

AREA CONTEXT /ZONING

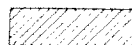
APPLICANT: CORNERSTONE CHRISTIAN COMMUNITY CHURCH INC.
9642 9TH LINE

FILE No: ZA. 09129155 & SC. 09129156 (RC)



DEVELOPMENT SERVICES COMMISSION

DWN BY: CPW CHK BY: RM SCALE 1:



SUBJECT PROPERTY

DATE: 01/06/2011

FIGURE No.2

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AIR PHOTO (2009)

APPLICANT: CORNERSTONE CHRISTIAN COMMUNITY CHURCH INC.
9642 9TH LINE

FILE No: ZA.09129155 & SC.09129156 (RC)



SUBJECT PROPERTY

DATE: 02/05/2011



DEVELOPMENT SERVICES COMMISSION

DWN BY: CPW

CHK BY: RC

SCALE 1:

FIGURE No.3

HERITAGE
HOUSE
TO BE
RESTORED

LANDS OWNED BY
THE CHURCH THAT
MAY BE CONVEYED
TO YORK REGION
FOR A ROAD WIDENING
(ROAD WIDENING)

LANDS CURRENTLY
OWNED BY
THE CHURCH

LANDS
CURRENTLY
OWNED BY
YORK REGION
WHICH MAY BE
ACQUIRED BY
THE CORNERSTONE
CHRISTIAN COMMUNITY
CHURCH
FOR SURPLUS
PARKING
(SURPLUS LANDS)

SITE PLAN

APPLICANT: CORNERSTONE CHRISTIAN COMMUNITY CHURCH INC.
9642 9TH LINE

FILE No: ZA. 09129155 & SC. 09129156 (RC)

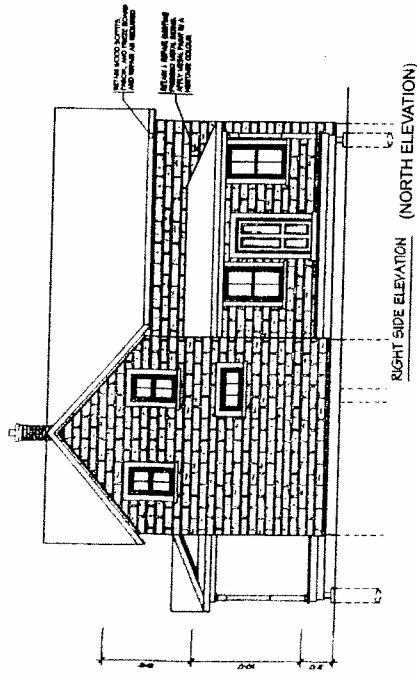
MARKHAM DEVELOPMENT SERVICES COMMISSION

DWN BY: CPW CHK BY: RC SCALE 1:

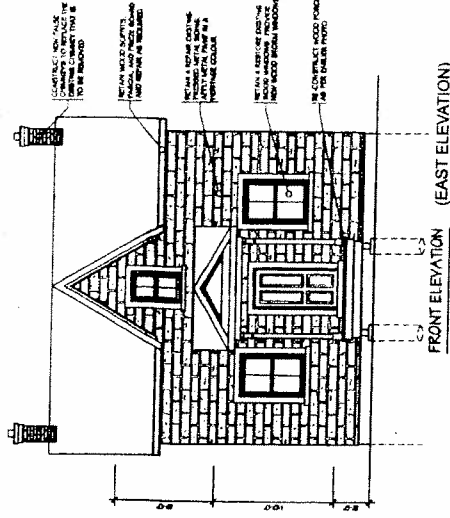
DATE: 02/06/2011

FIGURE No. 4

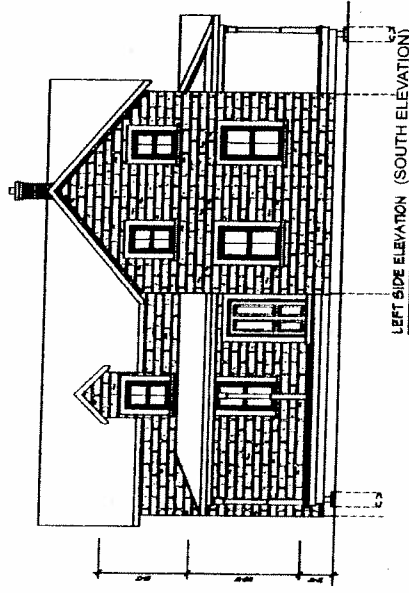
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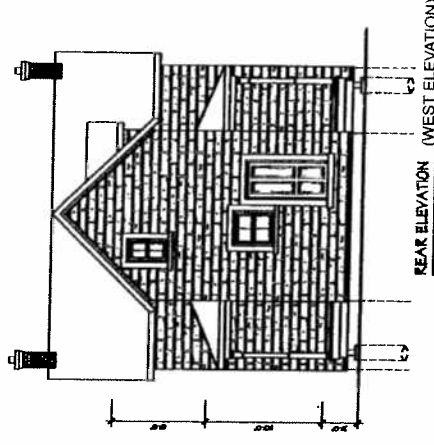
RIGHT SIDE ELEVATION (NORTH ELEVATION)



FRONT ELEVATION (EAST ELEVATION)



LEFT SIDE ELEVATION (SOUTH ELEVATION)



REAR ELEVATION (WEST ELEVATION)

PROPOSED HARRINGTON HOUSE RESTORATION

APPLICANT: CORNERSTONE CHRISTIAN COMMUNITY CHURCH INC.
9642 9TH LINE

FILE No: ZA. 09129155 & SC. 09129156 (RC)



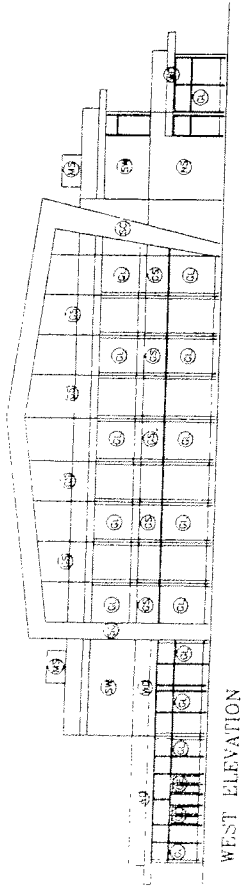
DEVELOPMENT SERVICES COMMISSION

DATE: 01062011

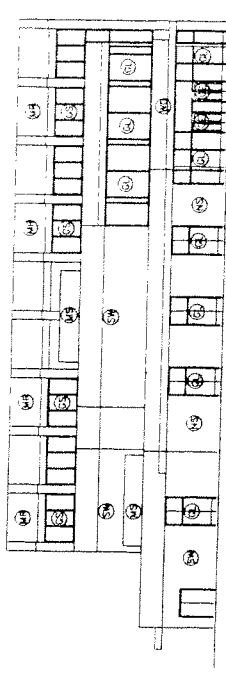
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DRAWN BY: CPW CHECKED BY: RC SCALE 1:

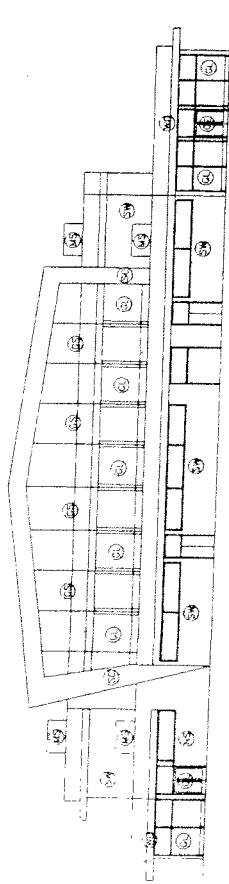
FIGURE No.5



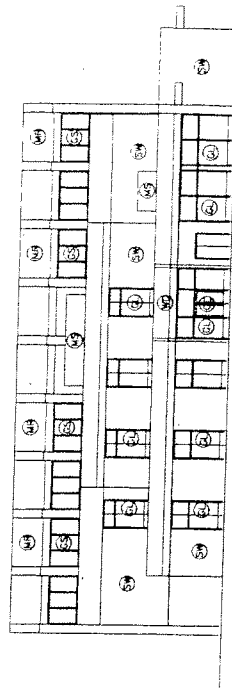
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

PROPOSED ELEVATIONS

APPLICANT: CORNERSTONE CHRISTIAN COMMUNITY CHURCH INC.
9642 9TH LINE

FILE No: ZA. 09129155 & SC. 09129156 (RC)



DEVELOPMENT SERVICES COMMISSION

ZA09129155.dgn 02/06/2011 8:59:04 AM

DATE: 01062011

DRAWN BY: CPW CHECKED BY: EM SCALE 1:

FIGURE No.6



APPENDIX 'C'

CONDITIONS OF SITE PLAN APPROVAL CORNERSTONE CHRISTIAN COMMUNITY CHURCH INC. SC 09-129156

1. Endorsement shall relate to a site plan and elevations prepared by David Sujitno Tjan Architect, identified as Job Number 905, dated November, 2009 and with a last revision date of December 14, 2010, to be further revised to reflect the requirements of the conditions of site plan approval.
2. The Owner acknowledges and understands that site plan approval is issued only when the Director of Planning and Urban Design or his designate has signed the plans "approved" following the execution of a site plan agreement;
3. The Owner acknowledges and understands that prior to final approval of this site plan, the zoning by-law amendment to implement the plan shall have come into effect in accordance with the provisions of the Planning Act;
4. That a Heritage Easement agreement be executed and registered on title, and that the Owner installs a Markham Remembered plaque pertaining to the James Harrington House for the proposed place of worship/community centre;
5. Final site plan and elevation drawings, and comply with all red lined requirements of the Town and authorized public agencies, to the satisfaction of the Commissioner of Development Services. The drawings shall show the location of rooftop mechanical HVAC systems and ensure that they are appropriately screened from view with materials that match the main structure of the main building;
6. That the owner shall comply with all requirements of Region of York as identified in their letter dated March 30, 2010;
7. That the owner shall address comments provided by Urban Design staff as identified in their comments dated March 23, 2010 and May 16, 2011, to the satisfaction of the Director of Planning and Urban Design or his designate;
8. That the Owner enter into a site plan agreement with the Town of Markham, containing all standard and special provisions and requirements of the Town and other public agencies including:
 - a. Provision for the payment by the Owner of all applicable fees, recoveries, development charges, and cash in-lieu of parkland dedication, if required;
 - b. Provisions for satisfying all requirements of Town Departments and external agencies;
 - c. Provision to ensure all exterior lights on the property are appropriately shielded and do not impact the residential properties to the west, across Donald Cousens Parkway.
 - d. Provision to ensure that all garbage is stored internally within the main building;

9. That prior to the Director of Planning and Urban Design or his designate signing the site plan and elevations "endorsed in principle", the Owner shall submit:
 - a. site servicing and grading drawings, municipal service connections details, and a storm water management report. The final recommendations of the drawings or reports may require further revisions of the site plan. Drawings are to be prepared and stamped by a Professional Engineer with a Certificate of Authorization from Professional Engineers of Ontario, to the satisfaction of the Town;
 - b. an illumination plan for review and approval to the satisfaction of the Director of Planning and Urban Design or designate. The illumination plan may be subject to peer review at the applicant's cost. The Owner agrees to make any revisions to the site plan and elevations that may be required to ensure that the residential properties located to the west are not negatively impacted by the lighting from the proposed development;
 - c. the Owner shall meet with the Fire Department to finalize the location of the Fire Department connection, private hydrant, fire access route signage and rapid entry key box, to the satisfaction of the Fire Chief;
 - d. That the location, size and construction of all internal refuse storage areas be approved to the satisfaction of the Town of Markham Waste Management Department;
10. That the Owner shall have regard for sustainable design initiatives which include provisions for the Fatal Light Awareness Program (FLAP) in consultation with the Town;
11. That this endorsement shall lapse and site plan approval will not be issued, after a period of three years commencing June 28, 2011 in the event a site plan agreement is not executed within that period.