



MEMORANDUM

TO: Heritage Markham Committee

FROM: Evan Manning, Senior Heritage Planner

DATE: April 10, 2024

SUBJECT: Committee of Adjustment Variance Application
86 John Street, Thornhill
Proposed Rear Addition with Integrated Garage
A/106/23

Property/Building Description: One-and-a-half storey detached dwelling and detached garage constructed in 1914 as per MPAC records.

Use: Residential

Heritage Status: Designated under Part V of the *Ontario Heritage Act* as a constituent property of the Thornhill Heritage Conservation District (“THCD”).

Application/Proposal

- The City has received a Committee of Adjustment (“COA”) application seeking variances to enable the future construction of a rear addition containing amenity space, two residential units, and a two car garage at 86 John Street (the “Subject Property” or the “property”). An enclosed one-storey link is proposed to connect the rear addition with the north elevation of the existing dwelling. The existing garage is proposed to be removed to accommodate the addition;
- An amended COA application is required as the scale and siting of the proposal has changed in response to past comments from the Markham Heritage Committee;
- The applicant has not yet submitted a Major Heritage Permit or Demolition Application for the Subject Property as they wish to first secure COA approval for the proposed variances. At the time of writing, a new COA hearing date has yet to be scheduled.

Requested Variances to the Zoning By-laws

The applicant requires the following relief from By-law 2237, as amended, to permit:

a) By-law 2237, amending By-law 101-90, Section 1.2 (iv):

a building depth of 31.48 metres; whereas the By-law allows a maximum building depth of 16.8 metres;

b) By-law 2237, Section 6.1:

a rear yard setback of 14.85 feet; whereas the By-law requires a minimum rear yard setback of 30 feet;

c) By-law 2237, amending By-law 223-94, Section 1.2 (vii):

a floor area ratio of 44.73%; whereas the By-law allows for a maximum floor area ratio of 33%

as it relates to a proposed rear addition with a one-storey connection to the heritage dwelling.

Heritage Markham Committee

- The Heritage Markham Committee (the “Committee”) previously considered a COA application for the Subject Property at its meetings on July 12, 2023 and September 13, 2023;
- As the need for an additional variance was discovered, and in response to concerns over the scale and siting of the proposed addition as identified by an adjacent property owner, the Committee deferred consideration of the application until its September meeting to provide the applicant time to consider revisions to the proposal;
- A revised proposal was presented to the Committee at its meeting on September 13, 2023 but was not supported given continued concerns about the siting and scale of the addition as well the proposed scope of tree removal required to accommodate the addition;
- Refer to Appendix ‘D’ for a copy of the July and September meeting extracts.

Revised Proposal

The proposal has been revised in response to concerns raised by the Committee. Below is a summary of the key design revisions made since it was last considered by the Committee:

- The rear yard was increased in size by reducing the proposed building depth by 2.37m. At its closest, the proposed addition is approximately 15ft from the rear (north) property line and at its farthest is approximately 20ft (note that the addition is angled so the setback from the rear property line increases going from west to east);
- The proposed building height has been lowered 0.09m (3-1/2”) for a new maximum building height of 8.69m (28.5 ft.);
- The garage has been reduced from a four car to a two car configuration;
- The gross floor area has been reduced an additional 34.79m² for a new total of 544.98m²;
- The lot coverage has been reduced a further 1.76% to 20%;
- The proposed building has been further rotated and shifted slightly to the east so as to allow for the retention of three of the Norway Spruce adjacent to the western property line. As previously proposed, all the spruce trees in this location were proposed to be removed.

Refer to Appendix ‘F’ for a copy of the revised drawings.

Background

Thornhill Heritage Conservation District Plan

Categorization within the THCD Plan

- The Subject Property is categorized as ‘Class A – Buildings of Major Importance to the District’. As described in Section 2.2.2 (‘Building/Property Classification’) of the THCD Plan, Class A properties possess the following qualities:
 - *They possess cultural heritage value;*
 - *They are buildings and properties that maintain the heritage character of the District pre-1900;*
 - *These buildings possess heritage attributes or character defining elements such as historic materials, features, characteristics, forms, locations, spatial configurations, uses or historical associations that contribute to the cultural heritage value of the*

District. For example, a building may represent a historic architectural style or may have historic claddings, windows, architectural features, verandas or landscape elements;

- *Includes properties designated under Part IV of the Ontario Heritage Act and buildings identified as being of architectural significance in the 1986 Heritage District Plan.*

Infill By-law

- An Infill By-law was adopted by Council in 1990 (By-law 101-90) and later amended in 1994 (By-law 223-94) to help ensure that new development would result in dwelling units that were compatible in size and design with existing development in the area.
- According to the Infill Zoning by-law for this area (101-90, as amended), the maximum Floor Area Ratio is 33% for a Single Family Dwelling (SFD). According to analysis undertaken by Heritage Section staff (“Staff”) on this subject in 1994, the maximum building size allowable for all properties in the District was calculated. For 86 John Street, 33% of the Net Lot Area, would allow a dwelling and garage of **4,342.8 sq ft**. The current proposal is for a dwelling and integrated garage of **5,866.2 sq ft**.

Staff Comment

Requested Variances

- Note that the extensive rear yard setback variance is because the garage/addition is attached to the main house by a link and therefore the entire building mass is considered the main house from a zoning perspective;
- Staff generally have no objection to the variances from a heritage perspective. The siting and scale of the proposed addition does not diminish the prominence of the heritage dwelling as viewed from the street. Further, the introduction of new residential units represents a gentle form of intensification that allows the THCD to play a constructive role in addressing the housing shortage;
- While the proposed floor area ratio exceeds what is permitted in the By-law, the lot coverage of both the existing dwelling and proposed addition is well below the permitted maximum lot coverage of 33 1/3%. Given that the dwelling and addition are legible as distinct volumes, Staff are of the opinion that the scale and massing of the proposal does not adversely impact the heritage character of either the Subject Property or adjacent heritage properties;
- Although not a heritage matter, the addition has been programmed to reduce overlook and privacy concerns for adjacent property owners. Those spaces that are most frequently used and/or require larger windows have been placed along the south and east elevations of the addition house where they are the farthest from adjacent dwellings. Further, the increased rear yard setback on the addition relative to the first iteration of the proposal reduces the visual impact of proposal on the property owner to the north at 4 Leahill Drive;
- Staff also have no objection to the construction of the one-storey link as it provides the benefit of a weather protected circulation route between the main dwelling and the proposed addition while still maintaining the legibility of both as distinct elements.

Future Removal of the Existing Garage

- While the existing garage is identified as a heritage attribute within the THCD Plan, it is the understanding of Staff that the structure is in poor physical condition. As such, Staff have no objection to its removal (refer to photographs of the garage in Appendix ‘B’);
- As the Subject Property is designated under the *Ontario Heritage Act*, consideration by the Heritage Markham Committee, and approval by City Council is required to permit the demolition of the existing garage.

Recommended Mitigation Measures

- In order to mitigate the visual impact of the proposed addition on the adjacent property owner at 4 Leahill Drive, Staff will recommend as approval conditions the installation of 6ft privacy fence along the Subject Property’s north property line (there is currently a wire fence that offers little in the way of privacy) and the planting of a landscaped buffer adjacent to the new fence (this buffer is currently shown on the appended site plan). These approval conditions are proposed to be linked to the COA application and future Major Heritage Permit application, respectively.

Conceptual Design

- Staff are generally supportive of the design of the proposed addition from a heritage perspective and recommend that the Committee delegate to Staff the review and approval of a future Major Heritage Permit application.

Suggested Recommendation for Heritage Markham

THAT Heritage Markham has no objection from a heritage perspective to the revised proposal for 86 John Street including the requested variance to permit:

- a building depth of 31.48 metres; whereas the By-law allows a maximum building depth of 16.8 metres;
- a rear yard setback of 14.85 feet; whereas the By-law requires a minimum rear yard setback of 30 feet;
- a floor area ratio of 44.73%; whereas the By-law allows for a maximum floor area ratio of 33%;

AND THAT future review of a Major Heritage Permit application, and any other application required to enable the proposed development including a demolition permit application for the garage, be delegated to Heritage Section staff should the design be substantially in accordance with the drawings as appended to this memo.

ATTACHMENTS:

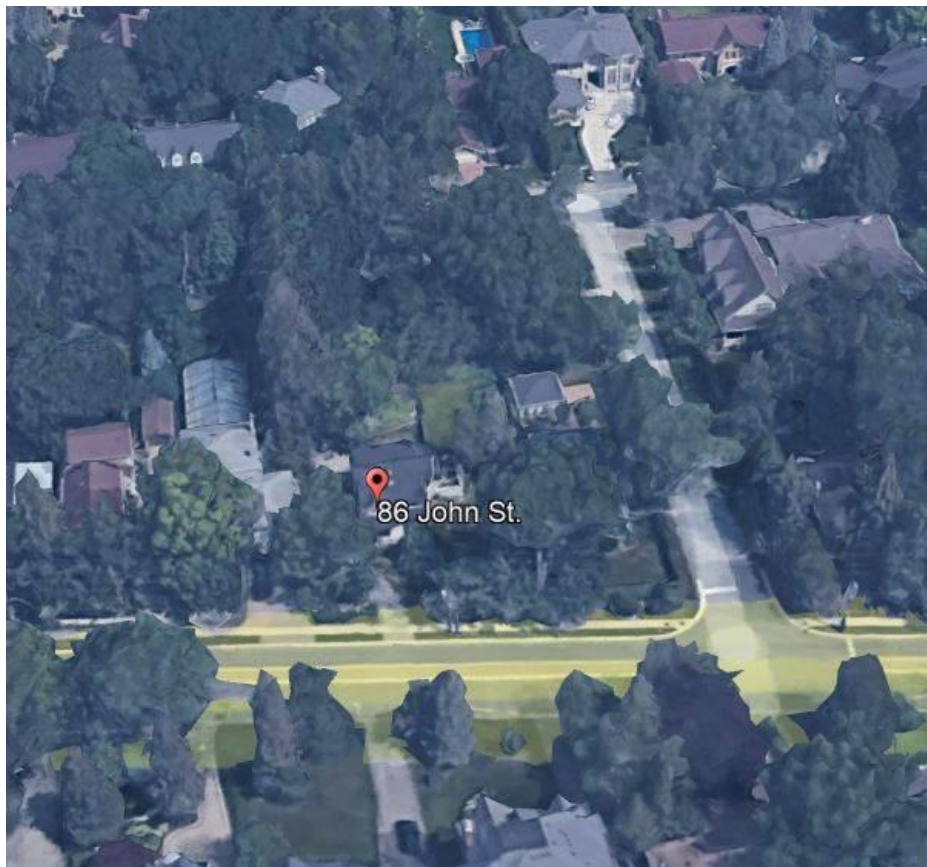
Appendix ‘A’	Location Map and Aerial Image of the Subject Property
Appendix ‘B’	Image of the Subject Property
Appendix ‘C’	Thornhill HCD Inventory – 86 John Street
Appendix ‘D’	Heritage Markham Extracts
Appendix ‘E’	Rendering of the Proposed Addition
Appendix ‘F’	Revised Drawings

Appendix 'A'

Location Map and Aerial Image of the Subject Property



Property map showing the location of the Subject Property [outlined in blue] (Source: City of Markham)



Aerial image looking north towards the Subject Property showing the dense tree cover typical of the District [outlined in blue] (Source: Google Earth)

Appendix 'B'

Images of the Subject Property



The south (primary) elevation of heritage dwelling on the Subject Property (Source: Google)



Rear Garage. Note that the maple tree shown above has since been removed (Source: Heritage Section Photo Collection)



Rear Garage, 2020 (Heritage Section Photo Collection)

Appendix 'C'

Thornhill HCD Inventory – 86 John Street

Thornhill Heritage Conservation District Inventory



Billerman House

Location: 86 John Street
Year Built: Circa 1912-1914, renovation in 2002
Style: Arts-and-Crafts Craftsman Bungalow
Storeys: 2
Classification: A

Foundation:
Cladding: Stucco, clapboard.
Roof: Cross-gable, shed & front-gable dormers, asphalt shingles.
Windows: Casements.

Description: Sited sideways. Principal facade, on the left, is a 3-bay composition, with the entry in the centre flanked by octagonal bay windows. Front-gable entry porch has stucco walls, with unique 'lily pad' arched openings. Upstairs a broad front-gable has paired windows over the entry and single windows flanking. The street facade has two bays, with an A-B-B-A window to the left and a small hexagonal oriel to the right. The dormers above reflect the glazing pattern below. Very mature landscape with large trees.

Archives: Weaver 32, 33. Heritage Easement.

History: Built in 1912 for the Billerman family, and in their hands until 1998 after the death of George Billerman, son of the builder. Family accounts say it was intended to be 2-1/2 or 3 storeys tall, but the scheme wasn't completed due to financial constraints. Interior panels came from Queens Park after a fire in one of its wings in the early 1900s, and the panel backs are stamped with installation notes like 'Queens Park-North Corridor'. A very skillful and sensitive second-floor addition was completed in 2002 by Darryl Simmons and Nancy Capelli. See comments. Subject to a Conservation Easement with the Town.

Comments: The house is very interesting, both in its original form, and in its current state. The insubstantial roof edge and overhang on the original, compared with robust details on the ground floor (the brackets under the oriel window, for instance), lends credence to the story of the truncated construction.

The renovation has preserved all of the elements of the original cottage, and added an accurate rendition of a Craftsman style addition. This creates impression that the original owner added to the house a decade or so later, and it can be a successful design strategy for large additions. It distinguishes between the original building and the addition, but retains an overall historic character.

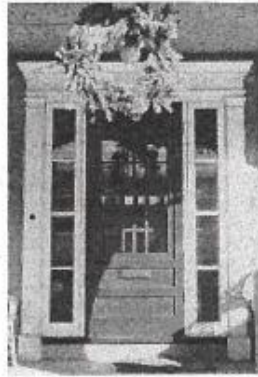


Thornhill Heritage Conservation District Inventory

86 John Street Continued



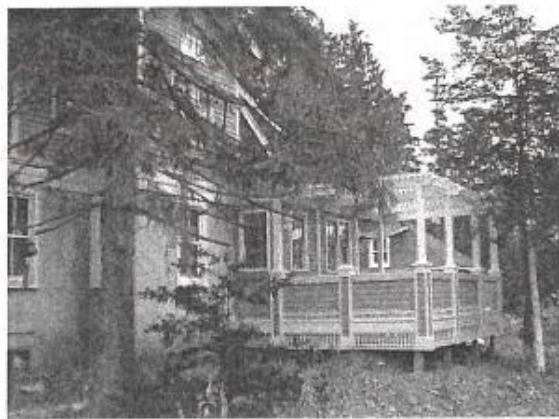
The Weaver Collection #32, November 1969.



Behind the Art-Nouveau-ish lily-pad porch is a surprisingly Georgian front entry, with strong moldings and a dentilled cornice. THCD photograph.



From the clothes, this looks like the 1920s. THCD photograph.



A gazebo/deck was part of the addition. THCD photograph.

Thornhill Heritage Conservation District Inventory

Statement of Cultural Heritage Value or Interest

The Billerman House is a fine example of Arts and Crafts Movement influenced architecture from the early 20th century. The stuccoed first phase of the house was constructed in 1912-13 as a one storey structure. The Billermans resided here until 1998, a significant period of occupancy for a residence by one family. The design of the house has a pleasing asymmetry and informal finish typical of domestic architecture following the Arts and Crafts aesthetic. The original intent of the builder was a more substantial house of 2 ½ to 3 storeys, but financial constraints limited the scale of the house to one storey. In 2002, a frame second storey designed using classic American Arts and Crafts Movement features was added by a new owner, completing the vision of a larger dwelling.

Description of Heritage Attributes

Exterior character-defining attributes that embody the cultural heritage value of 86 John Street include:

- original stucco-clad house at ground floor level
- sympathetic frame second storey addition
- wood multi-paned casement windows
- canted bay windows and bracketed bay window at ground floor level
- main doorcase with Classical surround, sidelights and partially glazed door
- gable roofed stucco porch with heart-shaped openings
- carriage house with small shed roofed dormers.

Appendix ‘D’

Heritage Markham Extract

HERITAGE MARKHAM EXTRACT

Date: July 19, 2023

To: R. Hutcheson, Manager, Heritage Planning
E. Manning, Senior Heritage Planner

EXTRACT CONTAINING ITEM # 6.2 OF THE EIGHTH HERITAGE MARKHAM
COMMITTEE MEETING HELD ON JULY 12, 2023

6. PART FOUR - REGULAR

6.2 COMMITTEE OF ADJUSTMENT VARIANCE APPLICATION

86 JOHN STREET, THORNHILL PROPOSED COACH HOUSE (16.11)

File Number:
A/106/23

Evan Manning, Senior Heritage Planner, provided a summary of the Committee of Adjustment variance application for 86 John Street. Mr. Manning shared drawings of the proposal advising that the Applicant was amenable to a revised rear yard setback of 6ft as requested by Heritage Section staff. Mr. Manning advised that from a heritage design perspective, Heritage Section staff have no objection to the proposed addition and requested that further approvals be delegated to Staff.

Francis Lapointe, Deputant, advised that he had been retained by the adjacent property owner at 4 Leahill Drive to evaluate the Minor Variance application, and outlined his concerns to the Committee about the impact of the proposal on adjacent properties. Mr. Lapointe commented that the proposal was inaccurately described as a coach house, and that the scale and position of the addition was not optimal from a planning perspective. Further, Mr. Lapointe suggested that the addition would be better positioned at the northeast corner of the heritage dwelling. He also commented that the current proposal should not be considered acceptable based on his review of the Thornhill Heritage Conservation District Plan.

Scott Rushlow, licensed designer, commented that the proposed addition with a garage was sited to ensure that the heritage building remains prominent when viewed from the street and to ensure minimal impact on the surrounding neighbours.

The Committee provided the following feedback:

- Expressed concern for the survival of on-site trees, notably those adjacent to the east elevation of the proposed addition;
- Expressed concern with the scale of the addition and how it would conserve the character of the neighbourhood given its proposed size;
- Asked if other Departments have reviewed and commented on the application. Mr. Manning noted that the application was reviewed by Urban Design and Engineering staff who provided comments on tree preservation and drainage, respectively;
- Discussed deferral of the application to the Heritage Markham meeting in September to allow other City Departments to thoroughly review and comment on the application. Deferral of the Committee of Adjustment hearing was also recommended.

Recommendation:

THAT this item be heard prior to Item 6.2 to allow for deputations.

Carried

THAT consideration of this item be deferred to the September Heritage Markham Committee meeting.

AND THAT the Heritage Markham Committee request that the Committee of Adjustment also defer the hearing on this item until after Heritage Markham Committee has considered the item at its September meeting.

AND THAT the Applicant and other relevant parties meet with the local Councillor to further discuss the application.

Carried

THAT the written submissions from Francis Lapointe, representing the owner of 4 Leahill Drive and Valerie Burke be received;

AND THAT the deputation from Francis Lapointe be received.

Carried

HERITAGE MARKHAM EXTRACT

Date: September 29, 2023

To: R. Hutcheson, Manager, Heritage Planning
E. Manning, Senior Heritage Planner

EXTRACT CONTAINING ITEM # 6.1 OF THE TENTH HERITAGE MARKHAM
COMMITTEE MEETING HELD ON September 13, 2023

6. PART FOUR - REGULAR

6.1 COMMITTEE OF ADJUSTMENT

COMMITTEE OF ADJUSTMENT VARIANCE APPLICATION 86 JOHN STREET, THORNHILL (16.11)

File Number:
A/106/23

Evan Manning, Senior Heritage Planner, introduced this item, reminding the Committee that this variance application was before them at the July meeting and was deferred on the recommendation of the Committee.

Scott Rushlow, representative of the applicant, advised that meetings had been held with the adjacent neighbours to discuss concerns, noting that the Ward Councillor, Councillor Irish, was in attendance to assist in mediating the discussions. Mr. Rushlow advised that the proposed height and floor area had been reduced and the building has been brought forward from the rear property line in response to feedback received.

Francis Lapointe, representing the adjacent homeowner at 4 Leahill Drive, expressed concerns with the revised proposal, noting that the proposed changes only appeared to be minor in nature. Mr. Lapointe cited concerns with the relationship between the proposed addition and existing heritage dwelling at 86 John Street, namely that the scale and siting of the addition did not strictly adhere to the guidelines in the Thornhill HCD Plan. Further, he questioned why the proposed addition could not be sited within the building envelope permitted by the applicable zoning by-law;

Tony Farr, deputant, expressed concerns with the size of the proposed addition, noting that it is the size of a house, not a coach house. Mr. Farr expressed support for an addition with a secondary unit to support intensification, but noted that the scale of the proposal was excessive.

Evelin Ellison, deputant, echoed comments from previous deputants and noted that heritage properties surrounding the subject property may be adversely impacted by the proposal.

Barry Nelson, deputant, encouraged Heritage Markham members to consider the personal reasons behind the applicant's decision to build the addition, and displayed images of the proposed addition superimposed onto an image of the existing home as seen from John Street. The purpose of this was to demonstrate that the addition would have a negligible impact on the heritage dwelling at 86 John Street as viewed from the street.

The Committee provided the following feedback:

- Asked to clarify the parking requirement for the additional unit. Regan Hutcheson, Manager, Heritage, confirmed that it was his understanding that two parking spaces are required for a main unit, but noted that an additional parking space is not required for a second unit, but would be required for a third unit.
- Expressed concerns regarding tree preservation on the property, expressing support for an increased setback from the western property line.
- Supported reducing the length of the connection between the existing heritage dwelling and the addition to reduce its visual impact on 4 Leahill Drive.
- Asked for a response to Mr. Lapointe's deputation and concerns that the addition will adversely impact the adjacent property at 4 Leahill Drive, Mr. Manning advised that Heritage Section Staff examined the impact of the proposed addition on the heritage character of 4 Leahill and were of the opinion that the impact was minimal. Mr. Manning noted that a fence and landscaping screen were to be recommended by Heritage Section staff as approval conditions associated with the Minor Variance and future Major Heritage Permit applications, respectively. Further, Mr. Manning noted that he conducted a site visit to both 86 John Street and 4 Leahill Drive to substantiate the Staff position that there would be minimal impact from a heritage perspective.
- Commented that the addition is too large, noting that siting it within the permitted building envelope is preferred.
- Inquired if the property owners are able to proceed to the Committee of Adjustment without the support of Heritage Markham. Mr. Manning

confirmed that the property owners have the option to proceed to the Committee of Adjustment and noted that the Staff report submitted for Committee of Adjustment consideration would indicate that Heritage Markham was not in support of the proposal.

Darryl Simmons, deputant and property owner, advised that he and his wife plan to use the proposed addition for their elderly mother to live in as it would be planned to be more accessible than the existing building. Mr. Simmons noted that their efforts have been to create something complementary to the existing structure.

Recommendations:

THAT Heritage Markham has no objection from a heritage perspective to the revised proposal for 86 John Street including the requested variances;

AND THAT future review of a Major Heritage Permit application, and any other application required to enable the proposed development including a demolition permit application for the garage, be delegated to Heritage Section staff should the design be substantially in accordance with the drawings as appended to this memo.

Lost

Recommendation:

THAT the deputations from Scott Rushlow, Francis Lapointe, Tony Farr, Evelin Ellison, and Barry Nelson be received;

AND THAT the written submission from Francis Lapointe be received.

Carried

Appendix 'E'
Rendering of the Proposed Addition



Rendering of the proposed addition as seen from John Street (Source: Applicant)

Appendix 'F'
Revised Drawings

CONSTRUCTION NOTES (unless otherwise noted)

All construction to comply with these plans and specifications and to the Ontario Building Code (current edition) and to all other applicable codes and authorities having jurisdiction. These requirements are to be considered minimum standard.

1A	TRUSS ROOF CONSTRUCTION Pre-Finished Aluminum roof sheathing (Install as per manufacturers specifications / as per elevations). 1/2" spruce ply exterior sheathing with "H" clips. Approved pre-engineered wood trusses @ 1'-4" o/c. max. (trusses to be installed as per manufacturers specifications) Approved eaves protection to extend 3'-0" from edge of roof and min. 1'-0" beyond inner face of exterior wall. Pre-finished aluminum eaves-through, fascia (as per elevations), vented soffit and RWL. Attic ventilation 1:300 of insulated ceiling with 50% at eaves. Roof insulation min. R-31 batt insulation and approved vapour barrier at sloped ceilings c/w min. 3" air space between u/s deck and top of insulation. Attic insulation R-60 and approved vapour barrier. 5/8" int. drywall finish or approved equal.
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1B	CONVENTIONAL ROOF CONSTRUCTION Min. No. #300 Asphalt shingles (as per elevations). 1/2" spruce ply exterior sheathing. Min. 2" x spruce rafters @ 1'-4" o/c. (see plan for rafter size). Approved eaves protection to extend 3'-0" from edge of roof and min 1'-0" beyond inner face of exterior wall. Pre-finished aluminum eaves-through, fascia (as per elevations), vented soffit, and RWL. Attic ventilation 1:300 of insulated ceiling with 50% at eaves. (pre-finished aluminum ridge vent at sloped ceiling as required). Roof insulation min. Site Installed R-31 spray foam insulation and approved vapour barrier at sloped ceilings. 1/2" int drywall finish or approved equal. Horizontal ceiling as required 2" x spruce ceiling joists @ 1'-4" o/c. (see plan for ceiling joist size and connection details). Flat ceiling insulation, min. R-60 batt insulation and approved vapour barrier. 1/2" int drywall finish or approved equal.
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2A	Existing Wall, Floor, Ceiling or Roof structure to remain. Contractor to refurbish existing structural components, as required, to maintain the original performance level. (Modify as per plan)
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2B	Existing walls to be removed. Contractor to provide temporary bracing as required prior to demolition
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2C	FRAME WALL CONSTRUCTION (2"x6") Exterior siding or other as per elevations. (horizontal wood siding c/w 1"x3"vertical spruce strapping @ 1'-4" o/c, vertical wood siding c/w 1"x3" horizontal spruce strapping @ 2'-0" o/c). 1" Thk (R5) Extruded Polystyrene Insulation. Typar air barrier or equal c/w pre-finished aluminum drip at siding/foundation wall junction (typ.). 1/2" spruce ply exterior sheathing. 2"x6" spruce studs @ 1'-4" o/c. (provide 2"x6" plates; 2-top, 1 bottom). R-19 batt insulation and approved vapour barrier. 1/2" drywall finish or approved equal. NOTE: For two story volume spaces from 10'-0" to 18'-0" max. high walls provide 2-2"x6" spruce studs @ 1'-4" o/c. c/w 1/2" spruce ply sheathing. Provide 2"x6" solid wood blocking @ 4'-0" o/c vertically. NOTE: Omit 3/4" thick spruce strapping where vinyl siding is used.
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2D	FRAME WALL CONSTRUCTION (2"x4") Exterior siding or other as per elevations. (horizontal wood siding c/w 1"x3"vertical spruce strapping @ 1'-4" o/c, vertical wood siding c/w 1"x3" horizontal spruce strapping @ 2'-0" o/c). Approved sheathing paper c/w pre-finished aluminum drip at siding/foundation wall junction. 1/2" spruce ply exterior sheathing. 2"x4" spruce studs @ 1'-4" o/c. (provide 2"x4" plates; 2-top, 1 bottom).
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2E	4" MASONARY VENEER CONSTRUCTION (2"x6") 4" masonry veneer (as per elevations). 1" air space. 7/8"x7"x0.03" galvanized metal ties @ 1'-4" o/c horizontal and 2'-0" o/c vertical. Typar air barrier c/w bottom course flashing up min 6" behind air barrier. Provide weep holes @ 2'-8" o/c. bottom course and over openings. 1/2" spruce ply exterior sheathing. 2"x6" spruce studs @ 1'-4" o/c.
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2F	4" MASONARY VENEER CONSTRUCTION (2"x4") 4" masonry veneer (as per elevations). 1" air space. 7/8"x7"x0.03" galvanized metal ties @ 1'-4" o/c horizontal and 2'-0" o/c vertical. Approved sheathing paper c/w bottom course flashing up min. 6" behind sheathing paper. Provide weep holes @ 2'-8" o/c bottom course and over openings. 1/2" spruce ply exterior sheathing. 2"x4" spruce studs @ 1'-4" o/c. (provide 2"x4" plates; 2-top, 1-bottom).
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3A	INTERIOR STUD BEARING PARTITIONS For bearing partitions 2"x4" spruce studs @ 1'-4" o/c for 2 storeys and 1'-0" o/c for 3 storeys. (provide 2"x4" plates; 2-top, 1-bottom. c/w 2"x4" spruce blocking @ 4'-0" o/c horizontal). 1/2" drywall finish each side. NOTE: 2"x6" spruce studs @ 1'-4" o/c partitions where noted on plan.
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3B	INTERIOR STUD NON-BEARING PARTITIONS 2"x4" spruce studs @ 1'-4" o/c. c/w. 1/2" drywall finish each side. Provide 2"x6" studs @ 1'-4" o/c. c/w. 1/2" drywall finish each side where noted plan. (for all partitions provide full width plates; 2-top, 1-bottom).
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4A	FOUNDATION WALL/FOOTING CONSTRUCTION-(see O.B.C. 9.15.3, and 9.15.4) Approved continous drainage layer. 2" Thk (R-10) Extruded Polystyrene Insulation. Bitumen damproofing. Continous poured concrete foundation wall (25Mpa) c/w Steel reinforcing as per note. (foundation plan for wall thickness). #15 felt building paper moisture barrier. 2"x4" spruce studs @ 1'-4" o/c floor to ceiling (bottom plate c/w damproofing material). R-12 batt insulation c/w approved poly vapour barrier. 2"x6" sill plate c/w 1/2" dia. x 8" long. Anchor bolts @ min 7'-10" o/c (foam gasket or caulking between sill plate and top of foundation wall. Use non-shrink grout to level sill plate when required). 8"thick continous strip, keyed concrete footing set on natural undisturbed soil or compacted engineered fill with min bearing capacity of 3000 psf. or greater. (see foundation plan for footing width). Footings c/w 2-15mm bar set in line with outside face of foundation wall above and up 2" from u/s of footing. 4" dia weeping tile set in min 8" layer crushed drain rock over and around weeping tile. NOTE: Foundation wall c/w 15mm bar @ 1'-4" o/c ea. way.
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4B	FOUNDATION WALL/FOOTING CONSTRUCTION-(see O.B.C. 9.15.3, and 9.15.4) Continous poured concrete foundation wall (25Mpa) c/w Steel Reinforcing as per note. (see foundation plan for wall thickness). Granular fill as required on both sides of foundation wall, compacted as required. 8" thick continous strip concrete footing set on natural undisturbed soil or compacted engineered fill with min. bearing capacity of 3000 psf. or greater. (see foundation plan for footing width). Footing c/w 2-15 mm bar set in line with outside face of foundation wall above and up 2" from u/s of footing. Note: Foundation wall c/w 15m bar @ 1'-0" o/c ea. way.
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4C	BEAM POCKET OR 12"x8" poured concrete nib walls. Min 1/2" end bearing
4D	STEP FOOTING CONSTRUCTION-(see O.B.C. 9.15.3,8) Min horizontal step 2'-0". Max. vertical step 2'-0" for still soil and 1'-4" for sand and gravel.
4E	INTERIOR WOOD FRAMED BEARING WALLS AT FOUNDATION 2"x10" spruce studs @ 1'-4" o/c. (provide 2"x10" plates; 2-top, 1-bottom, 2"x10" spruce blocking @ 4'-0" o/c horizontal). Stud wall set on 1 course 10" thick unit block masonry c/w 1/2" dia. x 8" long anchor bolts @ min 7'-10" o/c max. (Damproofing material between masonry and bottom plate. Fill block cavities with concrete). 8" thick x 1'-10" wide continous strip concrete concrete footing set on natural undisturbed or compacted engineered fill with min. bearing capacity of 3000 psf. Footing c/w 2-10mm bar set in line with outside face of block above abd up 2" from u/s footing.

4F	1"x3" spruce strapping on both sides of steel beam.
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5A	SUBFLOOR, JOISTS, STRAPPING AND BRIDGING Min. 3/4" T&G spruce ply subfloor. 2" x spruce floor joists as required. (see plan for joist size and spacing). (NOTE: For pre-engineered joist sytems install as per manufacturers specifications). Solid bridging @ 4'-0" o/c. max. All joists to be strapped with 1"x3" spruce @ 6'-11" o/c. unless a panel type ceiling finish is applied. Install approved meat joist hangers as required. See Plan for SB-3 fire separation assembly Requirements . Absorbtive material to be 3.5" thk. rock slag mineral wool.
----	--

5B	Exposed floor to exterior provide R-31 batt insulation and approved vapour barrier. Continous air barrier, pre-finished aluminum soffit, unless otherwise noted on plan.
----	--

6A	BASEMENT SLAB-(see O.B.C. 9.16) 4" 25 Mpa concrete slab on min. 4" thick layer course clean granular fill. Granular fill beneath this layer must be well compacted.
----	---

6B	GARAGE, EXTERIOR SLABS 5" (32Mpa / with fibre) concrete slab with 5-8% air entrainment on 6" thick layer 3/4" clear washed stone. Slab reinforced with 15mm bar @ 1'-0" Ea. way placed at mid-depth of slab. Compacted native sub-base. Slope slab as shown.
----	--

6C	COLD CELLAR PORCH SLAB For max. 9'-0" porch depth 5" 32Mpa concrete slab with 5-8% air entrainment. Reinforced with 10mm bars @ 1'-0" ea. way in bottom third of slab. 2'-0" x 2'-0" dowels @ 2'-0" o/c anchored in perimeter foundation walls. Sloped slab min. 1% to exterior
----	---

7	ALL STAIRS/EXTERIOR STAIRS-(see O.B.C. 9.8) Max. rise 7-7/8", Min. run 8-1/4", Min. tread 9-1/4", Max. nosing 1", Min. headroom 6'-5", Rail @ landing 2'-11", Rail @ stair 2'-8", Min. stair width 2'-10", FOR CURVED STAIRS: Min. run 6", Min. average run 8". HANDRAILS AND GUARDS: Provide pickets spaced 4" max. between pickets. Interior guards up 2'-11" min. Exterior guards up 2'-11" min. Above 5'-11" above ground level guards to be up 3'-6" min.
---	--

8	5/8" gypsum drywall on wall and ceiling between house and garage. R-24 insulation in walls, R-31 in ceiling. Tape and seal all joints gas tight.
---	--

9	Door and frame gas-proofed. Door equiped with self closing device and weather stripping
---	---

10	Precast concrete step or pressure treated wood step. Max rise 7-7/8", Min tread 9-1/4". (typ.)
----	--

11	Capped dryer exhaust vented to exterior
----	---

12	Attic access hatch 1'-8" x 2'-4" with weather stripping. R-24 rigid insulation backing
----	--

13	FIREPLACE AND CHIMNEY CONSTRUCTION-(see O.B.C. 9.21, and 9.22.) Top of fireplace chimney shall be 3'-0" above the highest point at which it comes in contact with the roof and 2'-0" above the roof surface within a horizontal distance of 10'-0" from the chimney.
----	--

14	Linen closet, 4 shelves min. 14" deep.
----	--

15	Mechanical exhaust fan, vented to exterior, to provide 1 air change per hour.
----	---

16	EXPOSED BUILDING FACE-(see O.B.C. 9.10.14) Exterior walls to have a fire resilience rating of not less than 45 min. where limiting distance less than 3'-11". Where the limiting distance is less than 1'-11" the exposing face shall be clad in non-combustable material. Max. percentage of unprotected openings as per Table O.B.C. 9.10.14.A.
----	---

17	SMOKE ALARM-(see O.B.C. 9.10.19.3) All required smoke alarm and visual devices to be installed as per O.B.C. 9.10.19.3. Install minimum 1 alarm and visual device on each storey including basements and 1 alarm and visual device per sleeping area plus minimum 1 alarm and visual device per hallway servicing sleeping areas. Alarms to be connected to an electric circuit and interconnected to activate all alarms if 1 sounds.
----	--

18	CARBON MONOXIDE DETECTOR-(see O.B.C. 9.33-4) All carbon monoxide detector alarm requirements to be installed as per O.B.C. 9.33.4.. Carbon monoxide detector alarms to be connected to an electric circuit and interconnected to activate all alarms if 1 sounds.
----	---

19	MAIN BATH SOLID BLOCKING REQUIREMENT (see O.B.C. 9.5.2.3) Provide Solid wood blocking to accomodate future W/C and Shower support bars as per O.B.C. 9.5.2.3. For W/C grab bar blocking install as per O.B.C. 3.8.3.8(1) (d). For Shower grab bar blocking install as per O.B.C. 3.8.3.13. (1) (f)
----	--

20	REQUIRED EXIT SIGNS (see O.B.C. 9.9.10.)
----	---

21	LIGHTING (see O.B.C. 9.9.11.)
----	--------------------------------------

WINDOWS:
1) MINIMUM BEDROOM WINDOW-(see O.B.C. 9.7.1.3)At least one bedroom window on a given floor is to have a min. 0.35m2 unobstructed glazed or openable area with min. clear width 1'-3"
2) WINDOW GUARDS-(see O.B.C. 9.7.1.6. and 9.8.8.) A guard or a window with a maximum restricted opening width of 4" is required where the top of the window sill is located less than 1'-6" above fin. floor and the distance from the fin. floor to the adjacent grade is greater than 5'-11".
3) WINDOW IN EXIT STAIRWAYS-(see O.B.C. 9.7.5.2.) Windows in exit stairways that extend to less than 3'-6" above the landing shall be protected be barriers or railings located 3'-6" above such landings.

Mechanical ventilation is required to provide 0.3 air changes per hour averaged over 24 hours. See Mechanical drawings for all Heating, Ventilation, and Air-conditioning requirements

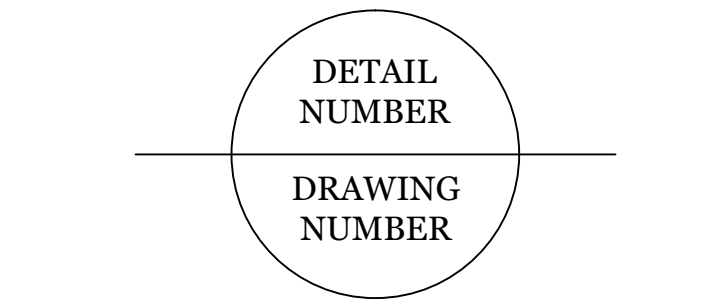
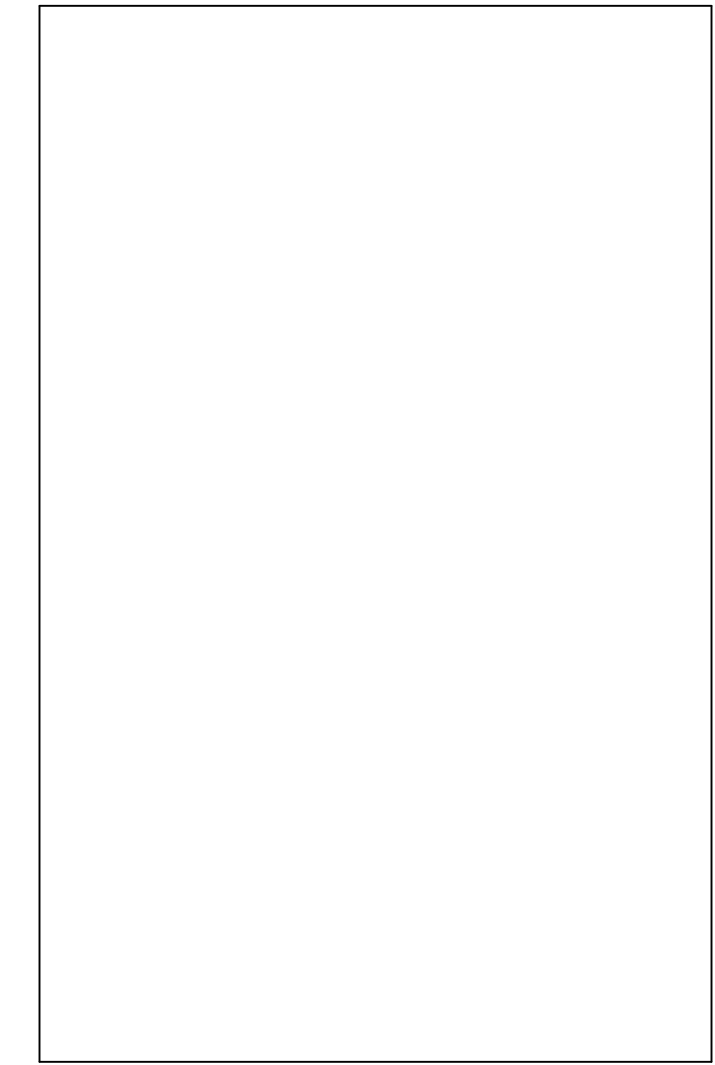
All roof overhangs to be 1'-4" unless otherwise noted on EXTERIOR ELEVATIONS

AREA CALCULATIONS:

GENERAL NOTES		
CONTRACTOR MUST VERIFY ALL DRAWINGS, DETAILS, SPECIFICATIONS, AND JOB SITE DIMENSIONS AND REPORT ANY DISCREPANCIES TO DESIGNERS BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF SCOTT RUSHLOW ASSOCIATES LTD.		
STRUCTURAL ENGINEER:		
1) All Footings, Columns, Beams, Floor Joists, Rafters, Lintels and Connections to be designed by a qualified Structural Engineer licenced in the Province of Ontario.		
LUMBER:		
1) All lumber shall be spruce no.2 grade or better, unless otherwise noted.		
2) Studs shall be stud grade spruce, unless otherwise noted		
3) Lumber exposed to the exterior to be spruce no.2 or better, pressure treated or cedar, unless otherwise noted		
4) All laminated veneer lumber (L.V.L.) beams, girder trusses, and metal hanger connections supporting floor and roof framing to be designed and certified by truss manufacturer and Structural Engineer.		
5) All L.V.L beams shall be 2.oE WS Micro-lam L.V.L. (Fb=2800psi. min.) or better by WEYERHAEUSER. Built-up L.V.L. beams to be connected as per manufacturers specifications. T.J.I. joists shall denote wood "I" joists manufactured by WAYERHAEUSER. L.V.L. beams and T.J.I. joist framed to the side of another wood member shal be supported by approved metal hangers.		
6) Wood framing not treated with a wood preservative, in contact with concrete shall be separated from the concrete by at least 2mil. Polyethylene film or other damproofing material, except where the wood member is at least 6" above the ground.		
7) All lintels to be 2-2"x10" spruce c/w 2-2"x6" spruce posts each end unless otherwise noted on plan		

STRUCTURAL STEEL:		
1) All structural steel shall be fabricated and erected to the requirements of CSA Standard CAN3-S16.1-M84		
2) All structural steel shall be CSA G40.21-M-300 and 350W for H.S.S. Class H.		
3) Welding shall conform to the requirements of CSA-W59, and shall be undertaken by a fabricator approved by the Canadian Welding Bureau to the requirements of W47 Canadian Welding Standard.		
CONCRETE:		
1) Cast in place concrete construction shall conform to the requirements of CSA Standard CAN3-A23.1-m84		
2) All concrete shall have a minimum compressive strength of 25 Mpa at 28 days unless otherwise noted on plan.		
3) Provide 5-8% air entrainment for all concrete exposed to exterior.		
4) All reinforcing steel to be deformed bars conforming to CSA G30.12-M Grade 400.		
5) Cold weather concrete construction shall conform to CSA Standard CSA-A23.1-M84. Provide temporary enclosure and heating as required.		

MASONARY:		
1) Masonary construction shall conform to CSA Standard CAN3-A371-M84.		
2) All plain and reinforced masonry shall conform to CAN3-A165 Series-M85 for concrete masonry units, and CAN/CSA-A82.1-M87 for burned clay brick units		
3) All concrete blocks shall have a minimum ultimate compressive strength of 22 Mpa on net area.		
4) Mortar for all masonry walls shall be Type "S" as defined in CSA Standard A179-M1976.		
5) Concrete block wall shall be reinforced horizontally with Standard Blok-Lok @ 1'-4" o/c vertically as per manufacturers specifications		
6) Reinforced masonry shall be grouted with 20Mpa concrete, 3/8" aggregate (pea gravel) and 8" slump		



Notes	Construction Notes/Drawing Schedule
SP1	Site Plan
A1	Exterior Elevations
A2	Exterior Elevations
A3	Ground Floor Plan
A4	Second Floor Plan
A5	Lot Cross Section, South Perspective
A6	
A7	
A8	
A9	
A10	

3	Issued for Client Review	31 / 03 / 2024
2	Issued for Client Review	27 / 03 / 2024
1	Issued for Client Review	10 / 07 / 2023

No.	Description	Date
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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION		
Scott Rushlow		29726
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION		
Scott Rushlow Associates Ltd		35924
FIRM		BCIN

SCOTT RUSHLOW

associates Ltd

111-111 Upper Duke Cres Markham ON L6G 0C8 905 852 5595

PROJECT

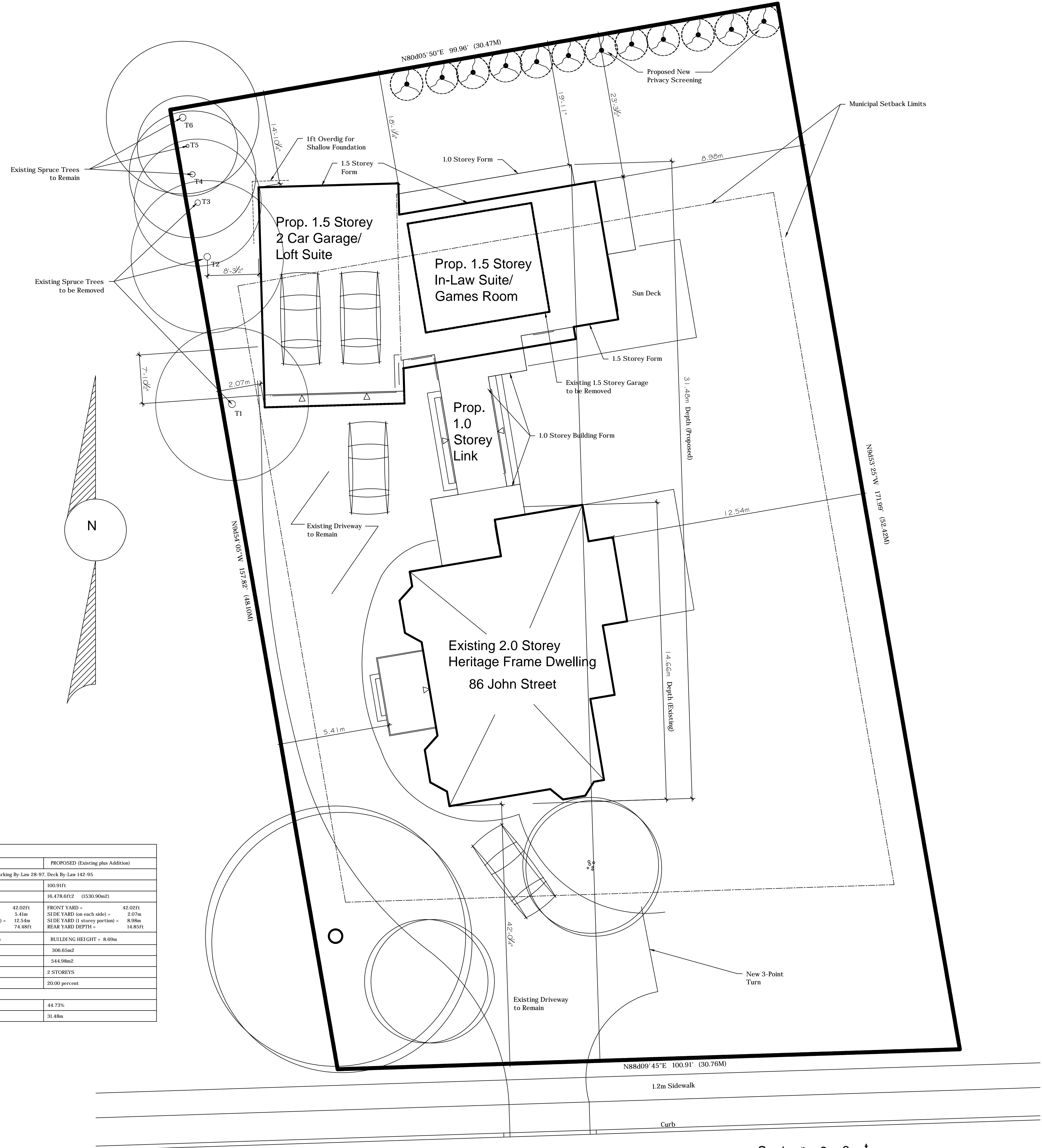
Capelli / Simmons Residence

86 John Street
Markham, Ontario
(Part of Lot 30, Concession 1)

DRAWING TITLE

Drawing Schedule Construction Notes Plot Plan

Scale:	1/4"=1'-0"	DRAWING NO.
Date:	Mar. 31, 2024	
Job No.		
Drawn By:	S.R.	
Checked By:		Notes



Tree Schedule		
TREE NUMBER	CALLIPER (Dia.)	Min Tree Protection Zone
T1	0.54m	3.6m
T2	0.51m	3.6m
T3	0.43m	3.0m
T4	0.41m	3.0m
T5	0.24m	2.4m
T6	0.52m	3.6m

Site Statistics			
	BY-LAW	EXISTING	PROPOSED (Existing plus Addition)
1. ZONING	R2-Second Density Single Family Residential under By-Law 2237 as amended, Parking By-Law 28-97, Deck By-Law 142-95		
3. LOT FRONTAGE (min)	60.0 Ft	100.91ft	100.91ft
2. LOT AREA (min)	9,750.0ft ²	16,478.6ft ² (1530.90m ²)	16,478.6ft ² (1530.90m ²)
4. SETBACKS (min)	FRONT YARD = 27.0ft SIDE YARD (on each side) = 1.8m SIDE YARD (1 storey portion) = 1.2m REAR YARD = 30.0ft	FRONT YARD = 42.02ft SIDE YARD (on each side) = 5.4m SIDE YARD (1 storey portion) = 12.54m REAR YARD DEPTH = 74.48ft	FRONT YARD = 42.02ft SIDE YARD (on each side) = 2.07m SIDE YARD (1 storey portion) = 8.98m REAR YARD DEPTH = 14.85ft
5. BUILDING HEIGHT (max)	9.8m	BUILDING HEIGHT = 8.60m	BUILDING HEIGHT = 8.69m
6. BUILDING AREA	N/A	117.29m ²	306.65m ²
6. GROSS BUILDING AREA	402.06m ²	204.06m ²	544.98m ²
7. NUM. OF STOREYS (max)	2 STOREYS	2 STOREYS	2 STOREYS
8. LOT COVERAGE (max)	33-1/3 percent	7.71 percent	20.00 percent
9. NET LOT AREA:	9,750ft ² - [(16,478.6ft ² - 9,750ft ²) / 2] = 13,114.3 ft ² Net Lot Area		
10. FLOOR AREA RATIO (max)	33% of NET LOT AREA = 4,327.72ft ² (max)	402.06m ² (max)	44.73%
11. DEPTH (max)	16.8m 2 Storey / 18.9m with Conditions	14.66m	31.48m

Proposed Site Plan 1.11c

Scale: 1:100

DETAIL NUMBER
DRAWING NUMBER

No.	Description	Date
3	Issued for Client Review	31 / 03 / 2024
2	Issued for Client Review	27 / 03 / 2024
1	Issued for Client Review	12 / 10 / 2023

No.	Description	Date
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REGISTRATION INFORMATION		
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Scott Rushlow Associates Ltd	35924	

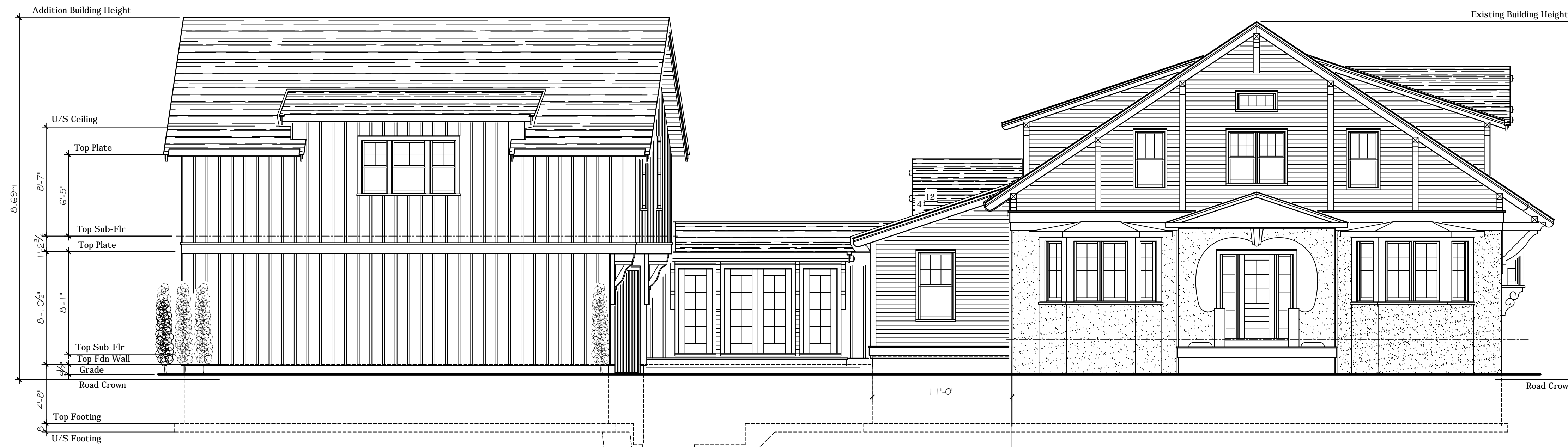
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PROJECT
Capelli / Simmons
Residence
86 John Street
Markham, Ontario
(Part of Lot 30, Concession 1)

DRAWING TITLE

Site Plan

Scale:	1:100	DRAWING NO.	SP
Date:	Mar. 31, 2024		
Job No.			
Drawn By:	S.R.		
Checked By:			



West Elevation 1.11c

Scale: $\frac{3}{16}'' = 1'-0''$

Proposed New 2 Storey Addition

Existing Heritage Dwelling
to Remain "As Is"

DETAIL NUMBER
DRAWING NUMBER

No.	Description	Date
3	Issued for Client Review	31 / 03 / 2024
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1	Issued for Client Review	12 / 10 / 2023

No. Description Date

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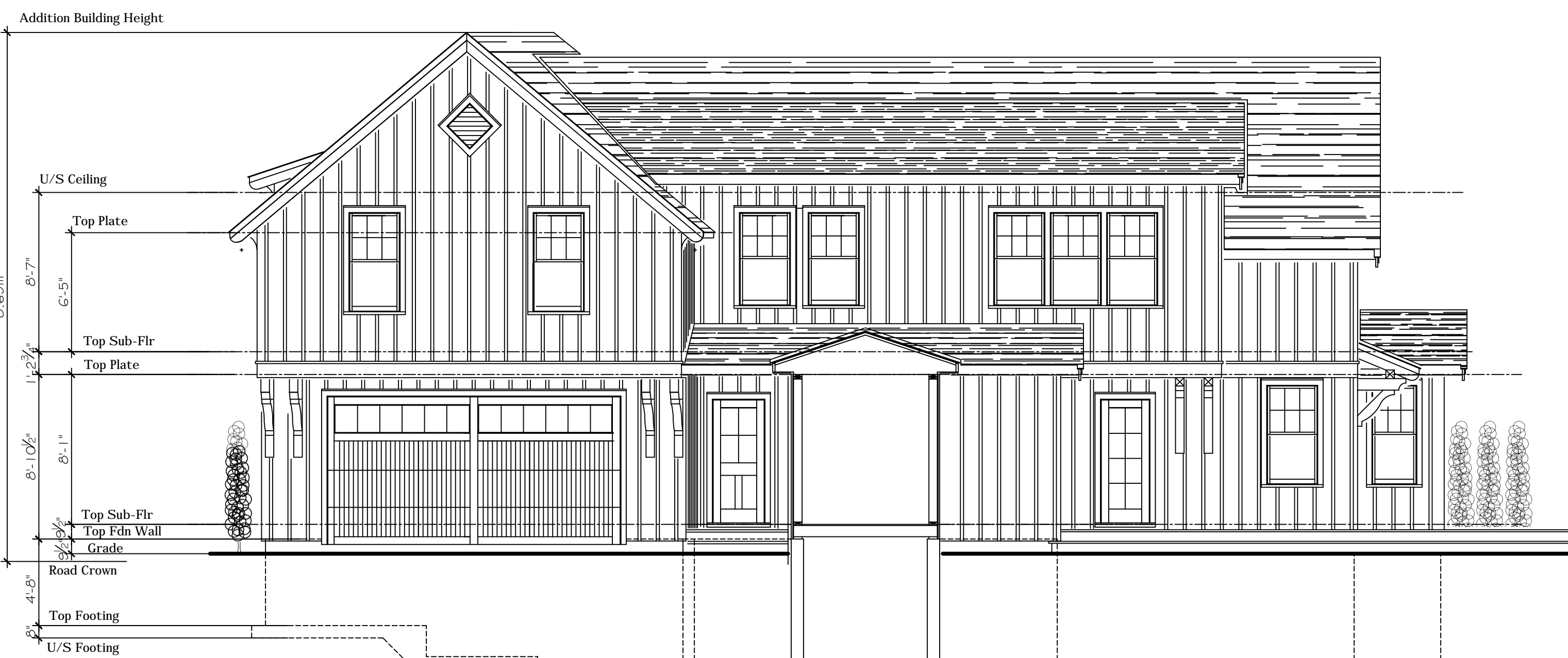
Exterior Elevations 1.11c

Scale: $\frac{3}{16}'' = 1'-0''$	DRAWING NO.
Date: Mar. 31, 2024	A1
Job No.	
Drawn By: S.R.	
Checked By:	



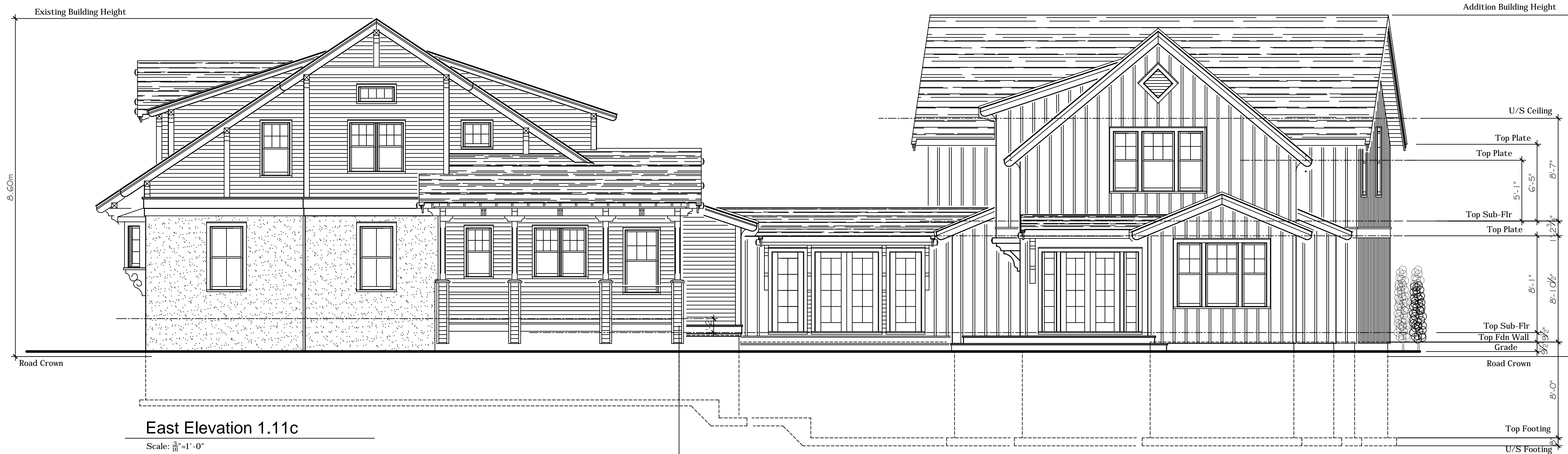
South Elevation 1.11c

Scale: $\frac{3}{16}'' = 1'-0''$



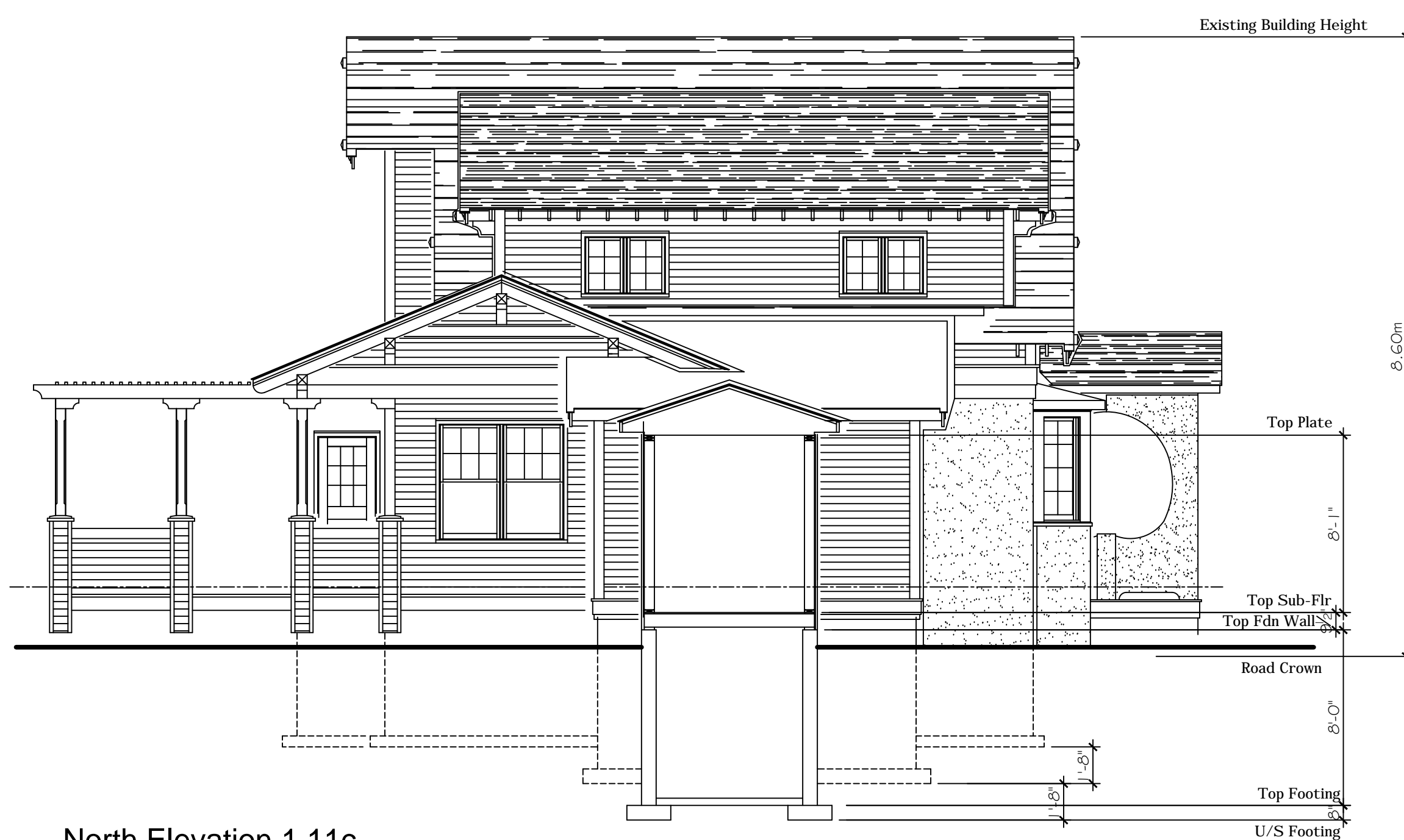
South Elevation 1.11c

Scale: $\frac{3}{16}'' = 1'-0''$

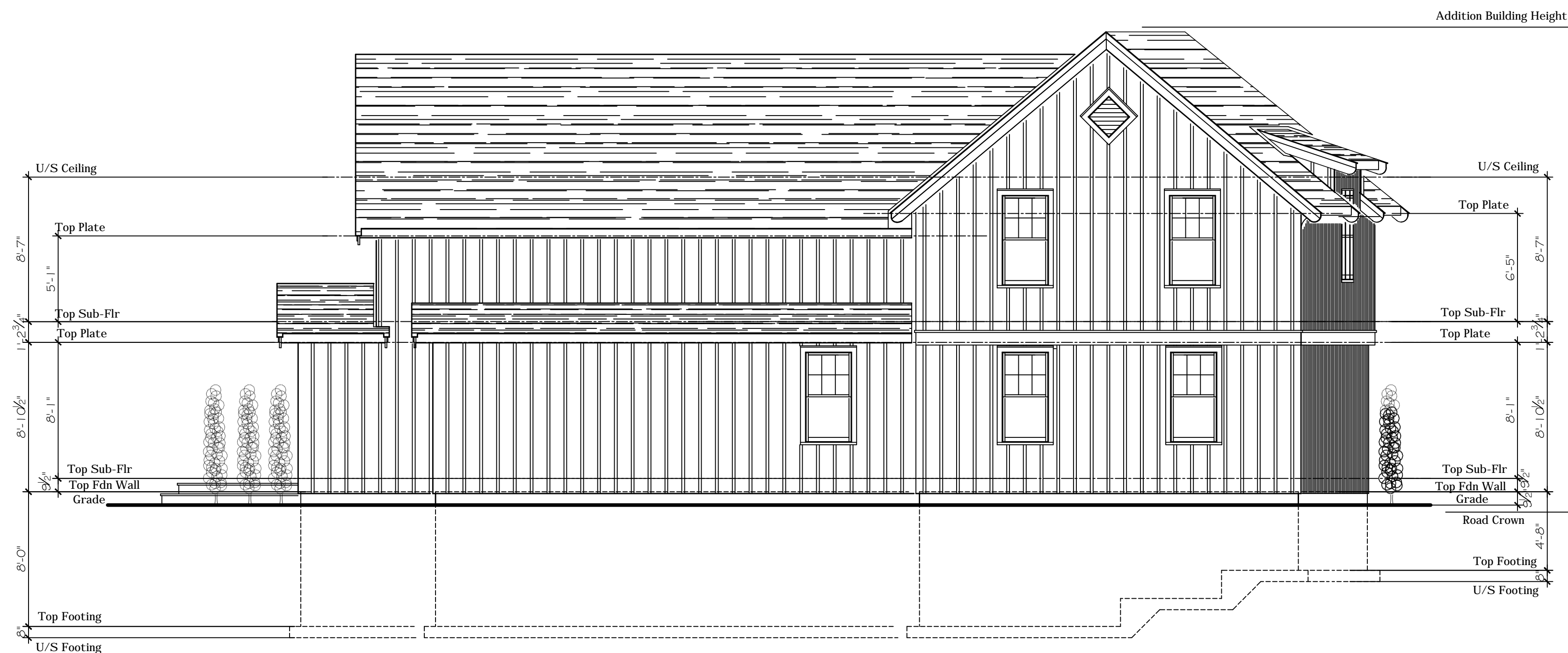


East Elevation 1.11c
Scale: 3/16"=1'-0"

Existing Heritage Dwelling to Remain "As Is" ✕ Proposed New 2 Storey Addition



North Elevation 1.11c
Scale: 3/16"=1'-0"



North Elevation 1.11c
Scale: 3/16"=1'-0"

DETAIL NUMBER
DRAWING NUMBER

No.	Description	Date
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2	Issued for Client Review	27 / 03 / 2024
1	Issued for Client Review	12 / 10 / 2023

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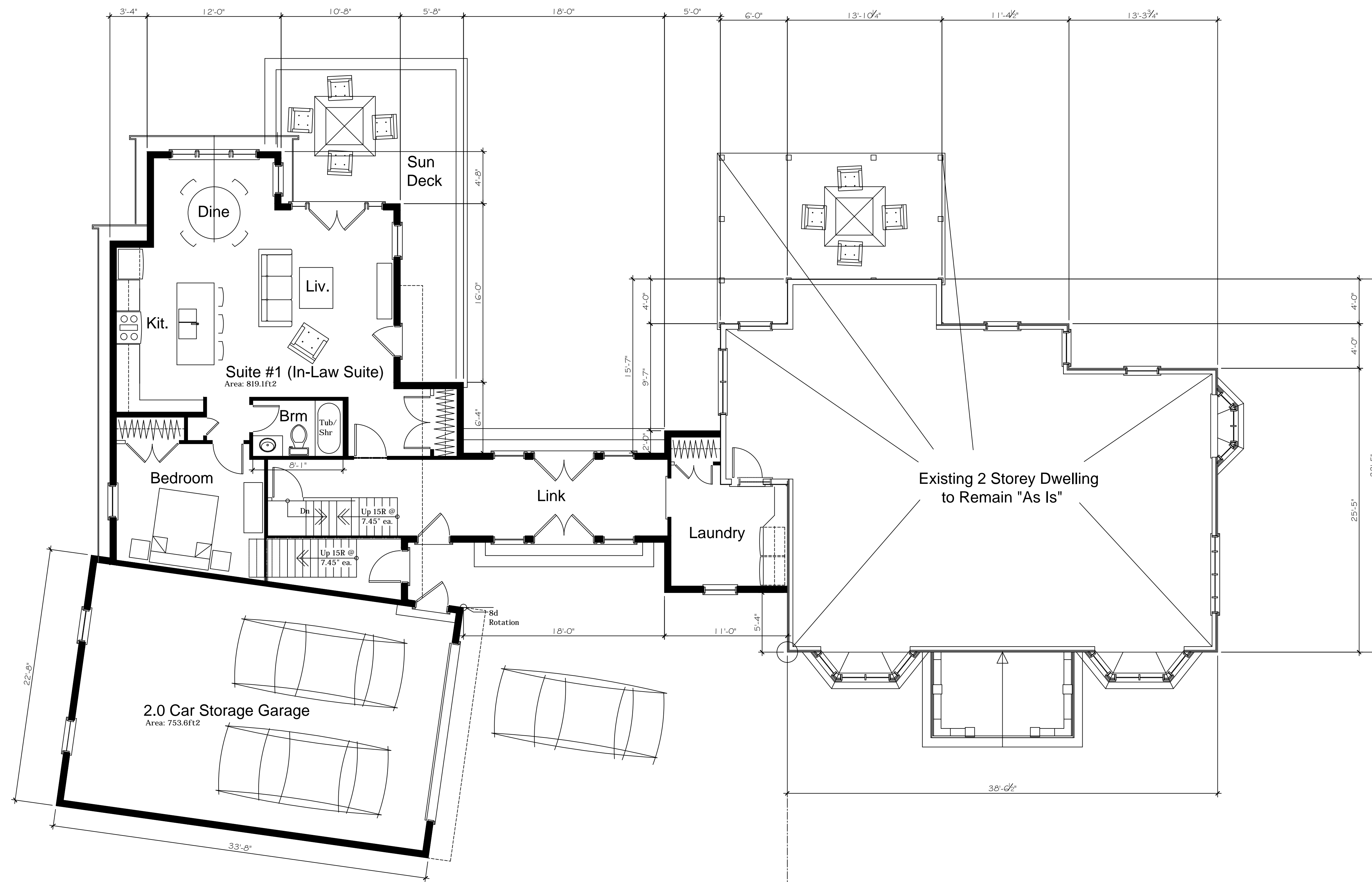
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FIRM BCIN

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PROJECT
Capelli / Simmons
Residence
86 John Street
Markham, Ontario
(Part of Lot 30, Concession 1)

DRAWING TITLE
Exterior Elevations 1.11c

Scale: 3/16"=1'-0"	DRAWING NO.
Date: Mar. 31, 2024	A2
Job No.	
Drawn By: S.R.	
Checked By:	



Ground Floor Plan 1.11c

Scale: $\frac{3}{16}'' = 1'-0''$

New Addition Area: 2,039.2ft² (Includes Garage)

Total Project Area: (New and Exist) Area: 5,866.2ft² (Includes Garage)

Proposed New 1.5 Storey Addition

Existing Heritage Dwelling to Remain "As Is"

Area: 1,261.6ft² (Existing Ground Floor)

DETAIL NUMBER
DRAWING NUMBER

No.	Description	Date
3	Issued for Client Review	31 / 03 / 2024
2	Issued for Client Review	27 / 03 / 2024
1	Issued for Client Review	12 / 10 / 2023

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 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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 FIRM BCIN

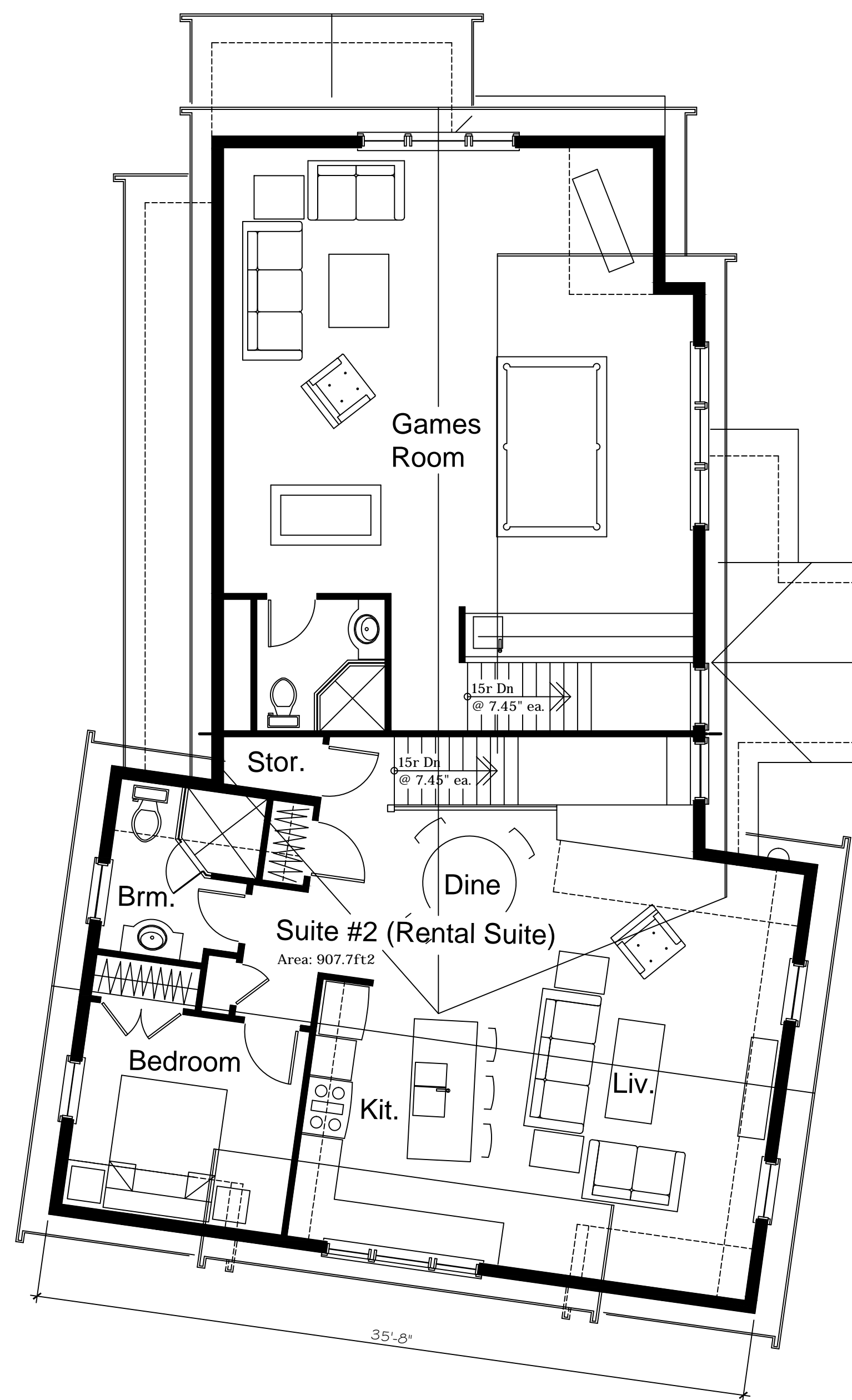
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DRAWING TITLE

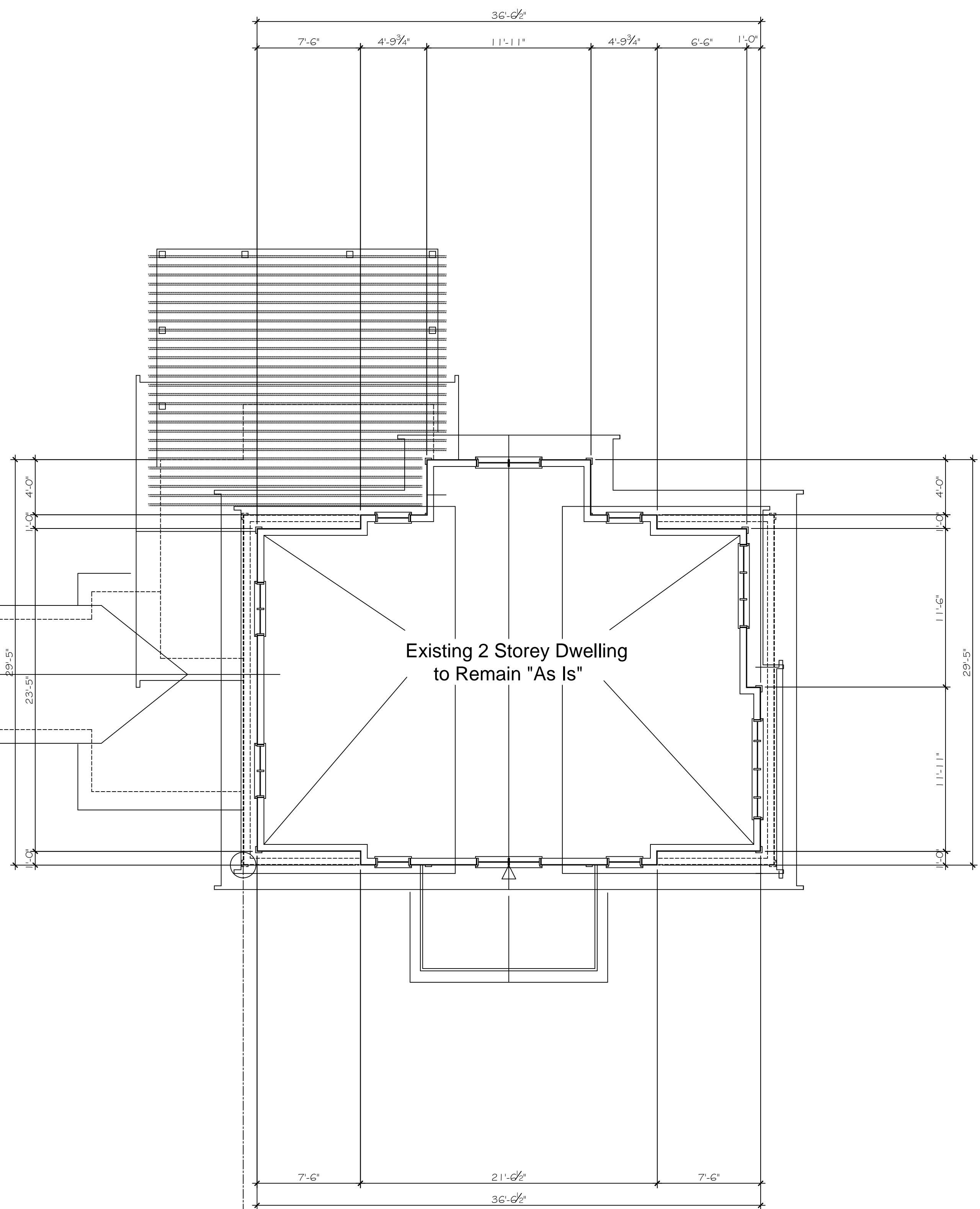
Ground Floor Plan 1.11c

Scale:	$\frac{3}{16}'' = 1'-0''$	DRAWING NO.
Date:	Mar. 31, 2024	A3
Job No.		
Drawn By:	S.R.	
Checked By:		



Second Floor Plan 1.11c

Scale: $\frac{3}{16}'' = 1'-0''$
Area: 1,630.42ft²



Proposed New 1.5 Storey Addition

Existing Heritage Dwelling to Remain "As Is"

Area: 934.9ft² (Existing Second Floor)

DETAIL NUMBER
DRAWING NUMBER

No.	Description	Date
3	Issued for Client Review	31 / 03 / 2024
2	Issued for Client Review	27 / 03 / 2024
1	Issued for Client Review	12 / 10 / 2023

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NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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FIRM BCIN

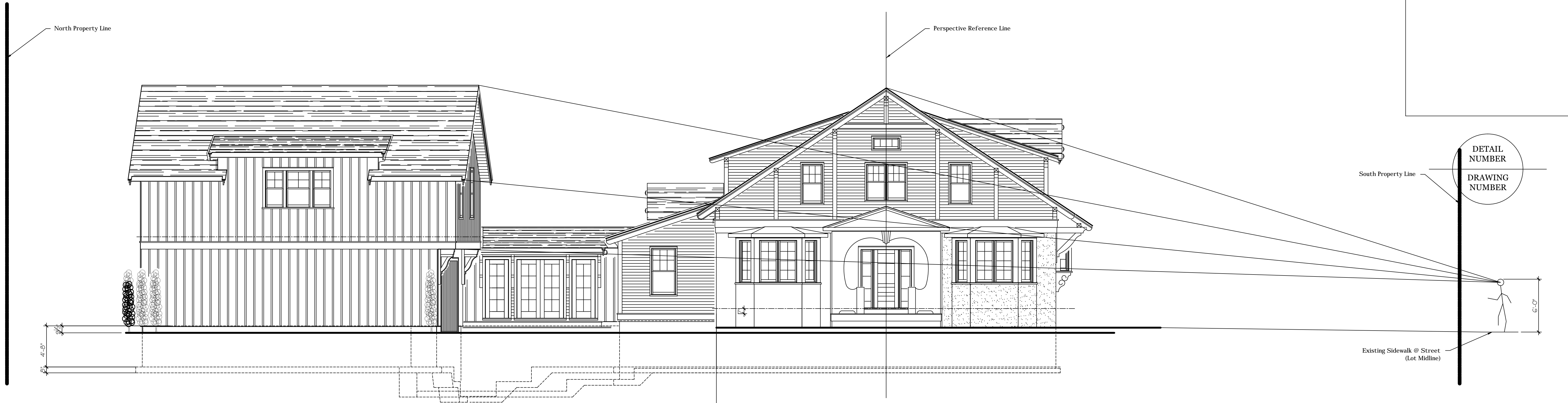
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PROJECT
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DRAWING TITLE

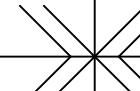
Second Floor Plan 1.10e

Scale: $\frac{3}{16}'' = 1'-0''$	DRAWING NO.
Date: Mar. 31, 2024	A4
Job No.	
Drawn By: S.R.	
Checked By:	



Lot Cross Section 1.11c

Scale: $\frac{3}{16}''=1'-0''$

Proposed New 2 Storey Addition  Existing Heritage Dwelling to Remain "As Is"



South Elevation Perspective 1.11c

Scale: $\frac{3}{16}''=1'-0''$

DETAIL NUMBER
DRAWING NUMBER

No.	Description	Date
3	Issued for Client Review	31 / 03 / 2024
2	Issued for Client Review	27 / 03 / 2024
1	Issued for Client Review	16 / 03 / 2024

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Scott Rushlow	29726
NAME	SIGNATURE BCIN

REGISTRATION INFORMATION

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PROJECT

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Markham, Ontario
(Part of Lot 30, Concession 1)

DRAWING TITLE

Lot Cross Section 1.11c
South Perspective 1.11c

Scale: $\frac{3}{16}''=1'-0''$	DRAWING NO.
Date: Mar. 31, 2024	A5
Job No.	
Drawn By: S.R.	
Checked By:	