



MEMORANDUM

TO: Heritage Markham Committee

FROM: Peter Wokral, Senior Heritage Planner

DATE: September 13, 2023

SUBJECT: Proposed New Verandas
2 Wismer Place, Markham Heritage Estates
HP 23 123594

Property/Building Description: 1-1/2 storey, relocated heritage building (The James Campbell House c. 1865)

Use: Residential

Heritage Status: Designated under Part IV of the Ontario Heritage Act, and subject to a Heritage Conservation Easement Agreement

Application Proposal

- The new owner of the home has submitted a building permit application proposing to construct a front veranda on the heritage portion of the house, and a rear veranda on the highly visible, rear addition to the house;

Background

- In 2013, Council approved the relocation of the James Campbell House to Markham Heritage Estates from its original address at 26 Albert Street in Markham Village due to the threat of loss from years of neglect;
- Physical evidence recorded in photographs taken of the original board and batten cladding reveal that the James Campbell house did not originally have a full width front veranda despite having an early 20th century covered front porch (See Appendix C);
- However, Markham Village homes of similar age and architectural style, sometimes had front verandas based both on surviving examples, and archival photographs (See Appendix D);
- The owner has based the design of the proposed front veranda on historic verandas of Markham Village having a board and batten bell-cast roof, with turned posts, and decorative brackets and sandwich corbels (See Appendix E).

Staff Comment

- Staff has no objection to the proposed veranda at the rear of the house attached to the recent addition, but wanted to obtain feedback from the committee regarding the proposed construction of a front veranda when there is no physical evidence of one originally existing when the house was constructed in the 1860's;
- Staff is of the opinion that the proposed veranda can be supported for the following reasons:
 - The design is based on historic veranda designs of Markham Village found only a couple of blocks away from the home's original location, on homes of similar age and architectural style;
 - The veranda proposes to replicate a historic board and batten roof of which there are no intact surviving examples in Markham;
 - Front verandas are considered to be desirable character defining feature of historic homes, and the addition of a veranda to the home is easily reversible and does not fundamentally alter the heritage attributes of the building;
 - Although authentic restoration is a pillar of Markham Heritage Estates, Staff and Heritage Markham have in the past supported verandas in Heritage Estates not replicating the exact details of historic verandas, or have approved designs based on conjecture in the absence of physical or archival evidence.
- Staff therefore recommends that Heritage Markham have no objection to the proposed verandas at 2 Wismer Place and delegate final review of the building permit and any development application required for their construction to the City, (Heritage Section) staff.

Suggested Recommendation for Heritage Markham

THAT Heritage Markham has no objection to the proposed verandas at 2 Wismer Place and delegates final review of the building permit, and any development application required for their construction, to the City (Heritage Section) staff.

Attachments

Appendix A- Location Map

Appendix B- Google Streetview of the James Campbell House

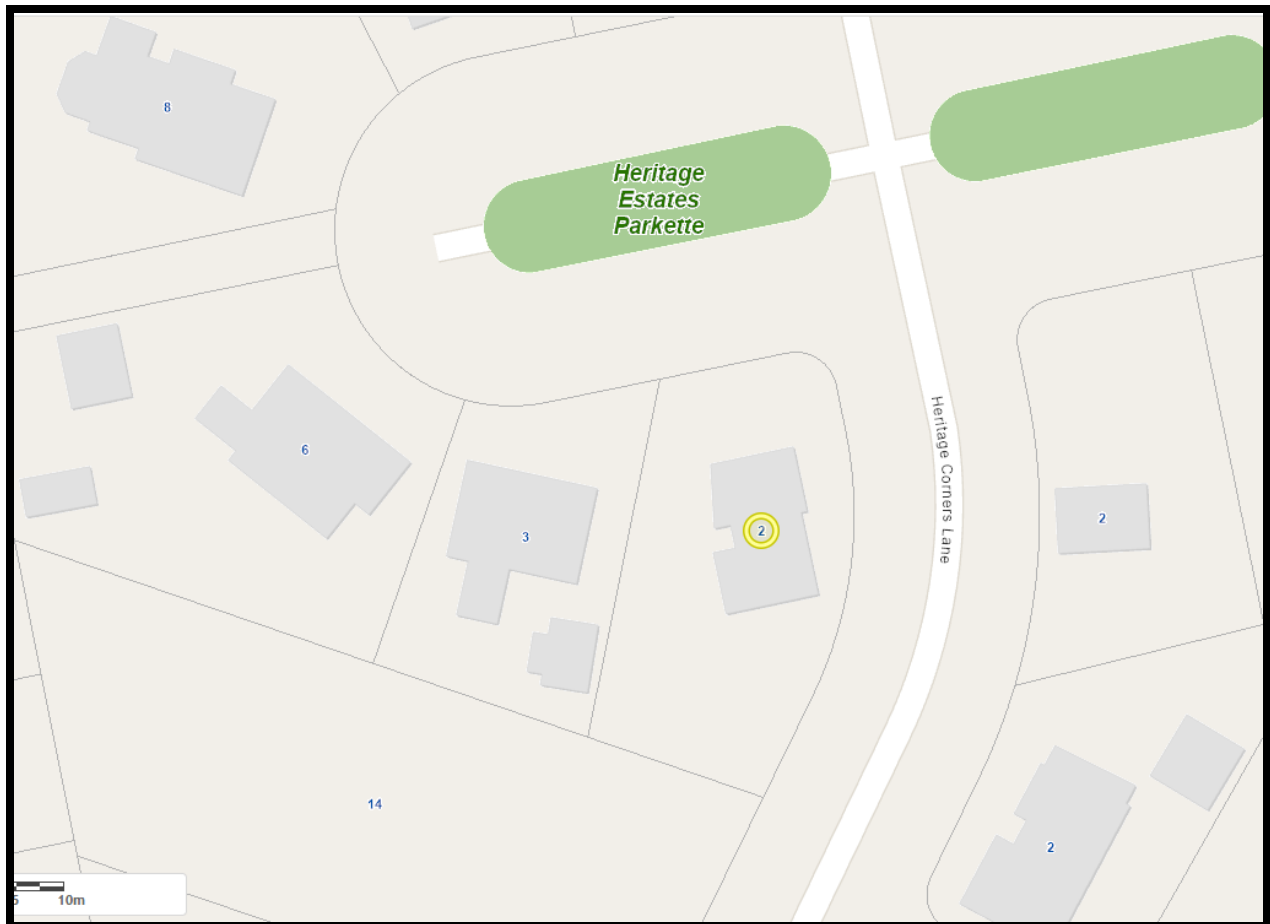
Appendix C- Photographs showing the original board and batten siding and lack of evidence for a veranda

Appendix D- Photographs of historic Markham Village verandas from homes of similar age and architectural style

Appendix E- Elevations and cross sections of the proposed verandas

File: 2 Wismer Place

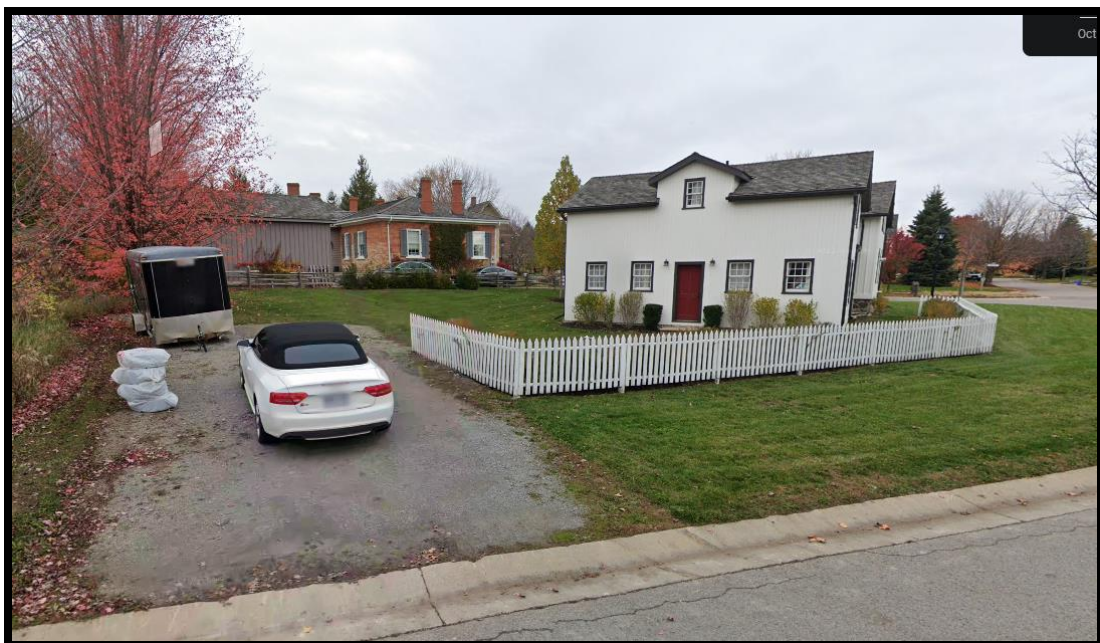
Appendix A- Location Map



Appendix B- Google Streetview of James Campbell House



View showing the historic front of the house

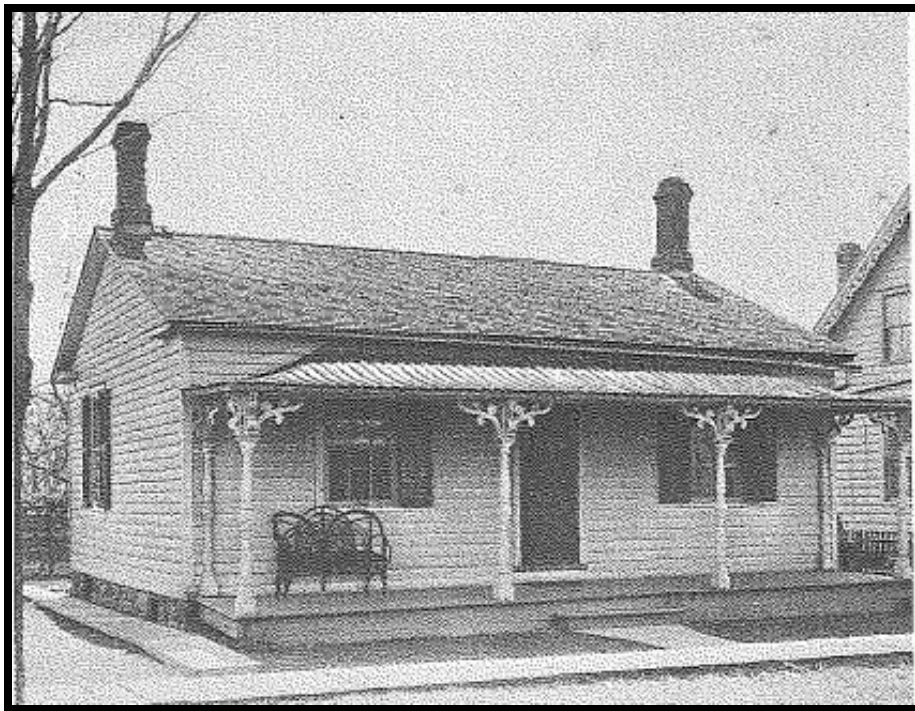


View showing the recently constructed rear addition

Appendix C- Photograph showing the original board and batten siding and lack of evidence for a front veranda



Appendix D- Photographs of historic Markham Village verandas from homes of similar age and architectural style



Archival Photograph of 45 Church Street
(George Pringle House) circa 1860



Photograph of 47 Washington Street, originally a 1-1/2 storey house (Whaley-Pringle House circa 1853)

Appendix E- Elevations and cross sections of the proposed verandas

