



MEMORANDUM

TO: Heritage Markham Committee

FROM: Peter Wokral, Senior Heritage Planner

DATE: September 13, 2023

SUBJECT: Information
141 Main Street, Unionville,
The Robert Harrington House
Demolition of the Heritage Rear One Storey Frame Tail
SPC 22 261600 and NH 23 114972

Property/Building Description: Historic former residence constructed 1873

Use: Medical Office

Heritage Status: Designated under Part IV of the Ontario Heritage Act and identified as a Class 'A' in the Unionville Heritage Conservation District (building or buildings that define the heritage character of the district).

Background

- On February 10, 2023 the City approved a minor site plan application (under 50m²) proposing to demolish a portion of the one storey tail of the Harrington House in order to create an accessible waiting room in support of the owner's plans to convert the former real estate office into medical offices (See Appendix D- Approved Site Plan Drawing) ;
- The proposed alteration and site plan application was supported by Heritage Section staff and Heritage Markham on the basis of the alteration not being visible from the public realm of Main St. and Victoria Avenue, the merits of it making the property more accessible to patients, and because it proposed to alter a poorly constructed poured concrete wood storage area of minimal heritage significance (See Appendix C- Photograph of the North Side of the One Storey Tail Approved for Alterations ;
- However, as interior finishes were removed, it became apparent that the structural integrity of the rear tail had been compromised by a previous owner, and the Building Permit drawings were revised to reflect the complete demolition of the existing rear tail, and the construction of a new rear tail having the same general form, materials, and architectural detailing of the original tail, albeit with two windows on the south elevation rather than one, and a finished floor at the same elevation as those of the floors in the main house (See Appendix E- Approved Building Permit Drawings);

- The distinction between existing and new construction was not readily noticeable in the building permit drawings, and the Building Permit was approved by the City after review by Heritage Planning Staff.
- On, September 6, 2023 Heritage Staff was notified of the complete demolition of the one storey tail.

Staff Comment

- Although it was the understanding of Heritage Section staff and Heritage Markham that only the north side of the one storey tail was to be altered, its demolition was approved by the City's Building Department;
- Past Site Plan applications proposing the demolition of frame rear tails to heritage buildings, have been supported both by Heritage Staff and Heritage Markham, without obtaining the separate approval of Council, based on these structures generally being of less substantial construction and architectural significance, and the desire to permit modern additions and alterations necessary to update heritage homes according to the expectations of modern living;
- It is the opinion of Heritage Staff, that had the proposal to demolish the one storey rear tail been better understood, that it would likely have been supported on the following basis:
 - The lesser architectural significance of the rear frame tail;
 - The desire to update the existing building for a medical office, and to make it more accessible to patients;
 - The proposal to replicate the same form, materials and architectural detailing of the original structure; and
 - The compromised structural integrity of the structure due to alterations made by previous owners.
- Therefore Staff recommends that Heritage Markham provide no comment on the demolition of the previous rear tail of the Harrington House and receive notice of the demolition as information.

Suggested Recommendation for Heritage Markham

THAT Heritage Markham provides no comment on the demolition of the previous one storey tail of the Harrington house and receive notice of the demolition as information.

Attachments

Appendix A- Location & Aerial Map

Appendix B- Google Streetview of 141 Main Street Unionville

Appendix C- Photograph of the North Side of the One Storey Tail Approved for Alterations

Appendix D- Approved Site Plan Drawings

Appendix E- Approved Building Permit Drawings

Appendix F- Archival Photograph of the Original One Storey Tail

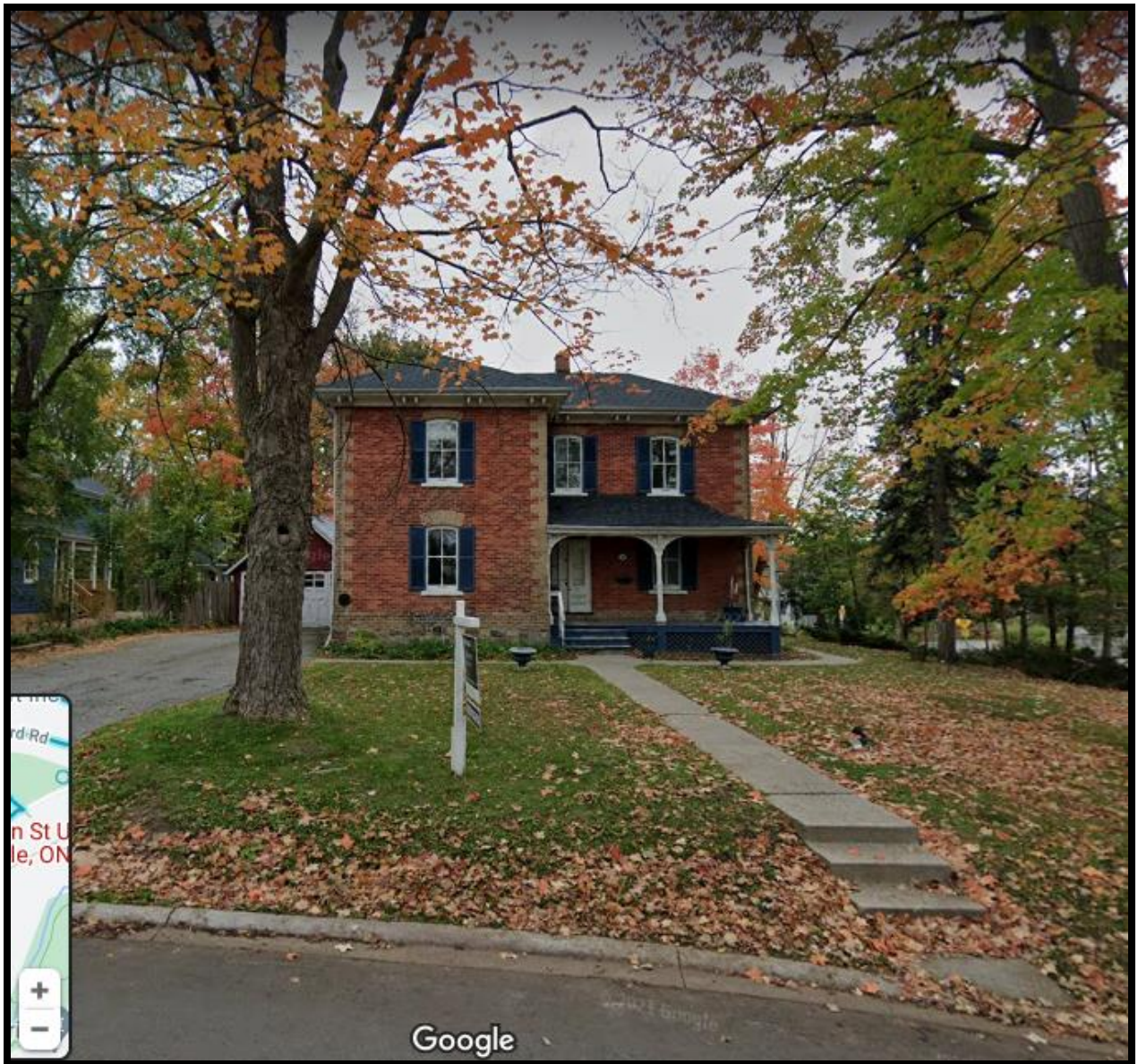
File: 141 Main Street Unionville

APPENDIX A- LOCATION & AERIAL MAP





APPENDIX B- GOOGLE STREETVIEW OF 141 MAIN STREET UNIONVILLE



APPENDIX C – Photograph of the Portion of the One Storey Tail Approved for Alterations



The floor plan illustrates the layout of the Unionville General Surgeons Office. Key areas include three consultation rooms, a reception office, a registration counter, a waiting room with 14 chairs, and examination rooms. A yellow highlighted area indicates a proposed addition to the existing structure, which includes a new waiting room and examination rooms. The plan also shows existing stairs, elevators, and various service areas like a kitchen and restrooms. Dimensions are provided for all major spaces and corridors. A red stamp from the City of Markham Planning Department is located in the top right corner, indicating that the plan has been approved for the City of Markham.

CITY OF MARKHAM
PLANNING DEPARTMENT
APPROVED
PLANS APPROVED BY
SECTION 41 OF THE PLANNING
ACT
SUBJECT TO THE SITE PLAN
SPECIAL REVIEW
FOR THE FILE REVIEW.
File: 22.261650.000.05 SPC
Date: 03/19/23
BRISQVY
Senior Development Manager
(or their designate)

Unionville General Surgeons Office
141 Main Street Unionville

Jeffrey Zhong Li; Yu-Simon Yang; Timothy S.

DAVID

Architectural floor plan of the second floor of the existing building, showing various rooms and proposed modifications. The plan includes rooms such as Consultation Rooms 1, 2, and 3, an Exterior Grate, a New Reception Office, a Registration Counter, a New Waiting Room, a New Universal Washroom, and an Ex Powder Room. The plan also shows existing stairs, an exterior ramp, and an exterior grate. The plan is annotated with dimensions, room names, and notes regarding structural steel and exterior lighting.

Key features and annotations include:

- Consultation Rooms 1, 2, and 3:** Located in the upper left, each measuring 10'-0" x 14'-0".
- Exterior Grate:** Located in the upper right, with a note: "EXISTING DETACHABLE EXTERIOR BUILDING TO BE USED AS A RAMP TO EXTERIOR OF BUILDING. NOT TO BE USED FOR STORAGE OF VEHICLES".
- New Reception Office:** Located in the center, measuring 10'-0" x 10'-0".
- Registration Counter:** Located in the center, measuring 10'-0" x 10'-0".
- New Waiting Room:** Located in the lower right, measuring 10'-0" x 10'-0".
- New Universal Washroom:** Located in the lower right, measuring 10'-0" x 10'-0".
- Ex Powder Room:** Located in the center, measuring 10'-0" x 10'-0".
- Structural Steel:** A note indicates: "3-6\"

ROOF ASSEMBLY: R31
 ASPHALT SHINGLES
 15LB FELT PAPER on
 3/4" PLYWOOD SHEATHING
 2x6 ROOF RAFTERS @ 16" o.c.
 2x6 COLLAR TIES @ 16" o.c.
 w/ INSULATION BAFFLES
 SPRAYED CLOSED-CELL POLYURETHANE
 INSULATION
 5/8" G.B. CEILING FINISH

1
 A-3.2

3
 A-3.2

4
 A-3.2

W1 - EXTERIOR WALL: R19 + R5ci - 1 HR FRR
 MAIBEC WOOD SIDING
 1" STRAPPING (AIR SPACE)
 TYVEK HOUSE WRAP AIR BARRIER, CONTINUOUS
 CONTINUOUS 1.5" RIGID XPS INSULATION [R7.5]
 1/2" EXTERIOR TYPE SHEATHING
 2x6 WOOD STUD @ 16" O.C.
 R19 BATT. INSULATION
 6MM POLY CONTINUOUS VAPOUR BARRIER
 5/8" TYPE X GYPSUM BOARD - FRR 1 HR. WALL FINISH

U/S CEILING
 19" - 1 1/2"

2ND FLOOR
 10' - 2"

2ND FLOOR B
 9' - 1"

WINDOWS FRAMED W. WOODEN CASING & SILL PAINTED WHITE TO MATCH EXISTING
NEW SIDING COLOUR TO MATCH EXISTING HERITAGE RED

EXISTING WINDOWS TO BE RETAINED & RESTORED

1ST FLOOR
 0' - 0"

-174.85 m FLOOD PROOFING

GRADE
 -3' - 0"

-174.55 m FLOOD PLAIN ELEVATION

3' PORCH ABOVE EXISTING
METAL JACK
8" x 8" COLUMN
2x4 FLOOR JOIST

ALL HERITAGE ELEMENTS OF PORCH ABOVE DECK TO REMAIN AS EXISTING

PORCH DECK TO BE REINFORCED / REBUILD / REF. 12.1 & 12.1

EXISTING PORCHES
PROPOSED STRUCTURAL

South Elevation

APPENDIX E – Archival Photographs of the Original One Storey Tail

