



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Peter Wokral, Senior Heritage Planner

**DATE:** September 13, 2023

**SUBJECT:** Zoning By-law Amendment Application  
7 Town Crier Lane, Markham Village Heritage Conservation District  
PLAN 23 131107

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**Use:** Residential/ Vacant

**Heritage Status:** Designated under Part V of the Ontario Heritage Act as it is within the boundaries of the Markham Village Heritage Conservation District (the “District”).

### **Application Proposal**

- The owner of the property is proposing to revise a previously approved development of 11 detached homes and now wishes to construct 25 detached dwellings, and has submitted a Zoning By-law Amendment application in support of this conceptual development proposal.

### **Background**

#### **Area Context**

- Surrounding land uses are predominantly residential, comprised of existing single detached dwellings, including a Heritage Dwelling, located on the north side of the proposed concept plan and dwellings within the Conservation District to the south along Markham Street. Grace Anglican Church and Morgan Park are located west of the subject lands, and Franklin Public Elementary School is located to the southwest (see Appendix A).

#### **Previous Approvals**

- The City approved Official Plan and Zoning Amendment applications as well as Site Plan and Plan of Subdivision applications in support of the owner’s proposal to construct 11 detached dwellings at 7 Town Crier Lane which formerly functioned as community gardens, and was once occupied by the Markham Dairy, since demolished with Council’s approval (See Appendix B- Previously Approved Site Plan);

- The approved zoning by-law for the 11 lot subdivision (By-law 2017-112) indicated that the maximum gross floor area for a dwelling including a garage was 465m<sup>2</sup> (5,005 ft<sup>2</sup>).
- The approved zoning by-law also provided for a maximum building height of 10.5m for any lots abutting the north or south lot lines to provide a better transition to existing dwelling units.

### Current Proposal

- Due to changes in the real estate market, and Provincial Planning legislation, the owner has submitted an application to revise the previously approved development, in order to increase the number of detached homes to 25 (See Appendix D-Proposed Conceptual Site Plan)
- The owner has also submitted conceptual elevations and renderings of the proposed new dwellings which incorporate architectural elements of the designs previously supported by Heritage Markham and approved by the City (See Appendix E -Proposed Conceptual Elevations and Rendering). The average size of these proposed conceptual dwellings is 249.6m<sup>2</sup> (2,686.5 ft<sup>2</sup>)
- The proposed Zoning By-law amendment proposes to:
  - Reduce the minimum required lot area from 613m<sup>2</sup> to 335m<sup>2</sup>;
  - Reduce the minimum required lot frontage from 15m to 11.6m;
  - Reduce the minimum required interior side yard setbacks from 1.5m to 1.2m;
  - Increase the maximum permitted lot coverage from 43% to 50%;
  - Increase the maximum permitted gross floor area (including double garage) from 465m<sup>2</sup> to 600m<sup>2</sup>; and
  - Increase the maximum permitted building height from 10.5 to 12m.
- As per the previous amendment approved by Council, the proposed amendment proposes that the Net Floor Area Ratio be not applicable;
- Heritage Markham will have the opportunity to review future Major Heritage Permit applications for the proposed homes. This approval will be required for the submission of a complete Site Plan application.

### Staff Comment

- Heritage Planning staff have no objections to the proposed By-law amendment from a heritage perspective, with respect to the proposed dimensions and size of the lots, building setbacks, and maximum lot coverage, as these particular development standards would not appear to negatively impact any adjacent cultural heritage resource, or the existing heritage character of the District. It is noted that the subject property is located at the eastern boundary of the District, is somewhat isolated from the rest of the District due to the internal private road not being connected to the historic street network to the south, and located in behind the rear yards of properties fronting Markham Street, and therefore not highly visible from the public realm of the District (Appendix C- Google Streetviews of the Subject Property from Parkway Avenue and Markham Street);
- However, Heritage Section Staff is of the opinion that the development standards regarding the maximum floor area, and maximum building height, as approved by the City in 2017 to mitigate potential negative impacts to the Heritage District and adjacent

heritage resources should not be exceeded through the proposed amendments of the current application, as a 12m high dwelling having a maximum gross floor area of 600m<sup>2</sup> (6,458.4 ft<sup>2</sup>) could potentially be quite visible from the public realm, and negatively impact the heritage character of District. The applicant has indicated that the requested maximum floor area of 600m<sup>2</sup> is desired in order to provide a certain level of flexibility, but a house having this floor area is not illustrated in the conceptual site plan, and should not be supported in the absence of any conceptual site plan or architectural design reflecting a home of this scale.

- Therefore, Staff suggests that Heritage Markham not support the requested By-law amendments seeking to permit maximum building heights of 12m for the proposed homes abutting the southern and northern property lines, and homes having a maximum gross floor area of 600m<sup>2</sup>;
- Staff recommends that Heritage Markham have no comment on the proposed amendments to permit a minimum required lot area of 335 m<sup>2</sup>, a minimum required lot frontage of 11.6m, reduced minimum required side yard setbacks of 1.2m, an increased maximum permitted lot coverage of 50%, and a maximum building height of 12 for those lots not abutting the southern or northern property lines of the subject property;
- Staff notes that Heritage Markham will have the opportunity to further review the architectural designs of the proposed homes and their compliance with the policies and guidelines of the District Plan through the Major Heritage Permit process.

### **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham has no comment on the proposed amendments to the Zoning By-law to permit a maximum building height of 12m for those lots not abutting the southern or northern property line of the subject property, and the proposed amendments to permit a minimum required lot area of 335m<sup>2</sup>, a minimum required lot frontage of 11.6m, a minimum required side yard setback of 1.2m, and a maximum permitted lot coverage of 50%,

AND THAT Heritage Markham does not support the proposed amendments to permit dwellings having a maximum building height of 12m for lots abutting the southern and northern property lines of the subject property, or homes with a maximum gross floor area of 600m<sup>2</sup>.

### **Attachments**

Appendix A- Location Map

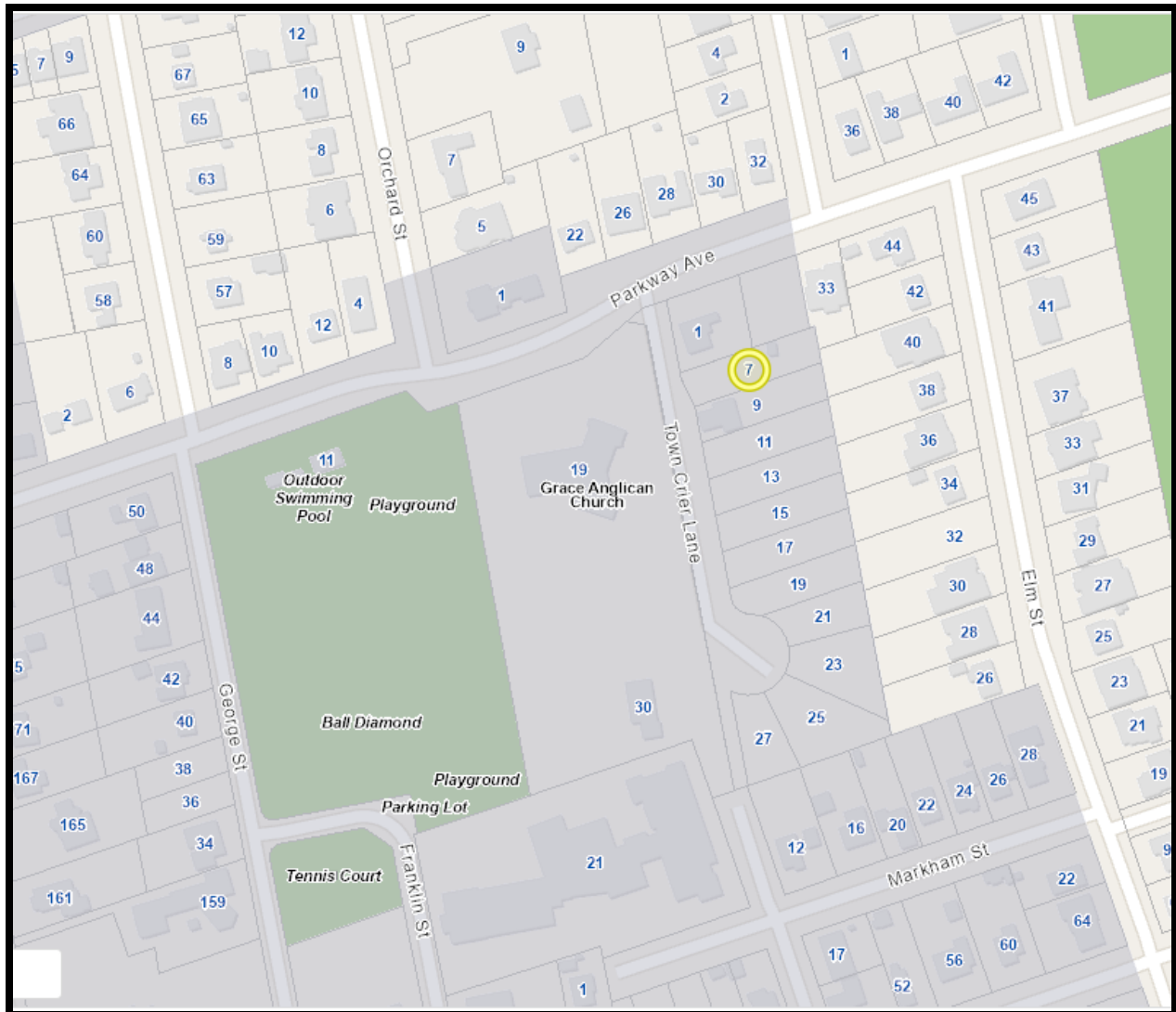
Appendix B- Previously Approved Site Plan

Appendix C- Google Streetviews of the Subject Property from Parkway Avenue and Markham Street

Appendix D- Proposed Conceptual Site Plan

Appendix E- Conceptual Elevations and Rendering

## Appendix A- Location Map



The Markham Heritage Conservation District is shade in grey.

## **Appendix B-Previously Approved Site Plan**







View of subject property from Parkway Avenue



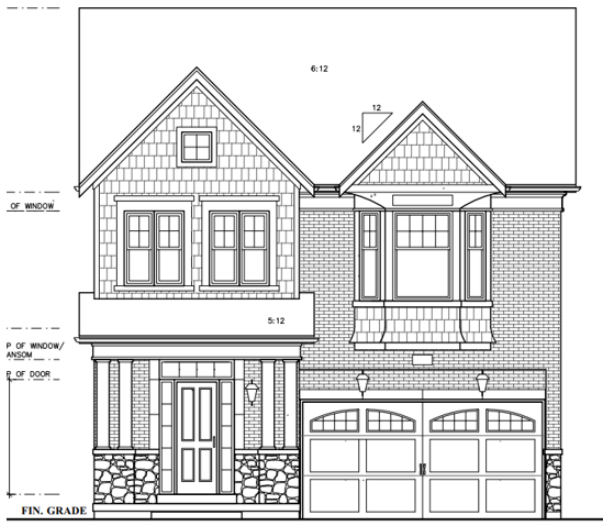
Views of the subject property from the intersection of Maple and Markham Streets

## Appendix D- Proposed Conceptual Site Plan (2023)

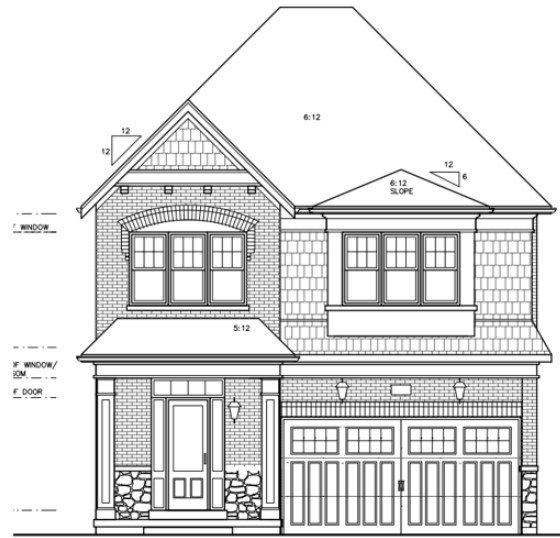


**Appendix E- Proposed Conceptual Elevations and Rendering**





**FRONT ELEVATION**



**FRONT ELEVATION**

