



MEMORANDUM

TO: Heritage Markham Committee

FROM: Peter Wokral, Senior Heritage Planner

DATE: September 13, 2023

SUBJECT: Information
141 Main Street, Unionville,
The Robert Harrington House
Demolition of the Heritage Rear One Storey Frame Tail
SPC 22 261600 and NH 23 114972

Property/Building Description: Historic former residence constructed 1873

Use: Medical Office

Heritage Status: Designated under Part IV of the Ontario Heritage Act and identified as a Class 'A' in the Unionville Heritage Conservation District (building or buildings that define the heritage character of the district).

Background

- On February 10, 2023 the City approved a minor site plan application (under 50m²) proposing to demolish a portion of the one storey tail of the Harrington House in order to create an accessible waiting room in support of the owner's plans to convert the former real estate office into medical offices (See Appendix D- Approved Site Plan Drawing) ;
- The proposed alteration and site plan application was supported by Heritage Section staff and Heritage Markham on the basis of the alteration not being visible from the public realm of Main St. and Victoria Avenue, the merits of it making the property more accessible to patients, and because it proposed to alter a poorly constructed poured concrete wood storage area of minimal heritage significance (See Appendix C- Photograph of the North Side of the One Storey Tail Approved for Alterations ;
- However, as interior finishes were removed, it became apparent that the structural integrity of the rear tail had been compromised by a previous owner, and the Building Permit drawings were revised to reflect the complete demolition of the existing rear tail, and the construction of a new rear tail having the same general form, materials, and architectural detailing of the original tail, albeit with two windows on the south elevation rather than one, and a finished floor at the same elevation as those of the floors in the main house (See Appendix E- Approved Building Permit Drawings);

- The distinction between existing and new construction was not readily noticeable in the building permit drawings, and the Building Permit was approved by the City after review by Heritage Planning Staff.
- On, September 6, 2023 Heritage Staff was notified of the complete demolition of the one storey tail.

Staff Comment

- Although it was the understanding of Heritage Section staff and Heritage Markham that only the north side of the one storey tail was to be altered, its demolition was approved by the City's Building Department;
- Past Site Plan applications proposing the demolition of frame rear tails to heritage buildings, have been supported both by Heritage Staff and Heritage Markham, without obtaining the separate approval of Council, based on these structures generally being of less substantial construction and architectural significance, and the desire to permit modern additions and alterations necessary to update heritage homes according to the expectations of modern living;
- It is the opinion of Heritage Staff, that had the proposal to demolish the one storey rear tail been better understood, that it would likely have been supported on the following basis:
 - The lesser architectural significance of the rear frame tail;
 - The desire to update the existing building for a medical office, and to make it more accessible to patients;
 - The proposal to replicate the same form, materials and architectural detailing of the original structure; and
 - The compromised structural integrity of the structure due to alterations made by previous owners.
- Therefore Staff recommends that Heritage Markham provide no comment on the demolition of the previous rear tail of the Harrington House and receive notice of the demolition as information.

Suggested Recommendation for Heritage Markham

THAT Heritage Markham provides no comment on the demolition of the previous one storey tail of the Harrington house and receive notice of the demolition as information.

Attachments

Appendix A- Location & Aerial Map

Appendix B- Google Streetview of 141 Main Street Unionville

Appendix C- Photograph of the North Side of the One Storey Tail Approved for Alterations

Appendix D- Approved Site Plan Drawings

Appendix E- Approved Building Permit Drawings

Appendix F- Archival Photograph of the Original One Storey Tail

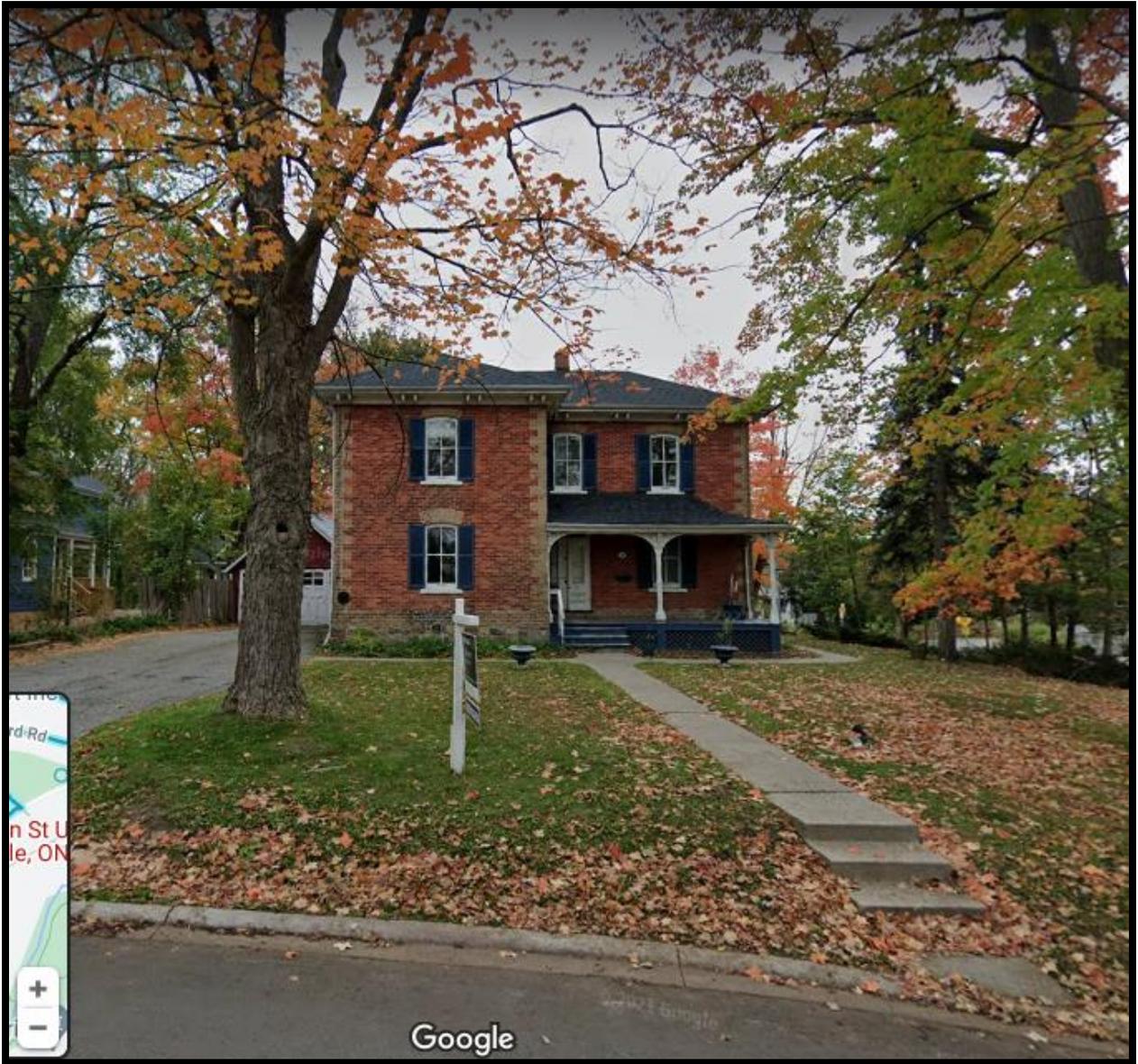
File: 141 Main Street Unionville

APPENDIX A- LOCATION & AERIAL MAP





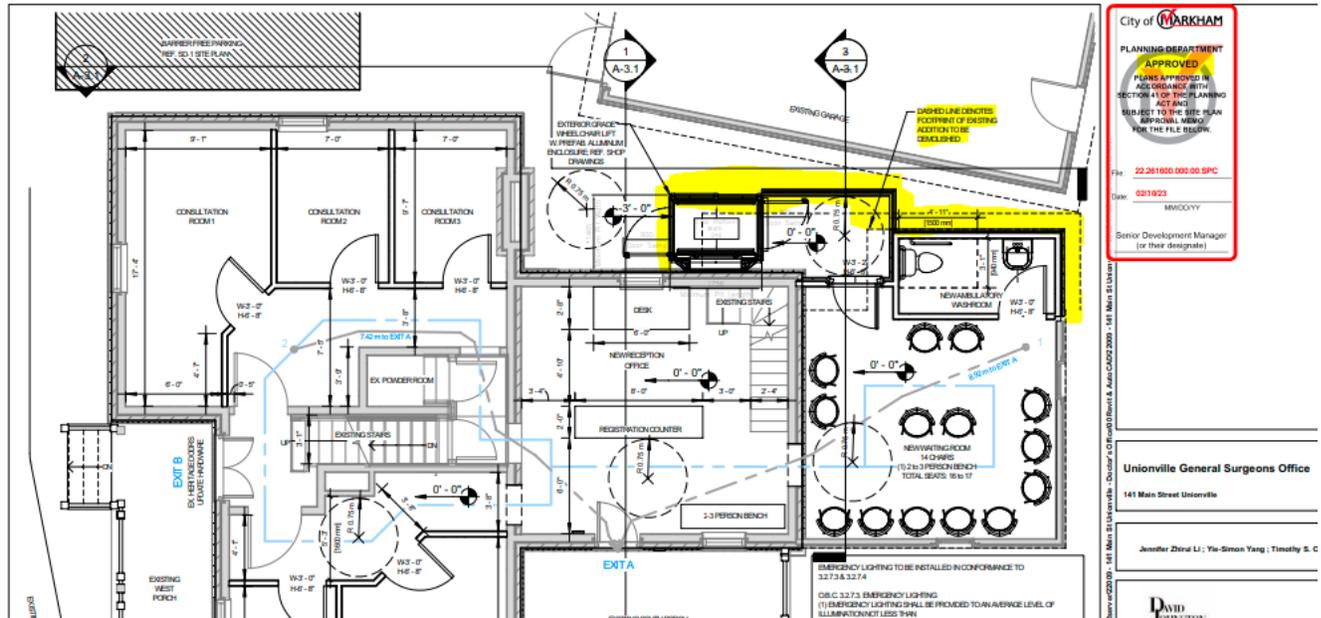
APPENDIX B- GOOGLE STREETVIEW OF 141 MAIN STREET UNIONVILLE



APPENDIX C – Photograph of the Portion of the One Storey Tail Approved for Alterations



APPENDIX D – Approved Site Plan Drawing



APPENDIX E – Archival Photographs of the Original One Storey Tail

