

SUBJECT:**RECOMMENDATION REPORT**

Ruland Properties Inc. (The Remington Group)

Site plan application to permit a high density residential development comprising 545 condominium units with ancillary retail uses, north of Enterprise Boulevard, east of Warden Avenue and west of Rouge Valley Drive West

File No. SC 15 244500

PREPARED BY:Sabrina Bordone, M.C.I.P., R.P.P., extension 8230
Senior Planner, Central District**REVIEWED BY:**Richard Kendall, M.C.I.P., R.P.P., extension 6588
Manager, Central District

RECOMMENDATION:

- 1) That the report dated March 1, 2016 titled "RECOMMENDATION REPORT, Ruland Properties Inc. (The Remington Group) site plan application to permit a high density residential development comprising 545 condominium units with ancillary retail uses, north of Enterprise Boulevard, east of Warden Avenue and west of Rouge Valley Drive West" be received;
- 2) That the application for site plan approval (SC 15 244500) be endorsed in principle subject to the conditions attached as Appendix 'A'.
- 3) That site plan approval be delegated to the Director of Planning & Urban Design, or his designate, to be issued following execution of a site plan agreement. Site plan approval is only issued when the Director or his designate has signed the plans;
- 4) That Council grant servicing allocation for the 545 residential units within this development;
- 5) That the City reserves the right to revoke or reallocate servicing allocation should the development not proceed in a timely manner;
- 6) That the Owner provide the City with the required 60% processing fee in accordance with the City's applicable Fee By-law;
- 7) That this endorsement shall lapse after a period of three (3) years from the date of endorsement in the event that a site plan agreement is not executed within that period;

- 8) And that Staff be authorized and directed to do all things necessary to give effect to this resolution.

PURPOSE:

The purpose of this report is to discuss and recommend endorsement, in principle, of a site plan application submitted by Ruland Properties Inc. (The Remington Group) for a high density residential development comprising 545 condominium units with ancillary retail uses, north of Enterprise Boulevard, east of Warden Avenue and west of Rouge Valley Drive West.

BACKGROUND:

The subject lands are located north of Enterprise Boulevard on the east side of Warden Avenue and front onto Rouge Valley Drive West (Figure 1). The subject lands are approximately 1.21 ha (3 acres) in size and are vacant (Figure 3).

Surrounding uses are as follows:

- To the north are City owned lands intended for a future public park (to be constructed concurrently with proposed development);
- To the east, across Rouge Valley Drive West, are the 10 storey “Rouge Bijou” building and 3½ storey townhouse dwellings;
- To the south, is the Viva Transitway, Warden Viva Station and Enterprise Boulevard; and,
- To the west are Warden Avenue and Viva’s Transitway “Jug Handle”.

Proposal

The proposed development consists of 545 condominium units (including 4 live-work units) located in three residential buildings (Figure 4). Building 1, located north of Enterprise Boulevard on the east side of Warden Avenue, has a maximum height of 15 storeys and transitions to a height of 9 storeys along its Warden Avenue frontage. Building 2, located north of Enterprise Boulevard on the west side Rouge Valley Drive West, has a height of 12 storeys and is linked to Building 1 by a podium. Building 2 is proposed to contain 179 m² (1,927 ft²) of retail uses at-grade and the four live-work units. Building 3, located north of Building 2, on the west side of Rouge Valley Drive West, has a height of 7 storeys.

The proposed development will be serviced by two driveways off Rouge Valley Drive West. The first driveway, which is a proposed service access, is approximately 24 metres north of Enterprise Boulevard. The second driveway is located approximately 70 metres north of Enterprise Boulevard, and will accommodate full-moves to and from the site. Parking for the proposed development (a total of 628 spaces) is located below grade in a one level parking garage (314 spaces), above grade in a three-storey parking structure internal to the buildings, which is screened from view of the adjacent public street system and future public park (263 spaces) and covered at-grade for limited visitor and convenience uses (51 spaces).

The roof of the above grade parking structure is to be partially landscaped and functions as an outdoor amenity area (Figure 7). Buildings 1 and 2 are linked by a podium, which contains an indoor amenity area. The indoor amenity space is directly accessible to the outdoor amenity area located on the roof of the above grade parking structure.

Official Plan and Zoning

Current Official Plan

The subject lands are designated “Commercial – Community Amenity Area” in the in-force Official Plan (1987 Revised), as amended. They are further designated “Open Space” and “Secondary School” in the Markham Centre Secondary Plan (OPA 21). The policies of the Secondary Plan speak to certain lands contributing to the Open Space System as being schematically or symbolically depicted and that the school sites may not be required and permit alternate uses. The distribution of the parks and school sites for the precinct was resolved through Council’s endorsement of the Downtown Markham Precinct Plan.

New Official Plan 2014 (as partially approved on October 30, 2015)

The subject lands are designated “Mixed Use High Rise” in Markham’s new Official Plan 2014 (as partially approved on October 30, 2015).

Proposed Zoning

On November 2, 2015, Development Services Committee (DSC) approved, in principle, a Zoning By-law Amendment application for the subject lands, which would rezone the subject lands to “Markham Centre Downtown Two Zone” [MC-D2]. This zone category permits apartment dwellings and a range of retail and commercial uses. The implementing Zoning By-law, which is to be presented to Council on March 1, 2016 for their adoption, incorporates site specific exceptions to reflect this proposal and holding provisions. Conditions of hold removal include, but are not limited to, appropriate water supply and sewage capacity, site plan approval being granted by the City, and approval of a traffic impact study and Traffic Demand Management Plan.

A draft of the implementing Zoning By-law Amendment is attached to this report (Appendix ‘B’), along with a covering memo to Council pertaining to updated visitor parking survey/rates, which was a topic of discussion at the November 2, 2015 DSC meeting with regards to the Zoning By-law Amendment application.

OPTIONS/ DISCUSSION:

Site Plan and building elevations are appropriate

The proposed three (3) buildings have been arranged in a manner so that the taller buildings align with Warden Avenue and the Viva Transitway, while the lower buildings flank the park block to the north and existing residential to the east. The buildings are internally connected by a 3-storey above grade parking structure, which is screened from view of the adjacent public street system and future public park by the residential units around the perimeter of the buildings. As noted above, the roof of the proposed parking structure functions as an outdoor amenity area (Figure 7).

The proposed elevations are comprised of pre-cast concrete panels, dark grey metal panels, spandrel glass and “bronze” accents (Figures 5 and 6). Urban Design staff is of the opinion that the contemporary design, massing and built form of the proposed development is compatible with its surrounding context.

Of particular importance is the east façade, which interfaces directly with the existing townhouses on the east side of Rouge Valley Drive West. The scale and treatment of the elevation is generally appropriate to its context. Overall, Urban Design staff is satisfied with all of the façade treatments and will continue to work with the applicant on further, minor refinements.

Landscaping is appropriate and will complement the overall site plan and building design

Pedestrian access is to be provided along all four sides of the building. The pedestrian experience will be enhanced through the introduction of soft landscaping and decorative paving. Patio terraces along the site’s north frontage are to be separated from walkways with the introduction of plant material and a decorative metal screen with gate. Patios along the west edge are to be screened with planters and a decorative fence.

A fifth floor terrace and green roof is proposed between building towers and will provide shared amenity space for residents (Figure 7).

Adjacent Park Development to occur concurrently

Parks Development staff have retained a landscape architect to commence design development of the proposed park, with public consultation to commence in Spring, 2016, and to ensure co-ordination between the proposed development and construction of the park. This includes depositing fill on the park site (taken from the excavation of the subject lands), as well as providing any required service connections. A condition of site plan approval has been included to this effect (Appendix ‘A’).

Applicant has submitted a Transportation Demand Management Plan

The Applicant has submitted a Transportation Demand Management Plan (TDM), which has been reviewed by Transportation Planning staff, who are generally satisfied with the proposed TDM measures. These measures include, but are not limited to, providing unbundled residential parking from unit sales, the provision of bicycle parking spaces, presto transit subsidy and car share membership for all residential units for one year.

Public Art to be addressed comprehensively

The Remington Group is working closely with the City’s Culture Services Department to develop a comprehensive Public Art brief for their entire Downtown Markham project. This programme will be detailed in a future presentation to DSC.

Bird Friendly Measures and Dark Sky Compliance

The Applicant has committed to incorporating bird friendly measures into the design of the proposed development, including the use of dots on continuous glass panel areas and

the elimination of exterior up-lighting. The Applicant has also advised that LED exterior lighting fixtures will be selected to ensure "dark sky" compliance.

Applicant to connect to Markham District Energy Inc.

The Applicant has advised that the proposed development will be connected to Markham District Energy Inc.

Applicant will be seeking LEED Silver Certification

Servicing allocation has been identified for the proposed development (the equivalent of 545 residential units). The Applicant will be seeking LEED Silver certification as per the City's policy for high density residential development. Some of the sustainability measures to be incorporated into the building design, include but are not limited to: 40% water usage reduction from industry standards, energy load reductions from Building Code standards, and the provision of over 200 covered bicycle parking spaces.

Applicant to provide 3-stream sorting & collection system

The Applicant has committed to providing a 3-stream sorting and collection system for organics, recyclable materials and residual waste for the proposed development (single-chute system with tri-sorting equipment), along with an internal garbage room. There will be no external storage of waste, recyclable or organic materials.

Application presented to Markham Centre Advisory Group

The proposed high-density residential development was presented to the Markham Centre Advisory Group on May 14, 2015. At this meeting issues relating to increases in traffic and whether Markham District Energy Inc. had sufficient capacity to serve the growth in downtown Markham, were raised. Issues related to traffic were addressed in Staff's November 2, 2015 Recommendation Report on the Zoning By-law Amendment application. Markham District Energy Inc. has also advised that service will expand to accommodate growth as it occurs. As indicated above, the Applicant has also committed to connect to Markham District Energy Inc.

Engineering Staff Comments

Engineering staff have advised that they are generally satisfied with the proposed high density residential development. As a condition of site plan approval, Engineering staff have requested that the Applicant provide a financial contribution to the City for sanitary sewer flow monitoring (Appendix 'A'). The flow monitoring results shall be reviewed and if deemed necessary, financial contributions to upgrades of the sanitary sewer will be required for future developments.

York Region Comments

The subject site plan application has been circulated to York Region, as Warden Avenue is under their jurisdiction. In their comments, York Region requests a 2.5 metre sidewalk connection between the Warden/Enterprise Viva Station and Rouge Valley Drive West. The Applicant has worked with the Region to accommodate this request and have agreed that public access will be granted, via an easement.

Toronto and Region Conservation Authority (TRCA) Comments

The TRCA have advised that they have no objection to the proposed development and have requested that a condition of site plan approval be included requiring the applicant to obtain all necessary permits pursuant to Ontario Regulation 166/06.

FINANCIAL CONSIDERATIONS AND TEMPLATE:

Not applicable.

HUMAN RESOURCES CONSIDERATIONS

Not applicable.

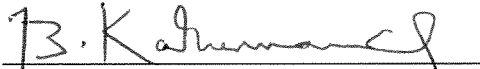
ALIGNMENT WITH STRATEGIC PRIORITIES:

The proposal has been reviewed in the context of Growth Management and Municipal Services. The proposal is consistent with policies supporting efficient use of land and infrastructure by providing a more compact built form.

BUSINESS UNITS CONSULTED AND AFFECTED:

All City departments and external agencies have been circulated with this application and all comments have been addressed and incorporated into the project plans, or identified as a condition of site plan approval.

RECOMMENDED BY:



Biju Karumanchery, M.C.I.P., R.P.P.
Director of Planning & Urban Design



Jim Baird, M.C.I.P., R.P.P.
Commissioner of Development Services

ATTACHMENTS:

- Figure 1: Location Map
- Figure 2: Area Context
- Figure 3: Aerial Photo
- Figure 4: Site Plan
- Figure 5: North Perspective Looking from Future Public Park
- Figure 6: South Perspective from Warden Avenue Looking North-East
- Figure 7: Rooftop Amenity Area

APPENDICES:

- Appendix 'A' – Conditions of Site Plan Approval
- Appendix 'B' – Covering Memorandum and Draft Implementing Zoning By-law

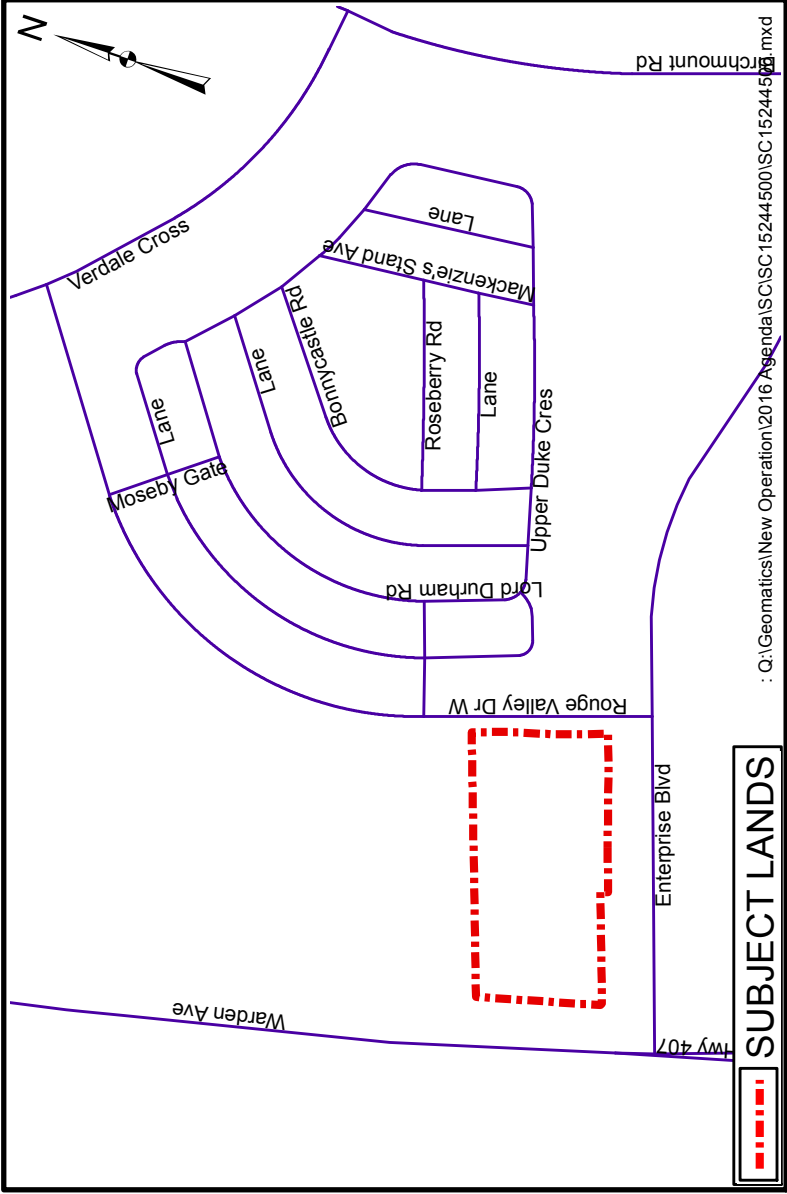
APPENDIX A

**City of Markham
Conditions of Site Plan Approval
Ruland Properties Inc. (The Remington Group)**

1. That prior to final Site Plan Approval the implementing Zoning By-law shall come into effect.
2. That prior to final Site Plan Approval, the Owner provide necessary easements respecting public access through the subject lands (if required) to the satisfaction of the Commissioner of Development Services, the City Solicitor and York Region.
3. That prior to final Site Plan Approval, the Owner shall submit final site plans, elevation drawings, underground parking garage layout plans, grading, servicing and engineering drawings, landscape plans and tree preservation plans (if applicable) along with any other plans, studies and reports which are required to comply with the requirements of the City and external agencies, to the satisfaction of the Director of Planning & Urban Design.
4. That the Owner enter into a site plan agreement with the City and York Region containing all standard and special provisions and requirements of the City, York Region and other public agencies, consisting of but not limited to the following:
 - a) Provision for the payment by the Owner of all applicable fees, recoveries, development charges, provision of parkland dedication (cash-in-lieu), and any other financial obligations and securities;
 - b) That the Owner agrees to provide a 3-Stream sorting and collection system for organics, recyclable materials and residual waste as required by the City (proposed single-chute system with tri-sorting equipment) and that the location, size and construction of all refuse storage areas and recycling facilities and arrangements for waste collection be to the satisfaction of the City's Waste Management Department.
 - c) That the Owner agrees to provide fire routes, yard hydrants, Siamese connections and other emergency access requirements to the satisfaction of the Fire Department.
 - d) That the Owner agrees to implement the Bird Friendly Measures and provide a detailed lighting plan which includes the installation of LED exterior lighting, to the satisfaction of the Director of Planning & Urban Design;

- e) That the Owner agrees to implement the Transportation Demand Management Plan, to the satisfaction of the Director of Engineering;
 - f) That the Owner agrees to provide snow removal and storage, sidewalk alignment and maintenance to the satisfaction of the General Manager of Operations and the Director of Engineering;
 - g) That the Owner agrees to achieve LEED Silver and provide written confirmation from a certified LEED consultant upon completion of construction of the proposed development that LEED Silver has been achieved, to the satisfaction of the Commissioner of Development Services;
5. That the Owner submit a Construction Management and Communication Plan, Traffic Management Plan, Noise Feasibility Study and Dewatering Management Plan (if necessary), to the satisfaction of the Director of Engineering, prior to the issuance of a building permit, execution of pre-servicing agreement, or execution of a site plan agreement, whichever is earlier.
 6. That the Owner confirm that there are no shoring tie-back and piles system and hoarding encroachments into the City's right-of-way, easement and/or parkland. Alternatively, the Owner agrees to submit a Shoring/Excavation and Hoarding Plan and enter into an appropriate shoring and hoarding encroachment agreement, prior to the issuance of a building permit, execution of pre-servicing agreement, or execution of a site plan agreement, whichever is earlier, to the satisfaction of the Director of Engineering.
 7. Owner agrees to pay the City in the amount of \$26,894 (includes Engineering administration fee and HST) for the sanitary sewer monitoring for a period of 2 years in accordance with the City's requirements. The flow monitoring results shall be reviewed and if deemed necessary, financial contributions to upgrades of the sanitary sewer will be required for future developments.
 8. Prior to occupancy, the Owner covenants and agrees to disconnect the proposed foundation drain collectors from the sanitary sewers and connect to the foundation drain collector outfall to the satisfaction of the Director of Engineering.
 9. That the Owner obtain the necessary permits and/or approvals required by the Ministry of Environment and Climate Change (MOECC) for a Permit to Take Water (PTTW) and by the City of Markham for a Permit to Discharge Water (if required).
 10. That the Owner comply with all requirement of the City and authorized public agencies, including York Region, Ministry of Transportation, Toronto and Region Conservation Authority, to the satisfaction of the Director of Planning and Urban Design;

11. That the Owner provide written confirmation that the height and lighting of the proposed buildings meet the requirements of Transport Canada, including any applicable warning clauses;
12. That the Owner continue to work with staff on an appropriate public art component for this project, to the satisfaction of the Director of Planning and Urban Design in consultation with the Director of Culture.
13. That prior to the issuance of Site Plan Approval the Owner obtain written clearance from the Trustee for the Markham Centre Landowners Group indicating the Owner is a member of the Group in Good standing under the Group Cost-Sharing Agreement.
14. That this endorsement shall lapse and site plan approval will not be issued, after a period of three years commencing on March 1, 2016, in the event that the site plan is not executed within that period.





AIR PHOTO 2015

APPLICANT: RULAND PROPERTIES INC. (THE REMINGTON GROUP)
 NORTH OF ENTERPRISE BLVD. EAST OF WARDEN
 (8,10 & 18 ROUGE VALLEY DRIVE)

 SUBJECT LANDS

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FILE No:SC15244500(SB)

 MARKHAM DEVELOPMENT SERVICES COMMISSION

Drawn By:DD

Checked By:SB

DATE:02/04/16

FIGURE No. 3

WARDEN AVENUE

ROUGE VALLEY DRIVE

MAIN DRIVEWAY

TOWER 1
(TOWER A)
9 STOREYS IN THIS LOCATION

TOWER 3
(TOWER C)
7 STOREYS

AMENITY

TOWER 1
(TOWER A)
15 STOREYS

TOWER 2
(TOWER B)
12 STOREYS

4 STOREYS IN
THIS LOCATION

ENTERPRISE VIVA
STATION

VIVA TRANSITWAY

ENTERPRISE BOULEVARD

SITE PLAN

APPLICANT: RULAND PROPERTIES INC. (THE REMINGTON GROUP)
NORTH OF ENTERPRISE BLVD. EAST OF WARDEN
(8,10 & 18 ROUGE VALLEY DRIVE)

 SUBJECT LANDS

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DATE: 02/04/16



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NORTH PERSPECTIVE-LOOKING FROM FUTURE PUBLIC PARK

APPLICANT: RULAND PROPERTIES INC. (THE REMINGTON GROUP)
NORTH OF ENTERPRISE BLVD. EAST OF WARDEN
(8,10 & 18 ROUGE VALLEY DRIVE)

FILE No:SC15244500(SB)



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SOUTH PERSPECTIVE FROM WARDEN AVENUE LOOKING NORTH EAST
APPLICANT: RULAND PROPERTIES INC. (THE REMINGTON GROUP)
NORTH OF ENTERPRISE BLVD. EAST OF WARDEN
(8,10 & 18 ROUGE VALLEY DRIVE)

FILE No:SC15244500(SB)



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ROOF TOP AMENITY AREA APPLICANT: RULAND PROPERTIES INC. (THE REMINGTON GROUP) NORTH OF ENTERPRISE BLVD. EAST OF WARDEN (8, 10 & 18 ROUGE VALLEY DRIVE)

FILE No:SC15244500(SB)



MEMORANDUM

TO: Mayor and Members of Council

FROM: Jim Baird, Commissioner of Development Services

PREPARED BY: Sabrina Bordone, Senior Planner, Central District

REVIEWED BY: Richard Kendall, Manager, Central District

DATE: March 1, 2016

RE: Ruland Properties Inc. (The Remington Group)
 North of Enterprise Boulevard, east of Warden Avenue and west of Rouge Valley Drive West
 File Nos. ZA/SC 15 244500

Background

Attached please find a Zoning By-law Amendment which implements a high density residential development comprising 545 condominium units with ancillary retail uses, located north of Enterprise Boulevard, east of Warden Avenue and west of Rouge Valley Drive West. This Zoning By-law Amendment application was approved by Development Services Committee (DSC) at their November 2, 2015 meeting. A discussion pertaining to the provision of visitor parking spaces took place at that meeting and this memo addresses the concerns raised by DSC.

Updated Visitor Parking Survey/Rates

The Markham Centre Zoning By-law 2004-196, as amended, requires parking to be provided for apartment dwellings at a rate of 1 space for residential parking and 0.2 spaces per unit for visitor parking. The required number of parking spaces for the proposed development is 660 spaces and the provided number of spaces is 628 (reduction of 32 spaces) based on a parking standard of 1 space per residential unit (545 spaces) and 0.15 spaces per unit for visitor parking, to be shared with the retail component (83 spaces). The visitor parking ratio was based on 2012 surveys at proxy sites within Downtown Markham and the fact that the proposed site will be located immediately adjacent to a transit station.

The provision of parking for the proposed development was a topic of discussion at the DSC meeting held on November 2, 2015. Specifically, members of DSC asked the Applicant's transportation consultant to provide an update to visitor parking information collected in 2012 and verify whether the visitor parking supply has been reduced at the proxy site locations. A parking addendum was prepared to this effect and provided to staff in December 2015. In

summary, the new 2015 and 2012 visitor parking survey results are very consistent, and the 2012 rates remain valid. The new 2015 surveys of visitor parking demands at site near the proposed development show that the aggregate peak visitor parking demand at the three sites was 0.12 spaces per unit. Coupled with this, transit ridership has been increasing, based on historical annual transit ridership information at the Viva station on Enterprise Boulevard at Warden Avenue. The increasing number of transit passengers contributes to lower visitor parking demand. The parking surveys and transit ridership information validates that the proposed visitor parking supply of 0.15 spaces per unit is sufficient to accommodate the anticipated visitor parking demand and is appropriate for the proposed development. Accordingly, the attached implementing Zoning By-law reflects this figure.

Conclusion

Staff recommend that the attached Zoning By-law Amendment be enacted.

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Explanatory Note

By-law 2016-___

A By-law to amend By-law 2004-196, as amended

Ruland Properties Inc. (The Remington Group)

North of Enterprise Boulevard, east of Warden Avenue and west of Rouge Valley Drive West

Lands Affected

The proposed by-law amendment applies to a 1.21 ha (3 acres) vacant parcel of land located north of Enterprise Boulevard on the east side of Warden Avenue and fronting onto Rouge Valley Drive West.

Existing Zoning

The lands are zoned "Markham Centre Downtown One (Hold)" [MC-D1(H1, H2, H5)] by By-law 2004-196, as amended.

Purpose and Effect

The purpose of this by-law amendment is to rezone the subject lands to "Markham Centre Downtown Two *25 (Hold)" [MC-D2 *25(H)] in By-law 2004-196, as amended, incorporating site specific development standards.

The effect of this by-law amendment is to permit a proposed high-density development accommodating 545 residential units and up to 200m² of retail floor area.



By-law 2016-_____

A By-law to amend By-law 2004-196, as amended
(to rezone lands in the designated area of By-law 2004-196)

THE COUNCIL OF THE CORPORATION OF THE CITY OF MARKHAM
HEREBY ENACTS AS FOLLOWS:

1. Zoning By-law 2004-196, as amended, be and the same is hereby further amended as follows:
 - 1.1 By rezoning the lands outlined on Schedule A attached hereto from Markham Centre Downtown One (Hold) [MC-D1(H1, H2, H5)] to Markham Centre Downtown Two *25 (Hold) [MC-D2 *25(H)]

As shown on Schedule L1 attached hereto;
 - 1.2 By amending Section 1.2 of By-law 2004-196, as amended, by adding the symbols "L1 to L4" at the end of the sentence "Schedules A1 to A4, B1 to B4, C1 to C4, D1 to D4, E1 to E4, F1 to F4, G1 to G4, H1 to H4, I1 to I4, J1 to J4, K1 to K4".
 - 1.3 By amending Section 2.2 of By-law 2004-196, as amended, by adding the symbol "L1" at the end of the sentence "Schedules A1, B1, C1, D1, E1, F1, G1, H1, I1, J1, K1".
 - 1.5 By amending Sections 2.6, 2.6.1 and 2.6.2 of By-law 2004-196, as amended, by adding the symbol "X10" at the end of the sentence "Schedules X1, X2, X3, X4, X5, X6, X7, X8, X9."
 - 1.6 By adding the following new subsection 6.25 (*25) to Section 6 – Exceptions to By-law 2004-196:

**6.25 Ruland Properties Inc. (The Remington Group)
Lands Zoned MC-D2 – North of Enterprise Boulevard,
east of Warden Avenue and west of Rough Valley Drive
West**

Notwithstanding any other provisions of this By-law, the following provisions shall apply to the lands denoted by the symbol *25 (Exception 25) on the schedules to this By-law. All other provisions, unless specifically modified/amended by this section, continue to apply to the lands subject to this section.

6.25.1 Special Site Provisions

The following special site provisions shall apply:

- a) *Dwelling units* are permitted on any *storey*, including the first *storey*, of an *apartment building*.
- b) Special Provision (2) to Table A1 shall not apply.

Commissioner of Development Services and the
City Solicitor.

iv. Any other agreement identified as being
required by Council has been entered into that
satisfies all of the conditions of the City.

v. Site Plan Approval has been granted by the
City.

Driveways and underground parking garage are
permitted to be constructed prior to the removal of the
Holding provision 'H'.

1.7 By adding the following schedules to By-law 2004-196, as amended
Schedule L1, L2, L3, L4 and X10.

2. All other provisions of By-law 2004-196, as amended, not inconsistent with
the provisions of this by-law shall continue to apply.

Read a first, second, and third time and passed on March 1, 2016.

Kimberley Kitteringham
City Clerk

Frank Scarpitti
Mayor



SCHEDULE "A" TO BY-LAW **AMENDING BY-LAW 2004-196 DATED**

BOUNDARY OF AREA COVERED BY THIS SCHEDULE

<input type="checkbox"/> MC-D1	MARKHAM CENTRE DOWNTOWN ONE	<input type="checkbox"/> *No.	EXCEPTION SECTION NUMBER
<input type="checkbox"/> MC-D2	MARKHAM CENTRE DOWNTOWN TWO	<input type="checkbox"/> (H)	HOLDING PROVISION

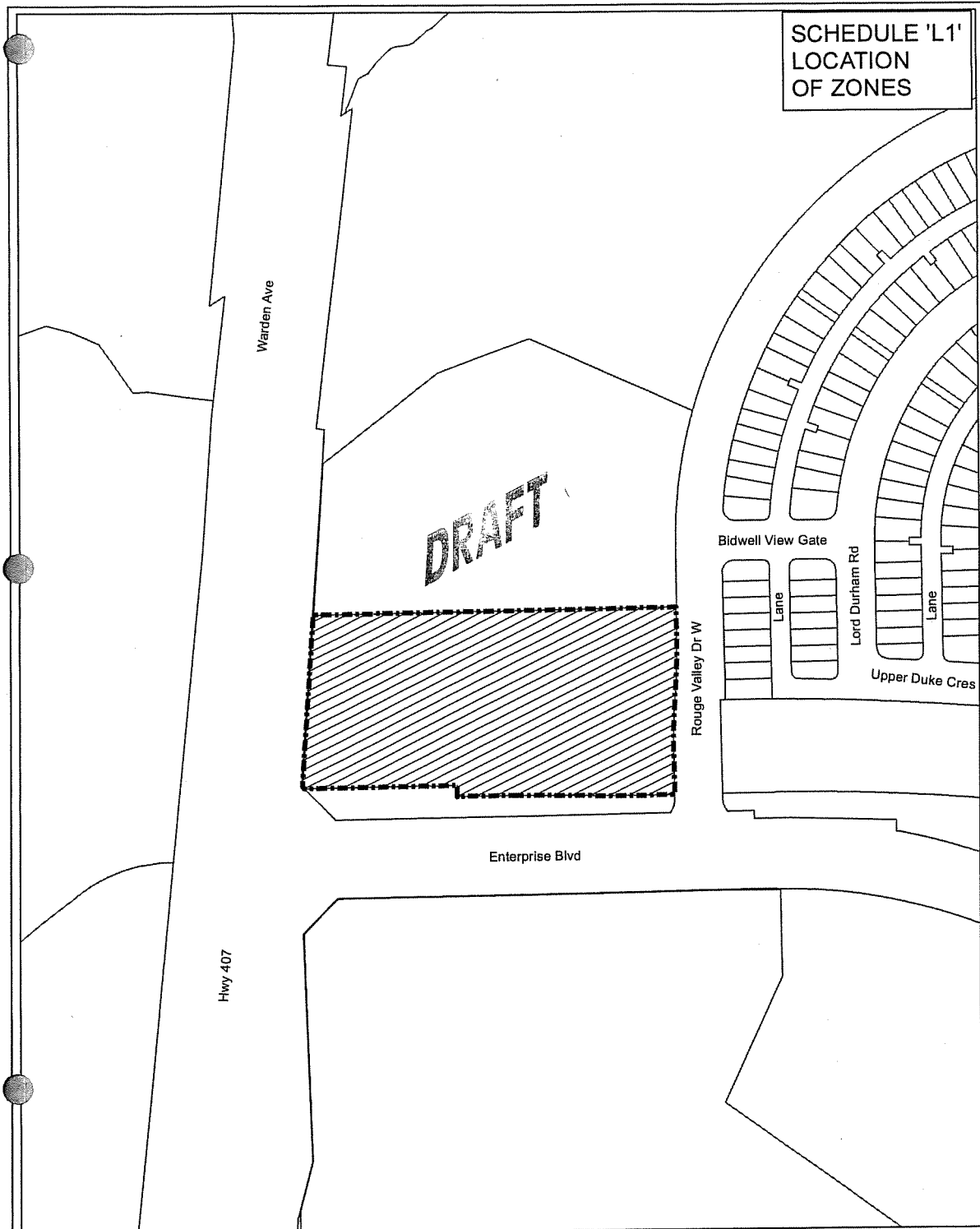


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 Checked By: SB
 DATE: 02/02/2016

MARKHAM DEVELOPMENT SERVICES COMMISSION

NOTE: This Schedule should be read in conjunction with the signed original By-Law filed with the City of Markham Clerk's Office Q:\Geomatics\New Operation\By-Laws\PR2004-196\ZA14108661\By-Law (2004-196)\Sche A\By-law Sche A.mxd

**SCHEDULE 'L1'
LOCATION
OF ZONES**



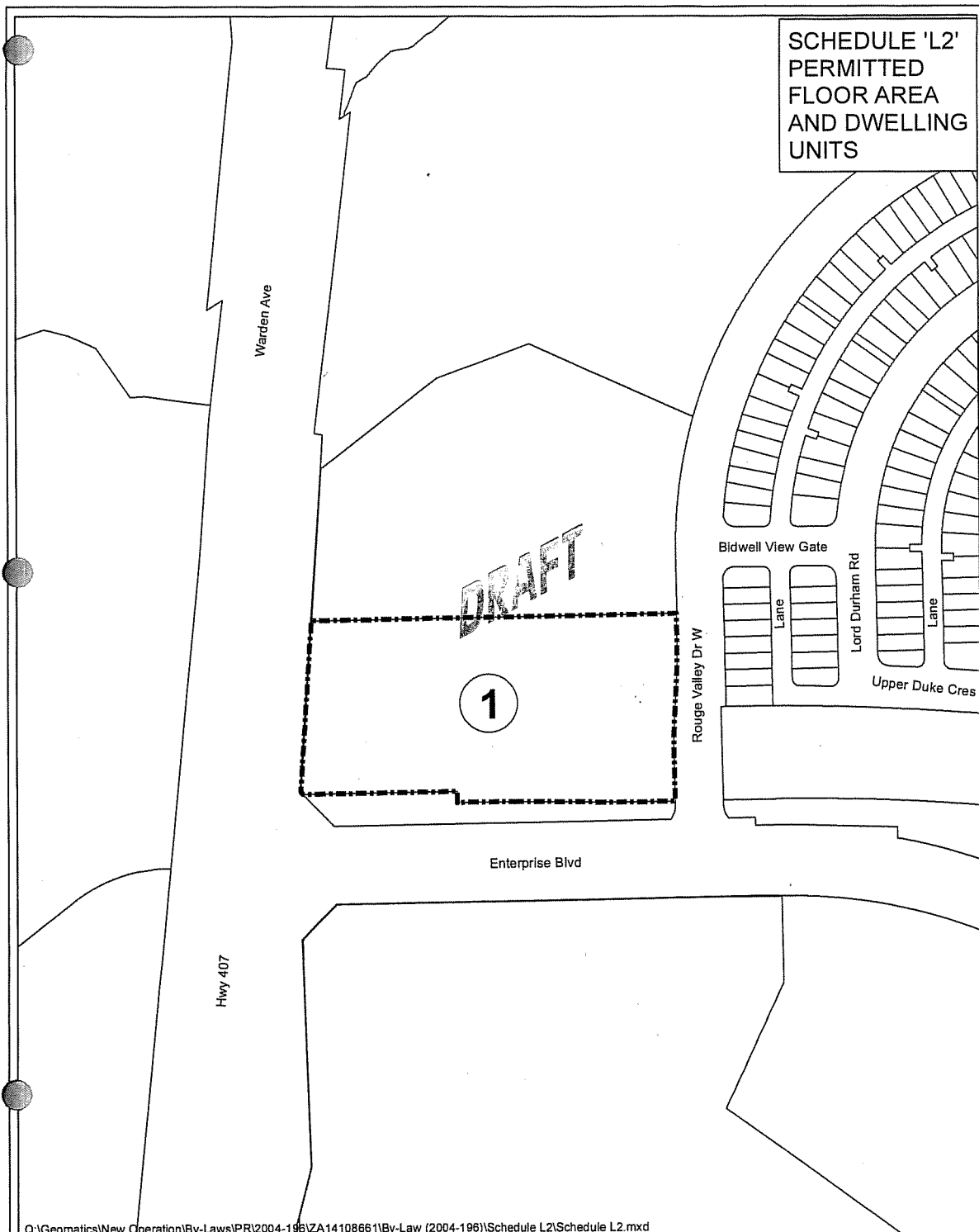
**SCHEDULE "L1" TO BY-LAW
AMENDING BY-LAW 2004-196 DATED**

--- BOUNDARY OF AREA COVERED BY THIS SCHEDULE
 // MC-D2*25

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MARKHAM DEVELOPMENT SERVICES COMMISSION 30 15 0 30 Meters Drawn By: CPW Checked By: SB DATE: 02/02/2016

NOTE: This Schedule should be read in conjunction with the signed original By-Law filed with the City of Markham Clerk's Office



SCHEDULE "L2" TO BY-LAW AMENDING BY-LAW 2004-196 DATED

 **BOUNDARY OF AREA COVERED BY THIS SCHEDULE**

Number on Schedule L2	Net Floor Area (M2)	Maximum number of Dwelling Units
1	Non-Residential Maximum 200	545



MARKHAM DEVELOPMENT SERVICES COMMISSION

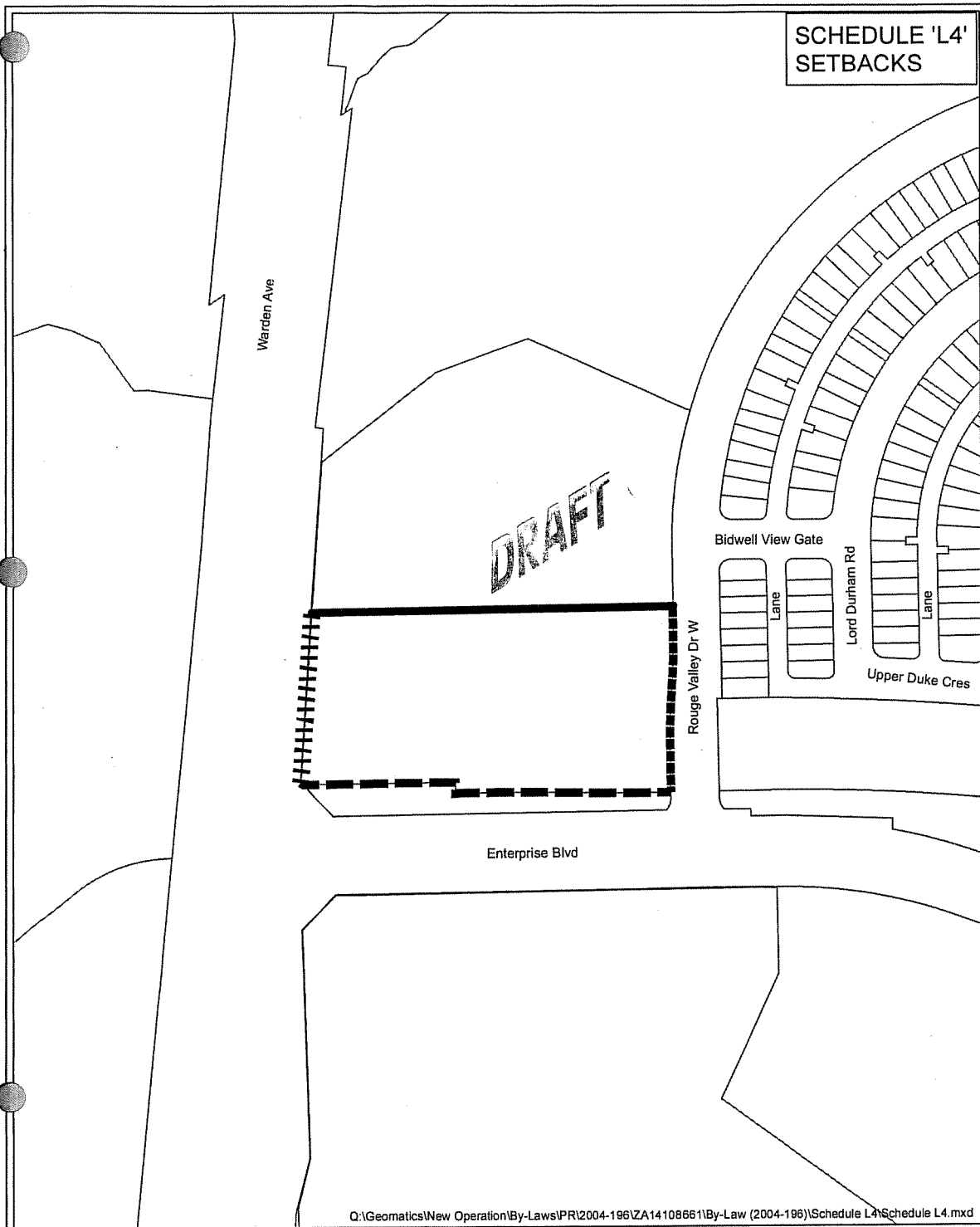
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Checked By: SB

DATE: 02/02/2016

NOTE: This Schedule should be read in conjunction with the signed original By-Law filed with the City of Markham Clerk's Office



SCHEDULE "L4" TO BY-LAW AMENDING BY-LAW 2004-196 DATED

-  The minimum building setback to the first storey above grade shall be 10 metres
-  The minimum building setback to the first storey above grade shall be 2.5 metres
-  The minimum building setback to the first storey above grade shall be 2 metres
-  The minimum building setback to the first storey above grade shall be 0 metres

The following provision shall apply:

- 1) Underground parking garages shall be set back a minimum of 0 metres from the north and east lot lines and 2 metres from west and south lot lines.
- 2) The minimum setback for all storeys above the first storey shall be 0 metres.



MARKHAM DEVELOPMENT SERVICES COMMISSION

30 15 0 30 Meters

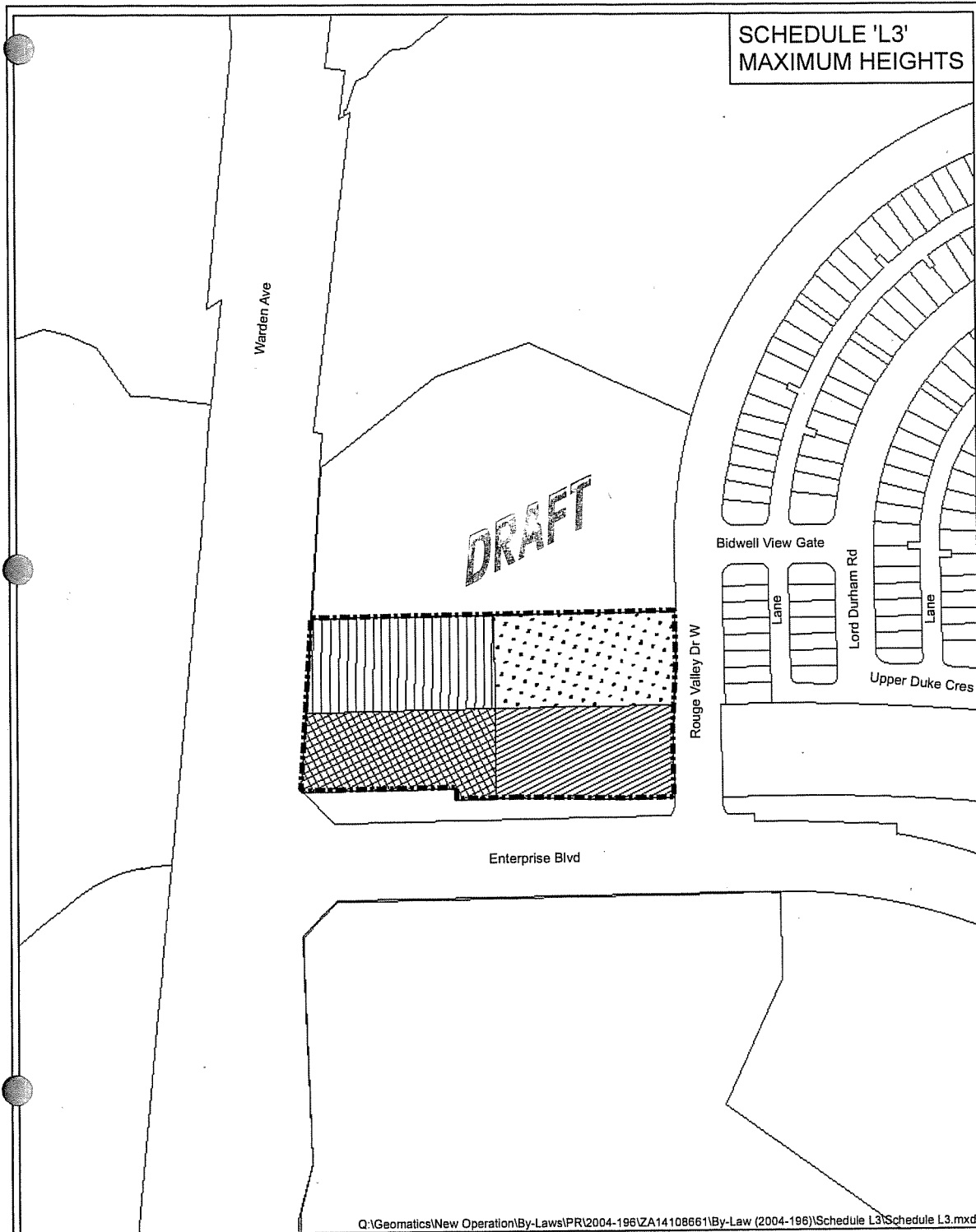
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Checked By: SB

DATE: 02/02/2016

NOTE: This Schedule should be read in conjunction with the signed original By-Law filed with the City of Markham Clerk's Office

**SCHEDULE 'L3'
MAXIMUM HEIGHTS**



**SCHEDULE "L3" TO BY-LAW
AMENDING BY-LAW 2004-196 DATED**

--- -- BOUNDARY OF AREA COVERED BY THIS SCHEDULE

..... THE LESSER OF 7 STOREYS OR 26 METRES

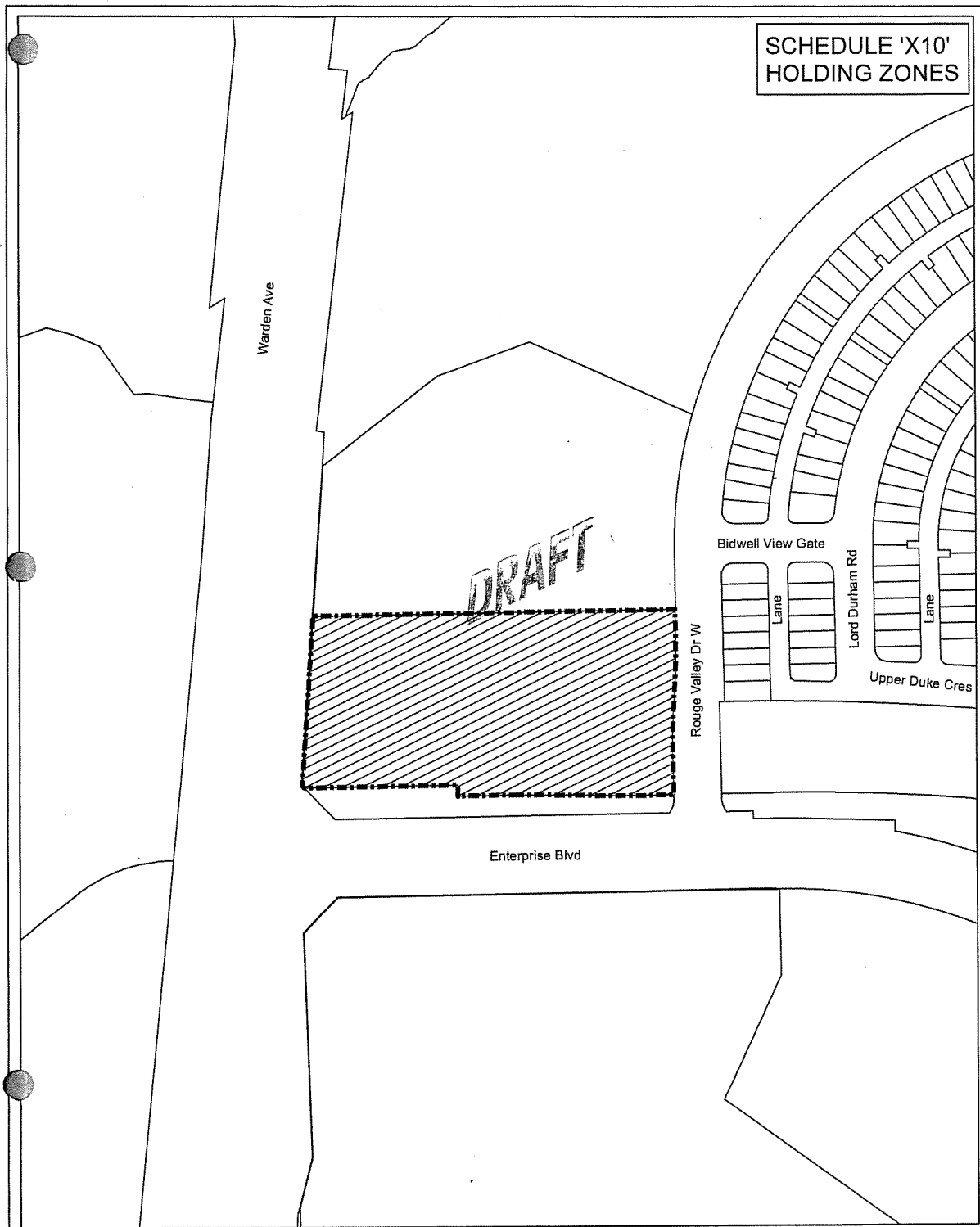
||||| THE LESSER OF 9 STOREYS OR 32 METRES

XXXXX THE LESSER OF 15 STOREYS OR 55 METRES

//// THE LESSER OF 12 STOREYS OR 47 METRES


The following provision shall apply: (Geological Survey of Canada)

1) Not with standing any of the height permission on this schedule, no part of any building or structure shall have a height greater than 238.00 G.S.C. (Geological Survey of Canada)

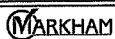


SCHEDULE "X10" TO BY-LAW AMENDING BY-LAW 2004-XXX DATED

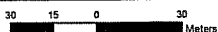
 BOUNDARY OF AREA COVERED BY THIS SCHEDULE

 HOLDING ZONE

Q:\Geomatics\New Operation\By-Laws\PR\2004-196\ZA14108661\By-Law (2004-196)\Schedule X10\Schedule X10.mxd



DEVELOPMENT SERVICES COMMISSION



Drawn By: CPW

Checked By: SB

DATE: 02/02/2016

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