectares (10.77 ac) property, located on the north side of Elgin Mills Road, west of Woodbine Avenue, in the Cathedral Secondary Plan Area.

EXISTING ZONING

The lands subject to this By-law are presently zoned Rural Residential Four (RR4) by By-law 83-73, as amended.

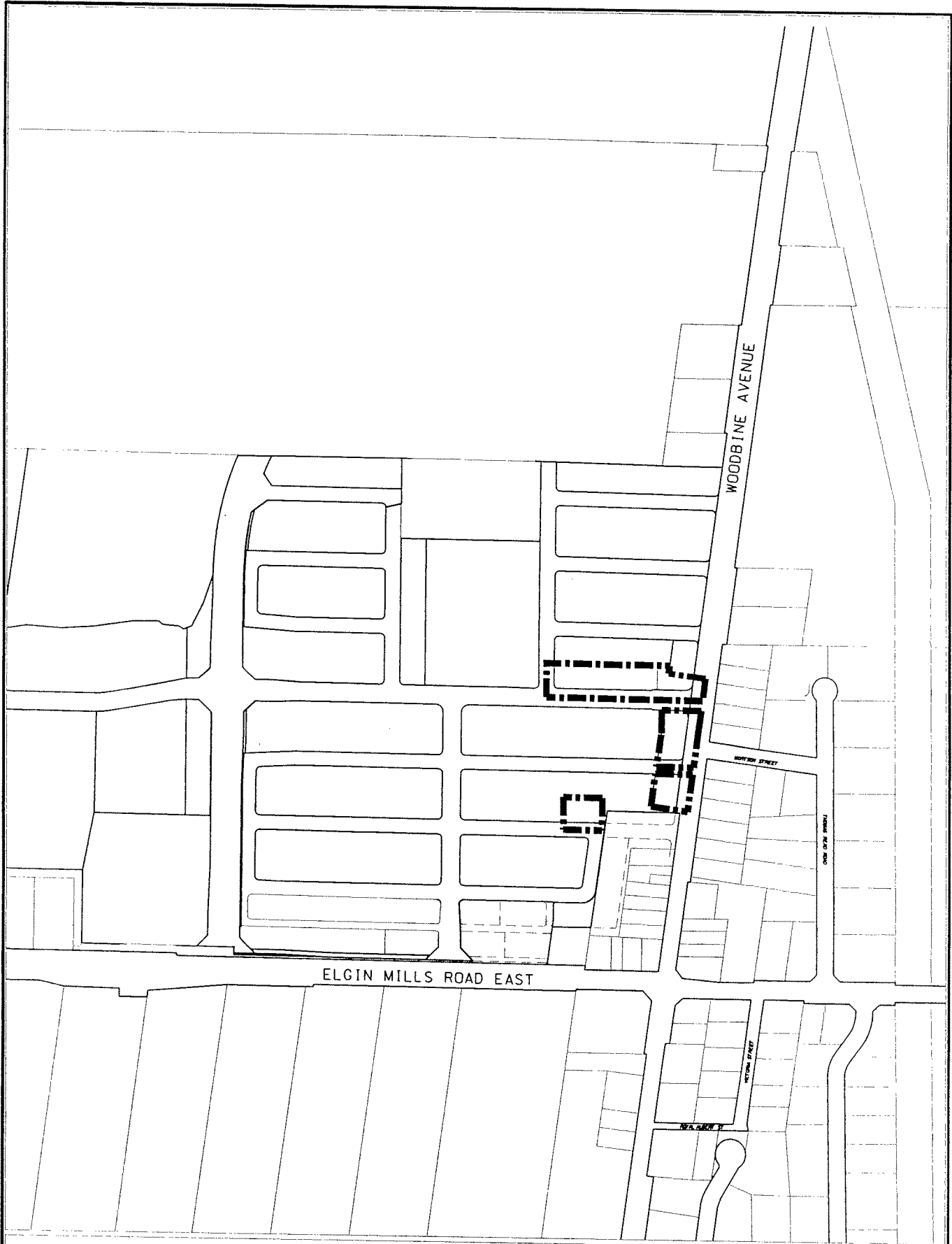
PURPOSE AND EFFECT

The purpose and effect of this by-law is to delete the lands from By-law 83-73, as amended, so that they may be incorporated into By-law 177-96, as amended, as part of a larger plan of subdivision.

A by-law to amend By-law 83-73, as amended

THE COUNCIL OF THE CORPORATION OF THE TOWN OF MARKHAM
HEREBY ENACTS AS FOLLOWS:

1. By-law 83-73 be amended, by deleting the lands shown on Schedule 'A' attached hereto, from the designated area of By-law 83-73, as amended.
2. This By-law shall not come into effect until By-law 2006-XX, amending By-law 177-96, as amended, comes into effect and the lands, as shown on Schedule 'A' attached hereto, are incorporated into the designated area of By-law 177-96, as amended.
3. All other provisions of By-law 83-73, as amended, not inconsistent with the provisions of this by-law shall continue to apply.



DEVELOPMENT SERVICES COMMISSION

A BY-LAW TO AMEND BY-LAW 83-73



BOUNDARY OF AREA COVERED BY THIS BY-LAW



THIS IS SCHEDULE 'A' TO BY-LAW
PASSED THIS DAY,

.....MAYOR

.....CLERK

NOTE: 1) DIMENSIONS ARE IN METRES
2) REFERENCE SHOULD BE MADE TO
THE ORIGINAL BY-LAW LODGED IN
THE OFFICE OF THE CLERK

SCALE 1:

EXPLANATORY NOTE

BY-LAW 2005 -

A by-law to amend By-law 177-96, as amended

Monarch Corporation
19T-05006
Part of Lot 25, Concession 3

LANDS AFFECTED

The by-law applies to a 4.36 hectares (10.77 ac) property, located on the north side of Elgin Mills Road, west of Woodbine Avenue, in the Cathedral Secondary Plan Area.

EXISTING ZONING

The lands subject to this By-law are presently zoned Agriculture One (A1) by By-law 304-87, as amended and Rural Residential Four (RR4) by By-law 83-73, as amended.

PURPOSE AND EFFECT

The purpose and effect of this by-law is to incorporate the lands into appropriate residential zone categories within By-law 177-96, as amended. The proposed zoning designations are Residential Two (R2), which will permit the proposed 85 single detached units.

An exception has been incorporated into the amendment to permit a rear yard setback of 6.5 metres, whereas the by-law requires 7.5 metres.

The following are the conditions for lifting the Holding Zone (attached to the zoning of 2 lots):

- a) The detailed design for the Woodbine Avenue By-pass (including the completion of the Reference Plan) has been completed to the satisfaction of the Town; and,
 - b) A revised draft plan, if required, has been approved by the Town of Markham in consultation with York Region, which incorporates the detailed design of the Woodbine Avenue By-pass.
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A by-law to amend Urban Expansion Area Zoning By-law 177-96, as amended (To incorporate Draft Plan 19TM-05006 into the West Cathedral Community)

THE COUNCIL OF THE CORPORATION OF THE TOWN OF MARKHAM
HEREBY ENACTS AS FOLLOWS:

1. By-law # 177-96, as amended is hereby further amended as follows:
 - 1.1 By expanding the designated area of By-law 177-96, as amended to include those lands comprising Part of Lot 26, Concession 3 as more outlined on Schedule 'A' attached hereto.
 - 1.2 By zoning the lands:

Residential Two	R2
Residential Two * 310	R2 * 310
Residential Two * 310 (Hold)	R2 * 310 (H)
Residential Two (Hold)	R2 (H)

as shown on Schedule 'A' attached hereto.
 - 1.3 By rezoning the lands from:

Residential Two *310 (R2*310) to Residential Two (R2)

as shown on Schedule 'A' attached hereto.
 - 1.4 **HOLDING PROVISION**

For the purpose of this By-law, a Holding (H) Zone is hereby established and is identified on Schedule 'A' attached hereto by the letter (H) in parenthesis following the zoning symbol.

Notwithstanding any other provision in this By-law, where a *Zone* symbol is followed by the letter (H), no person shall use the land to which the letter (H) applies for any use other than the use which existed on the date this By-law was passed, until the (H) is removed in accordance with the policies of the Official Plan, the provisions of this Zoning By-law and any amendment to this By-law, as amended, and the Planning Act as amended.

Prior to removing the '(H)' Holding provision, the following conditions must be met to the satisfaction of the Town of Markham:

 - a) the detailed design for the Woodbine Avenue By-pass (including the completion of the Reference Plan) has been completed;
 - b) a revised draft plan, if required, has been approved by the Town of Markham in consultation with York Region, which incorporates the detailed design of the Woodbine Avenue By-pass, as surveyed.
2. All other provisions of By-law 177-96, as amended, not inconsistent with the provisions of this by-law shall continue to apply.

