



MEMORANDUM

DATE: May 19, 2015

TO: Development Services Committee

FROM: Jim Baird, M.C.I.P., R.P.P., Commissioner of Development Services

PREPARED

BY: Scott Heaslip, M.C.I.P., R.P.P., Senior Project Coordinator, Central District

RE: APPLICANT PRESENTATION
Wyview Group
Highway 7/Village Parkway area
Applications for site plan approval for two residential developments
and a temporary sales office
File Nos.: SC 15 134258, SC 15 134767 and SC 15 149178

RECOMMENDATION

1. That the memorandum dated May 19, 2015 entitled "APPLICANT PRESENTATION, Wyview Group, Highway 7/Village Parkway area, Applications for site plan approval for two residential developments and a temporary sales office, File Nos.: SC 15 134258, SC 15 134767 and SC 15 149178" be received.
2. That the presentations by representatives of the Wyview Group, be received.
3. That the applications be endorsed, in principle.
4. That final site plan approval for each of the proposed developments be delegated to the Director of Planning and Urban Design, or his designate, to be issued (Site Plan Approval is issued only when the Director or his designate has signed the site plan "approved") when the following conditions have been met:
 - The Owner has entered into a site plan agreement with the City and the Region of York (where applicable) containing all standard and special provisions and requirements of the City and public agencies and the provisions outlined in Appendices 'A', 'B' and 'C'.
 - The Trustees for the applicable cost sharing groups have advised the City in writing that the Owner is in good standing with the group.
5. That the Owner provide the City with the required payment of 60% planning processing fees in accordance with the City's applicable Fee By-law.
6. That site plan endorsement shall lapse after a period of three (3) years from the

date of endorsement in the event that the site plan agreement is not executed within that period.

7. That staff be authorized and directed to do all things necessary to give effect to this resolution.

COMMENT

The applicant, the Wyview Group, has purchased a number of properties in Markham, including the Sheridan Nurseries property, two properties on the south side of Highway 7 east of Sheridan Nurseries, the former Lee Developments property on the west side of Village Parkway, and the property at the south-west corner of Highway 7 and South Town Centre Boulevard.

The Wyview Group has applied for site plan approval for the following developments:

1. An apartment/townhouse development at the north-west corner of Highway 7 and Village Parkway (SC 15 149178)
2. A condominium townhouse development on the west side of Village Parkway, one block north of Highway 7 (SC 15 134767)
3. A sales office at 4151 Highway 7 (SC 15 134258)

Development Services Committee is the approval authority of site plan applications for high density residential developments such as the proposed apartment/townhouse development. The City's site plan delegation by-law delegates the approval of townhouse developments and small non-residential developments (such as the proposed sales office) to staff. However, given the high profile location of the Wyview developments, staff felt it would be appropriate to have Development Services Committee review all of these proposed developments.

Staff have arranged to have the project architects present the developments to Development Services Committee.

Staff have reviewed the developments and are satisfied with the overall design subject to detailed technical review by City departments and public agencies.

Staff recommend that Committee endorse the applications in principle, and delegate final site plan approval to the Director of Planning and Urban Design.

The details of the three projects are as follows:

Apartment/townhouse development at the north-west corner of Highway 7 and Village Parkway (see Figures 1, 2 and 3):

- Site is bounded by Highway 7 to the south, Village Parkway to the east, future Buchanan Drive to the north, and a future local street (William Saville Street) to the west.
- Lot area – 1.27 hectares (3.1 acres)
- 8-storey, 379 unit apartment building facing onto Highway 7
- Apartment building comprises two north-south oriented 8-storey wings connected by a 5-storey building element across the Highway 7 frontage. An outdoor amenity area is proposed on the roof of the 5-storey element.

- The apartment building is primarily faced with precast concrete accented with stone veneer.
- Bird friendly treatments are proposed in accordance with the City's Bird Friendly guidelines.
- Two 3-storey, 6-unit, townhouse buildings facing onto future Buchanan Drive, accommodating a total of 12 townhouse units.
- Townhouse buildings have flat roofs and will be faced with precast concrete panels accented with stone veneer to coordinate with the apartment building.
- All resident and a portion of the visitor parking for the apartment building is located in a two level underground parking garage. 22 visitor parking spaces are on the surface.
- Each townhouse incorporates a two car garage at the rear of the unit.
- The proposed development complies with the zoning approved by Ontario Municipal Board in 2013 for the previous owner, Lee Developments.
- The layout, massing and overall design are essentially carried through from the Lee proposal. Wyview Group is using same architect (Kirkor) as Lee.

Condominium townhouse development on the west side of Village Parkway, one block north of Highway 7 (see Figures 4, 5 and 6):

- Site is bounded by future Buchanan Drive to the south, Village Parkway to the east, a future local street (Frank Charlton Avenue) to the north, and a future local street (William Saville Street) to the west.
- Lot area – 1.2 hectares (3 acres)
- Ten 3-storey, 5-6 unit townhouse buildings accommodating a total of 60 townhouse units.
- Units face onto either the adjoining public street or a private landscaped open space area.
- Buildings have flat roofs and are faced with combination of brick and stone veneer.
- Each townhouse incorporates a two car garage at the rear of unit.
- 12 visitor parking spaces.
- The proposed development complies with the zoning approved by the Ontario Municipal Board in 2013 for the previous owner, Lee Developments.
- The layout, massing and overall design are essentially carried through from the Lee proposal. Wyview Group is using the same architect (Kirkor) as Lee.

Temporary sales centre at 4151 Highway 7 (see Figures 7, 8 and 9):

- Property is located on the south side of Highway 7, two properties east of Sheridan Nurseries.
- Lot area – 1.9 hectares (4.7 acres)
- Approximately two thirds of the property at the rear is Rouge River valleyland.
- The existing 2-storey dwelling on the property is being used by the Wyview Group as a residence for company employees and company offices.
- Proposed 1-storey 600 square metre (6450 square foot) temporary sales office located on the north portion of property, adjacent to Highway 7.
- North and west elevations of the sales office are primarily glazed. Non-glazed portions are faced with charcoal colour stucco.

- Bird friendly treatments are proposed in accordance with City's Bird Friendly guidelines.
- 27 parking spaces are proposed, located behind building.
- As the sales centre will be to be used to market various Wyview developments in the vicinity, it is expected to be in use for a number of years.

Attach: Figure 1 – Location - Apartment/townhouse development
 Figure 2 – Site plan - Apartment/townhouse development
 Figure 3 - Elevations - Apartment/townhouse development

Figure 4 – Location - Townhouse development
 Figure 5 – Site plan - Townhouse development
 Figure 6 - Elevations - Townhouse development

Figure 7 - Location - Temporary sales office
 Figure 8 – Site plan - Temporary sales office
 Figure 9 - Elevations - Temporary sales office

Appendix 'A' - Conditions of Site Plan Approval - Apartment/townhouse development
 Appendix 'B' - Conditions of Site Plan Approval - Townhouse development
 Appendix 'C' - Conditions of Site Plan Approval - Temporary sales office

Owner:

Owen Zhang
 2412372 Ontario Limited
 4151 Highway 7 East
 Markham, Ontario
 L3R 1L5
 Tel: (905) 604 8077
 Email: owen@wyviewgroup.com

Agent - Apartment/townhouse development (SC 15 149178)
 and Townhouse development (SC 15 134767):

Keith McKinnon
 KLM Planning Partners
 64 Jardin Drive, Unit B
 Concord, Ontario
 L4K 3P3
 Tel: (905) 669-4055
 Email: kmackinnon@klmplanning.com

Agent - Temporary sales office (SC 15 134258):

David Johnston
 David Johnston Architect Ltd.
 8 Maple Lane
 Unionville, Ontario
 L3R 1R2
 Tel: (905) 479-9992
 Email: dja@rogers.com

APPENDIX 'A'

Conditions of Site Plan Approval 2426483 Ontario Ltd. (Wyview Group) (North-west corner of Highway 7 and Village Parkway) File No. SC 15 149178

Prior to the execution of the site plan agreement, the Owner shall submit:

1. site plans, elevation drawings (including building materials, colours and details), underground parking garage layout plans, that comply with all requirements of the City, and authorized public agencies, to the satisfaction of the Director of Planning and Urban Design. The final plans shall incorporate appropriate design features to ensure more bird-friendly buildings.
 2. landscape plans, including streetscape details, prepared by a Landscape Architect having membership with the Ontario Association of Landscape Architects, to the satisfaction of the Director of Planning and Urban Design.
 3. Geotechnical and hydrogeological reports addressing temporary and permanent dewatering requirements, dewatering discharge management and mitigation measures (if dewatering required), to the satisfaction of the director of Engineering.
 4. A stormwater management report, grading/servicing/site alteration/excavation plans, construction management plan and shoring/excavation drawings, to the satisfaction of the Director of Engineering.
- for endorsement or approval by the City.

The Owner shall enter into a Site Plan Agreement with the City and the Region of York, containing all standard and special provisions and requirements of the City, the Region and other public agencies including, but not limited to, the following:

1. Provisions for the payment by the Owner of all applicable fees, recoveries, development charges, parkland dedications (including cash-in-lieu), public art contribution, and financial obligations related to applicable Developers Group Agreements.
2. That the location, size and construction of all refuse storage areas and recycling facilities, and arrangements for waste collection be to the satisfaction of the City of Markham Waste Management Department.
3. That the site be designed to ensure that there is no permanent underground encroachment into any municipal road right-of-way.
4. That the Owner shall provide and implement a comprehensive Green Infrastructure plan to the satisfaction of the Director of Planning and Urban Design. The plan shall include the following minimum elements - LEED silver certification, connection to the District Energy network (if requested by Markham District Energy), provisions for car sharing facilities, and the provision of bicycle storage facilities.
5. Provisions to ensure implementation of the recommendations of the approved reports.
6. Provisions to secure implementation of the of the approved Transportation Demand Management (TDM) plan.
7. Provisions for satisfying all requirements of City departments and public agencies.

8. Provisions to ensure implementation of the recommendations of an Environmental Noise and Vibration Feasibility Study.
9. That the Owner comply with all requirements of the City and authorized public agencies, including Power Stream to the satisfaction of the Commissioner of Development Services.
10. That the Owner provide confirmation that the height of the buildings meets the requirements of Transport Canada, including applicable warning clauses.

APPENDIX 'B'

**Conditions of Site Plan Approval
2426483 Ontario Ltd. (Wyview Group)
(West side of Village Parkway, one block north of Highway 7)
File No. SC 15 134767**

Prior to the execution of the site plan agreement, the Owner shall submit:

1. site plans, elevation drawings (including building materials, colours and details), that comply with all requirements of the City and authorized public agencies, to the satisfaction of the Director of Planning and Urban Design. The final plans shall incorporate appropriate design features to ensure more bird-friendly buildings.
 2. landscape plans, including streetscape details, prepared by a Landscape Architect having membership with the Ontario Association of Landscape Architects, to the satisfaction of the Director of Planning and Urban Design.
 3. A comprehensive Green Infrastructure plan.
 4. A stormwater management report, grading/servicing/site alteration/excavation plans, construction management plan and shoring/excavation drawings, to the satisfaction of the Director of Engineering.
- for endorsement or approval by the City.

The Owner shall enter into a Site Plan Agreement with the City containing all standard and special provisions and requirements of the City and public agencies including, but not limited to, the following:

1. Provisions for the payment by the Owner of all applicable fees, recoveries, development charges, parkland dedications (including cash-in-lieu), public art contribution, and financial obligations related to applicable Developers Group Agreements.
2. That the location, size and construction of all refuse storage areas and recycling facilities, and arrangements for waste collection be to the satisfaction of the City of Markham Waste Management Department.
3. That the site be designed to ensure that there is no permanent underground encroachment into any municipal road right-of-way.
4. Provisions to ensure implementation of the recommendations of the approved reports.
5. Provisions for satisfying all requirements of City departments and public agencies.
6. Provisions to ensure implementation of the recommendations of an Environmental Noise and Vibration Feasibility Study.
7. That the Owner comply with all requirements of the City and authorized public agencies, to the satisfaction of the Commissioner of Development Services.

APPENDIX 'C'

**Conditions of Site Plan Approval
2412372 Ontario Ltd. (Wyview Group).
(4151 Highway 7)
File No. SC 15 134258**

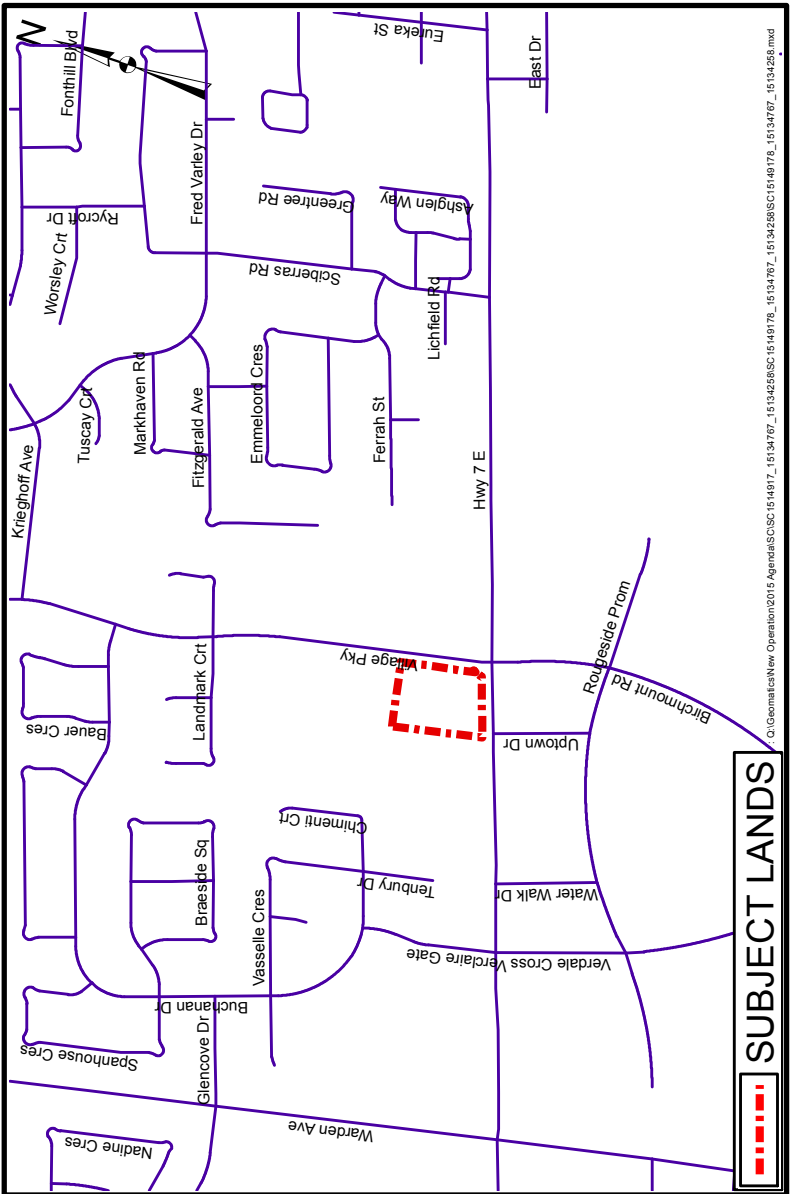
Prior to the execution of the site plan agreement, the Owner shall submit:

1. site plans, elevation drawings (including building materials, colours and details), that comply with all requirements of the City and authorized public agencies, to the satisfaction of the Director of Planning and Urban Design. The final plans shall incorporate appropriate design features to ensure more bird-friendly buildings.
2. landscape plans, including streetscape details, prepared by a Landscape Architect having membership with the Ontario Association of Landscape Architects, to the satisfaction of the Director of Planning and Urban Design.
3. A stormwater management report, grading/servicing/site alteration/excavation plans, construction management plan and shoring/excavation drawings, to the satisfaction of the Director of Engineering.

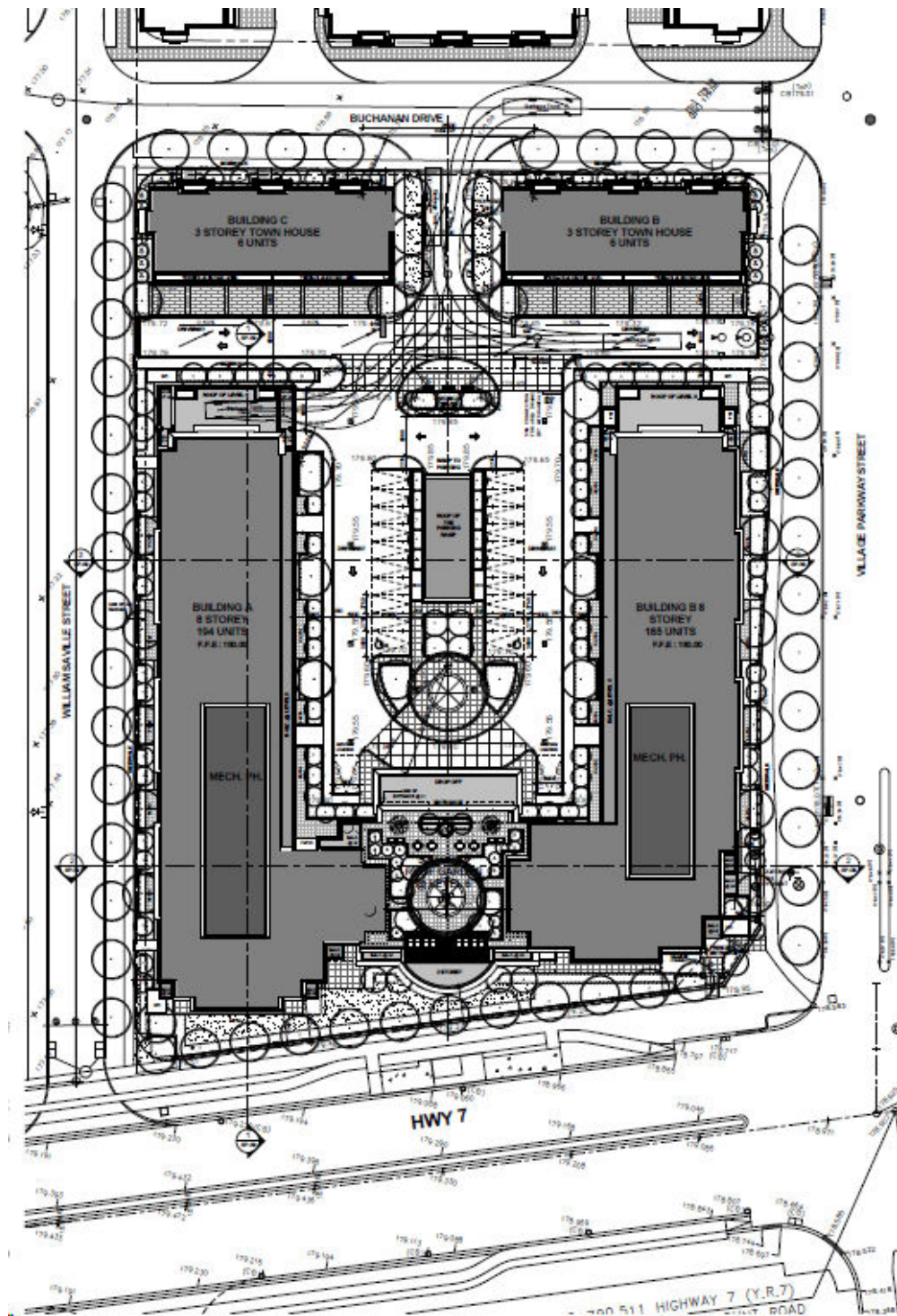
for endorsement or approval by the City.

The Owner shall enter into a Site Plan Agreement with the City and the Region of York, containing all standard and special provisions and requirements of the City, the Region and other public agencies including, but not limited to, the following:

1. Provisions for the payment by the Owner of all applicable fees, recoveries, development charges and financial obligations related to applicable Developers Group Agreements.
2. That the location, size and construction of all refuse storage areas and recycling facilities, and arrangements for waste collection be to the satisfaction of the City of Markham Waste Management Department.
3. Provisions to ensure implementation of the recommendations of the approved reports.
4. Provisions for satisfying all requirements of City departments and public agencies, including the Region of York and the Toronto and Region Conservation Authority. .
5. That the Owner comply with all requirements of the City and authorized public agencies to the satisfaction of the Commissioner of Development Services.



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SITE PLAN

APPLICANT: WYVIEW GROUP

FILE No: SC15149178



DATE: 05/07/15

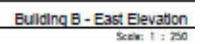
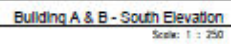
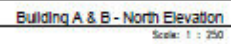
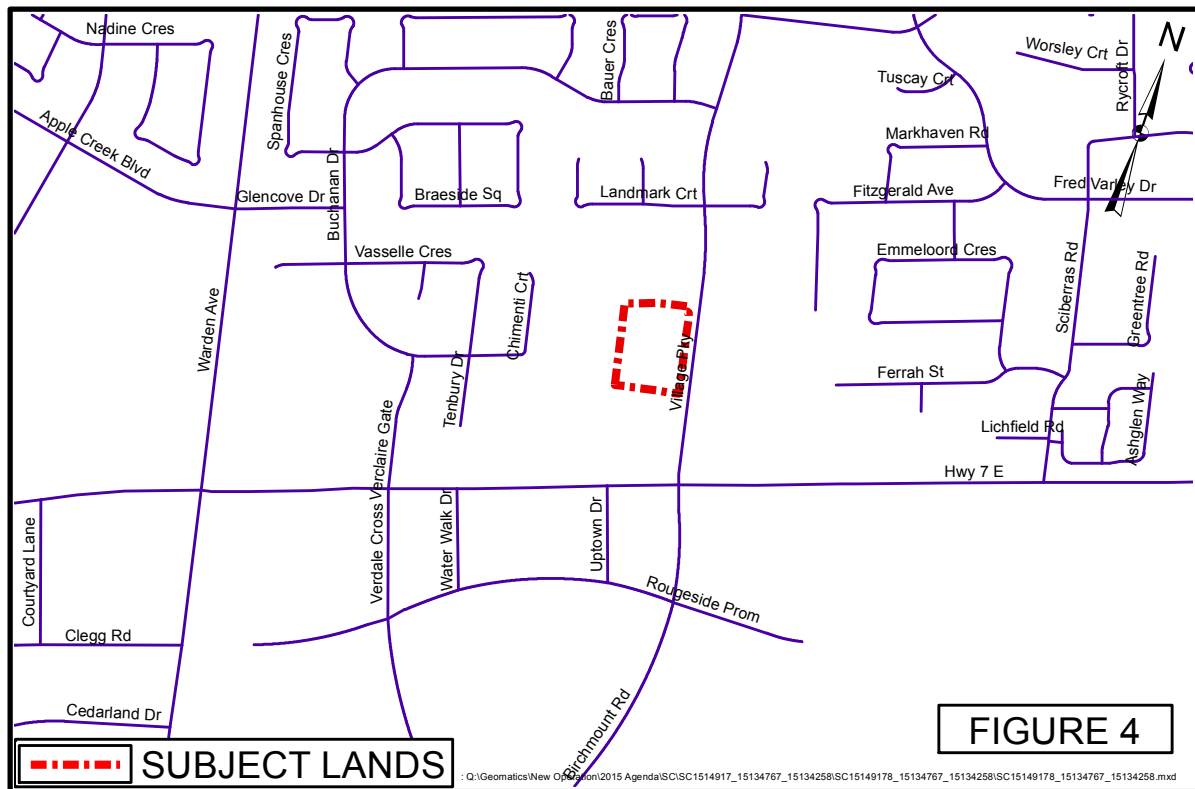
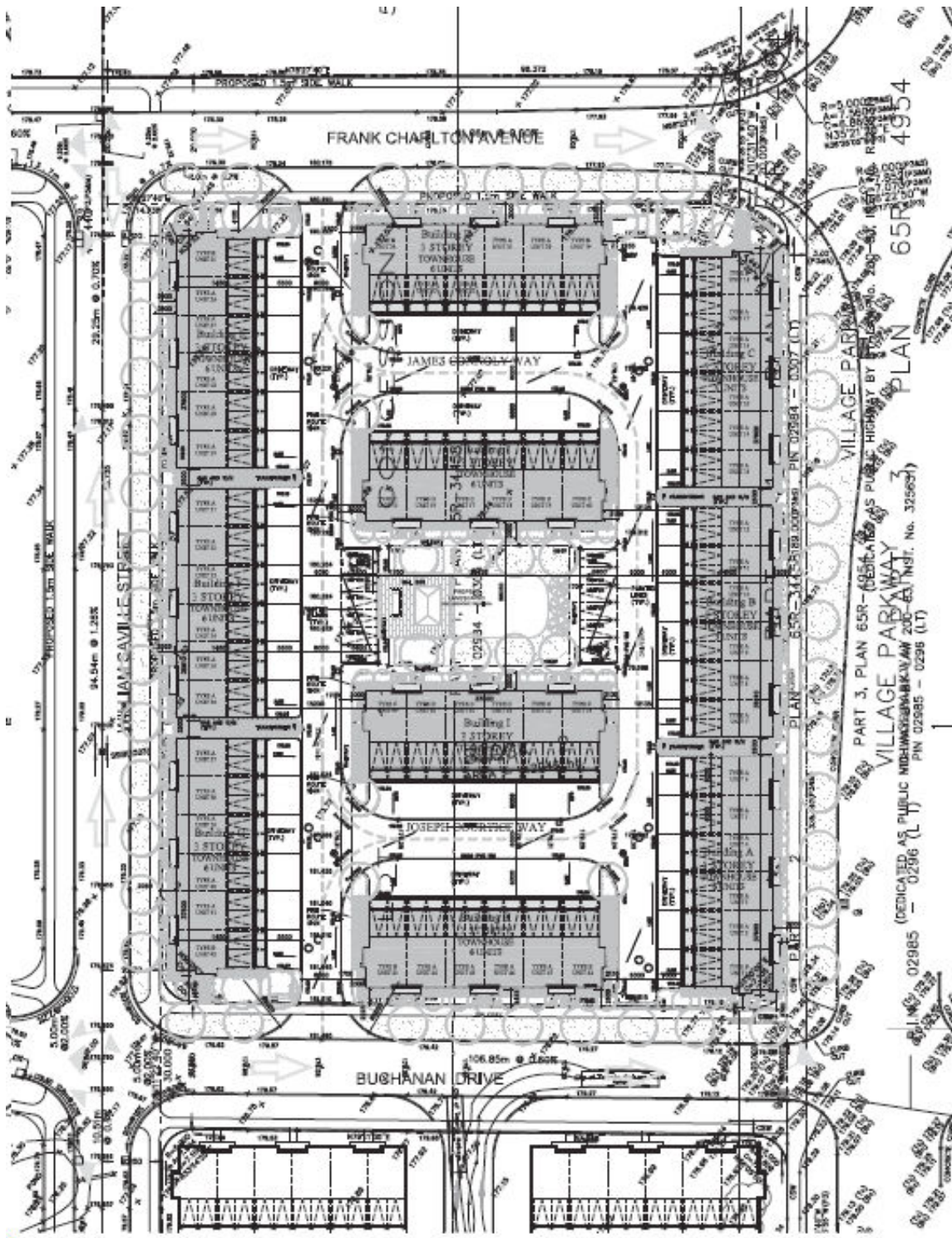


FIGURE No. 3







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SITE PLAN

APPLICANT: WYVIEW GROUP

FILE No: SC15134767



DATE: 05/07/15

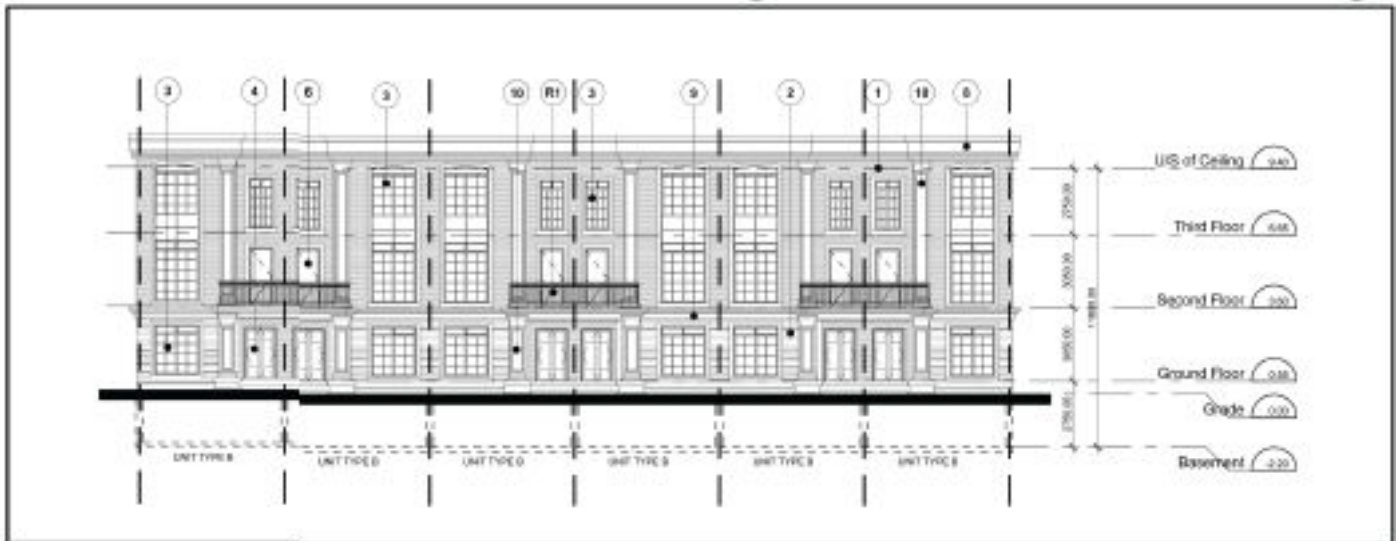


DEVELOPMENT SERVICES COMMISSION

Drawn By: DD

Checked By: SH

FIGURE No. 5



Front Elevation

1:150

6

SP-04



Rear Elevation

1:150

5

SP-04

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ELEVATIONS

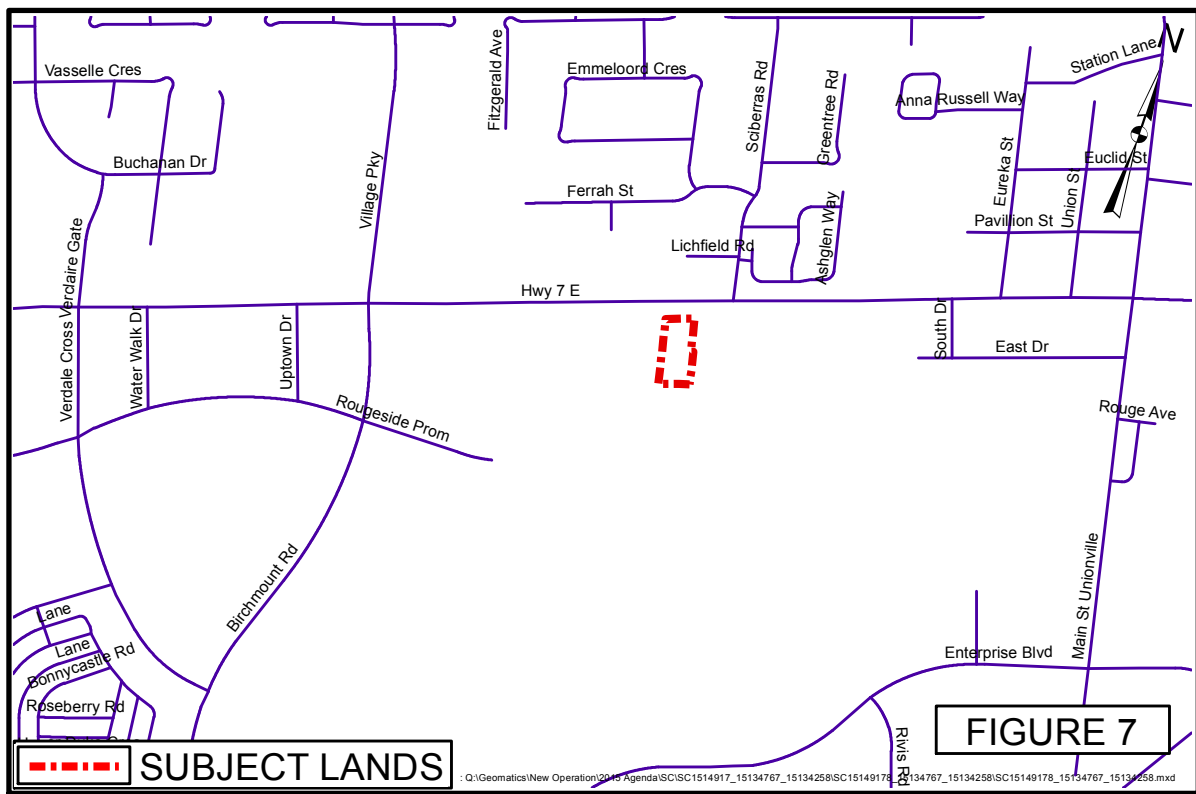
APPLICANT: WYVIEW GROUP

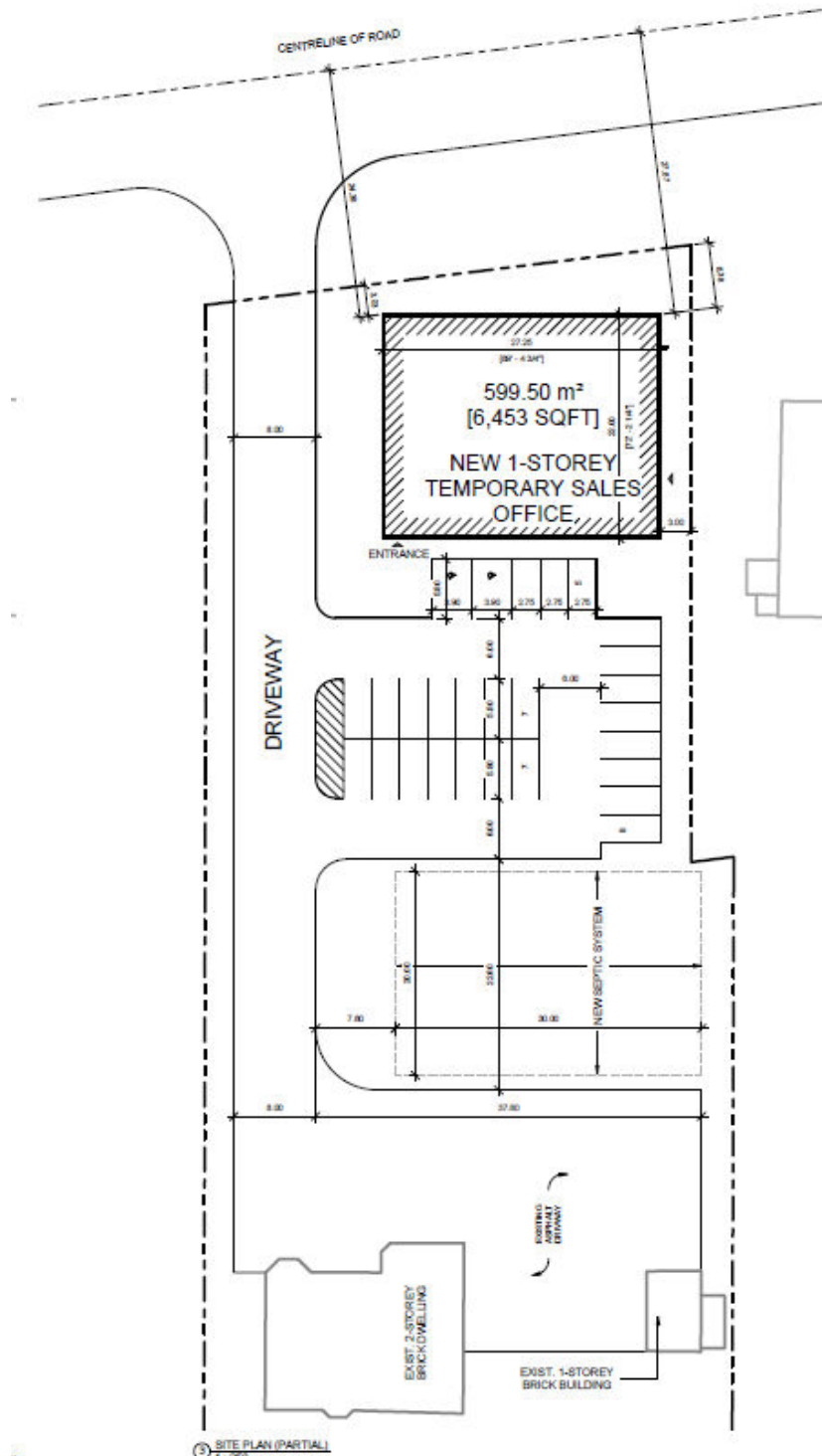
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FIGURE No. 6





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SITE PLAN

APPLICANT: WYVIEW GROUP

FILE No: SC15134258



DATE: 05/07/15

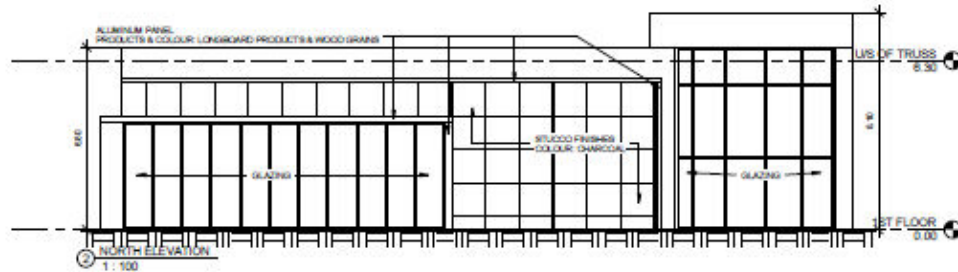


DEVELOPMENT SERVICES COMMISSION

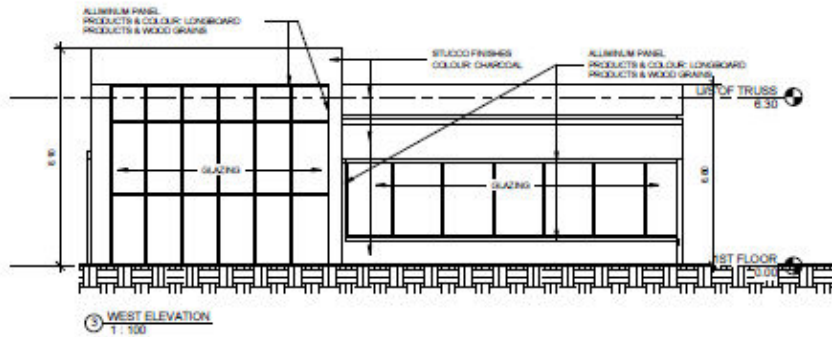
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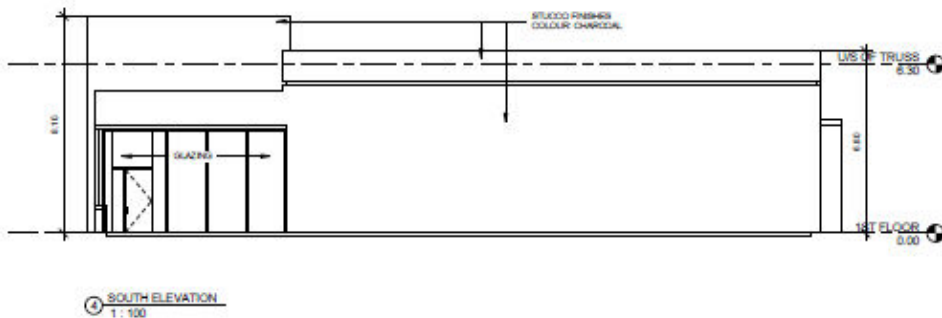
FIGURE No. 8



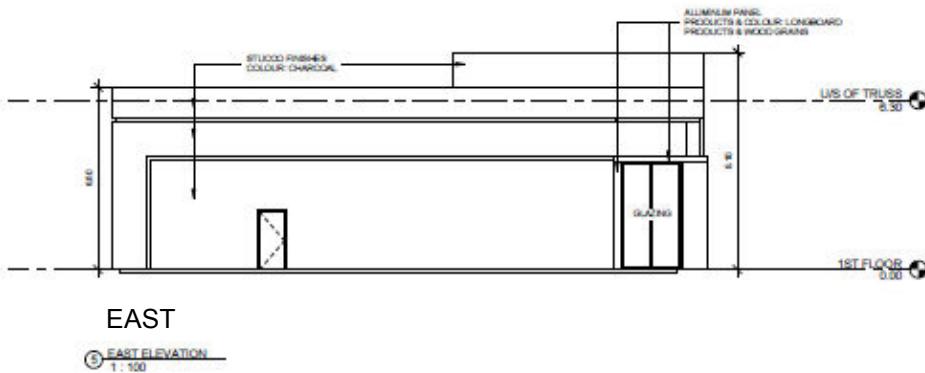
NORTH



WEST



SOUTH



EAST

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ELEVATIONS

APPLICANT: WYVIEW GROUP

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