



MEMORANDUM

TO: Heritage Markham Committee

FROM: Peter Wokral, Senior Heritage Planner

DATE: February 8, 2023

SUBJECT: Site Plan Control Application
Proposed Addition to the Toronto Ladies Golf Clubhouse
7859 Yonge Street, Thornhill Heritage Conservation District
SP 22 266567

Property/Building Description: Toronto Ladies Golf Club Clubhouse c. 1922

Use: Recreational

Heritage Status: Designated under Part V of the Ontario Heritage Act
Identified as Class 'A' (Buildings/properties of major importance to the District)

Application Proposal

- The Toronto Ladies Golf Club wishes to restore the exterior of the existing clubhouse, demolish the existing 1990's one storey addition and replace it with a new larger 355.63m² (3,828 ft²) one storey addition and introduce extensive landscaping;
- Restoration would include:
 - removal of modern fabric awning from west elevation;
 - repair and restoration of existing historic windows;
 - Repairs to stucco cladding;
 - Repairs to existing tiled roof and flashing.
- New Entrance
 - Transparent glass linkage between old and new structures
- New addition:
 - One storey in height with angled roof;
 - Windows primarily on west and south elevations
 - Wall Material – combination of brick and wood composite siding (vertical)
 - Roofing - metal

Background

- The Thornhill Heritage Conservation District Plan requires additions to Class 'A' buildings to:

- Conserve the heritage value and heritage attributes of a heritage resource when creating any new addition or any related new construction. Make the new work physically and visually compatible with, subordinate to, and distinguishable from the heritage resource;
- Ensure that any new addition, alteration, or related new construction will not detrimentally impact the heritage resource if the new work is removed in the future;
- Alterations and additions to the heritage resource shall conform to the guidelines found in section 9.2 (Additions and Alterations to Heritage Buildings).
- See Appendix F for a summary of the District Plan policies and guidelines for additions to heritage properties (Class ‘A’)

Staff Comment

- There is no objection to the proposed demolition of the existing 1990’s addition, which despite being highly compatible with the historic clubhouse in terms of its architectural detailing, does not have any historic significance making it worthy of retention.
- The proposed restoration of the exterior of the historic clubhouse is supported.
- The proposed addition offers a more modern approach from a design perspective, but it is physically and visually compatible with, subordinate to, and distinguishable from the heritage resource. It provides a neutral backdrop to the resource. It provides the appearance of an ancillary building to the main house.
- Given the proposed use and location of the heritage building in a golf course/campus-like setting, there is no objection to the proposed siting, materials, form and massing of the addition to the historic clubhouse. It is suggested that additional window pane division more reflective of the windows of the historic clubhouse be utilized which will also help prevent bird collisions.

Suggested Recommendation for Heritage Markham

THAT Heritage Markham has no objection from a heritage perspective to the proposed demolition of the 1990’s addition to the historic clubhouse;

THAT Heritage Markham supports the proposed restoration of the exterior of the historic clubhouse and removal of the existing fabric awning;

THAT Heritage Markham has no objection from a heritage perspective to the siting, materials, form and massing of the proposed addition to the historic clubhouse;

THAT Heritage Markham suggests that the windows of the addition be multi-paned to reflect the windows of the historic clubhouse;

AND THAT final review of the site plan application and any other development application required to permit the proposed addition be delegated to the City, (Heritage Section) staff.

Attachments

Appendix A- Location Map

Appendix B- Photograph of Clubhouse showing 1990's addition and existing awning

Appendix C- Site Plan showing proposed new addition

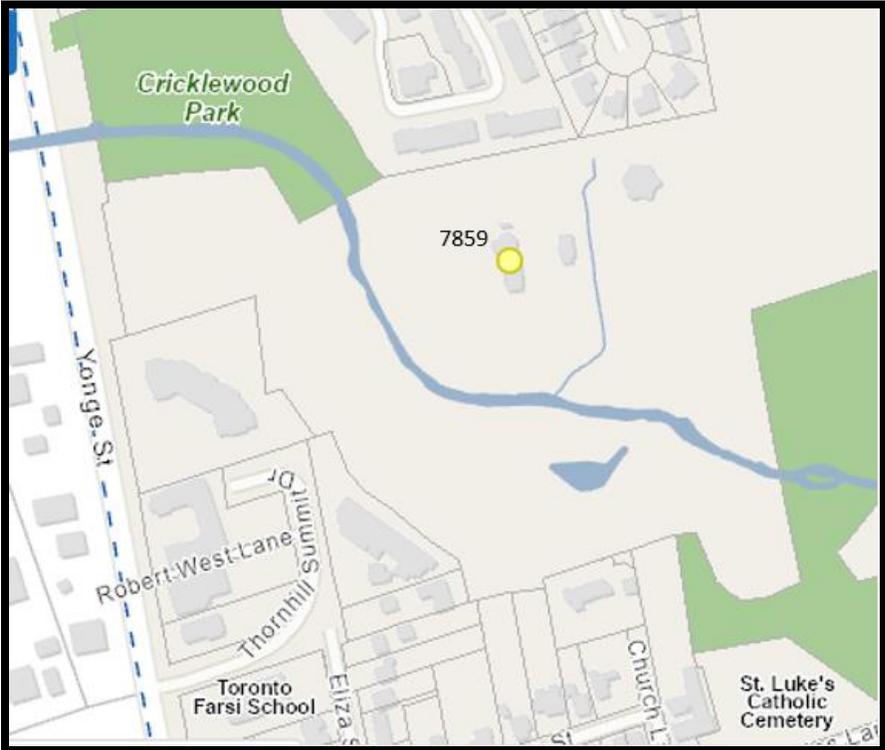
Appendix D- Elevations of existing Clubhouse and proposed addition

Appendix E- Renderings of proposed new addition

Appendix F – District Plan Policy/Guideline Checklist

File: 7859 Yonge St.

Appendix A- Location Map

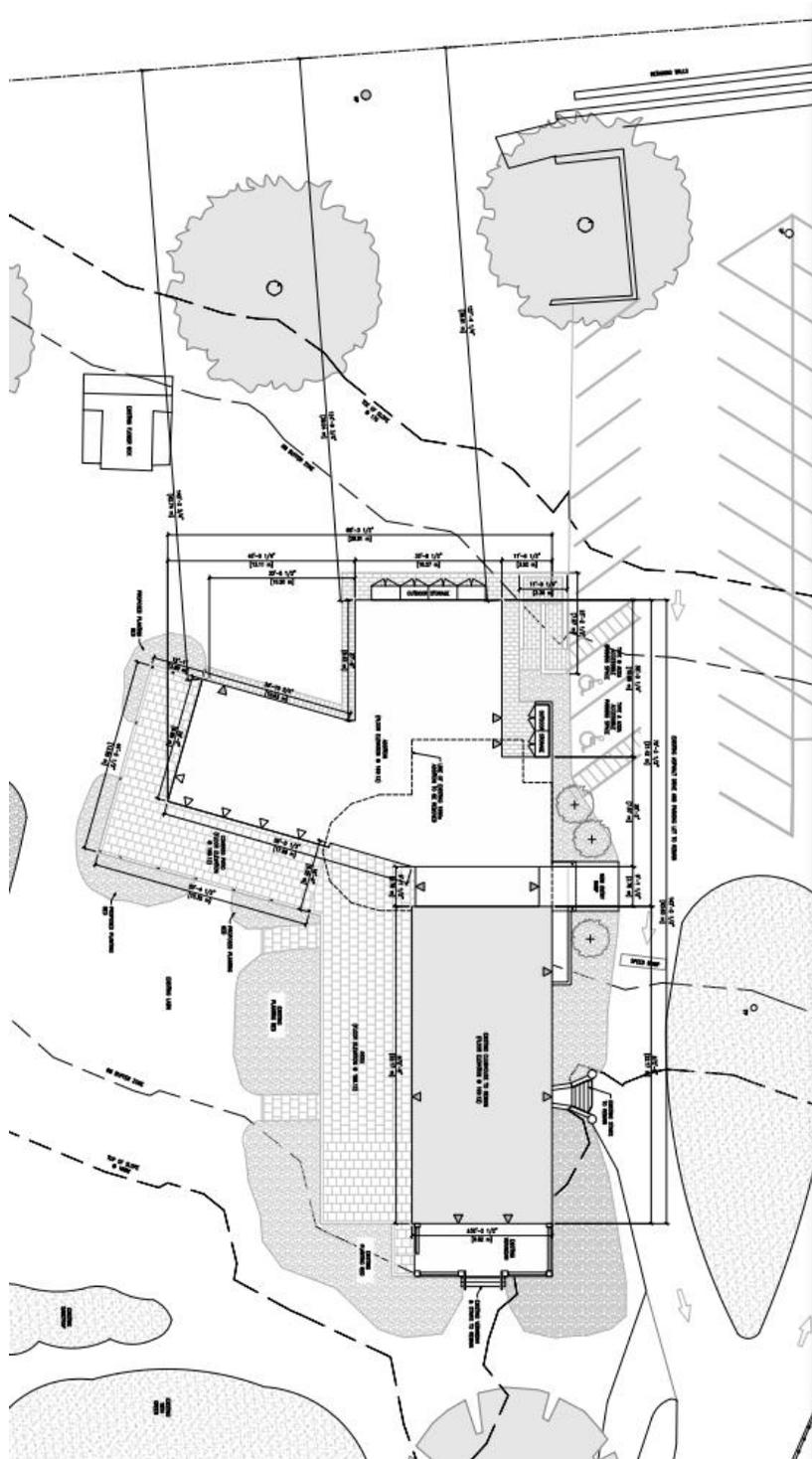


Appendix B- Photograph of Clubhouse showing fabric awning and 1990's addition (left)



Appendix C- Site Plan showing the proposed new addition

North



Appendix D- Elevations of the existing Clubhouse and proposed Addition



West Elevation



East Elevation

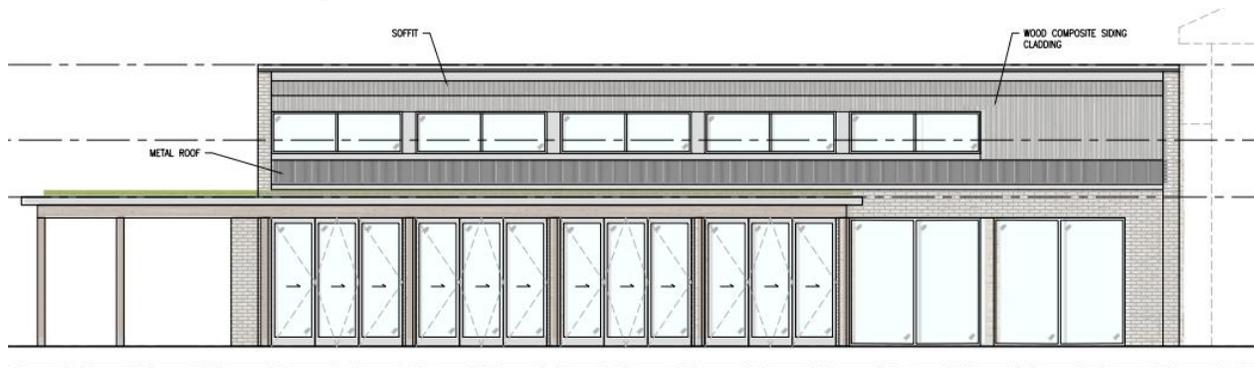


North Elevation

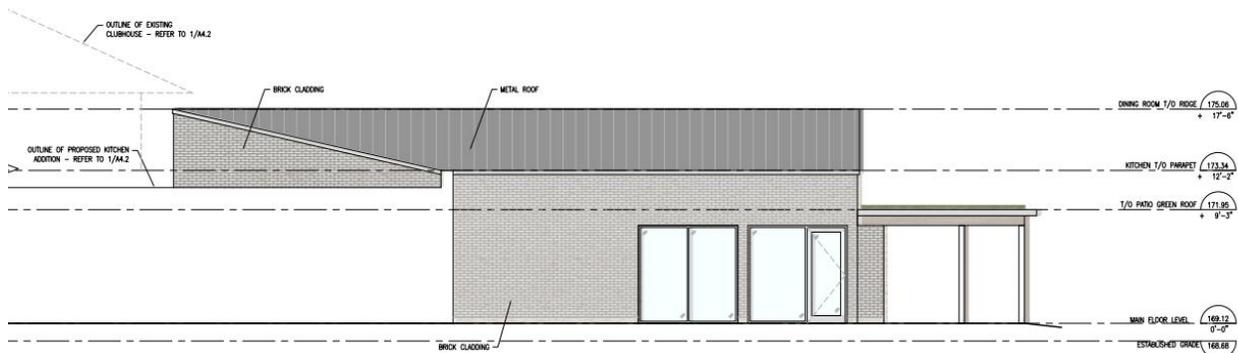


South Elevation

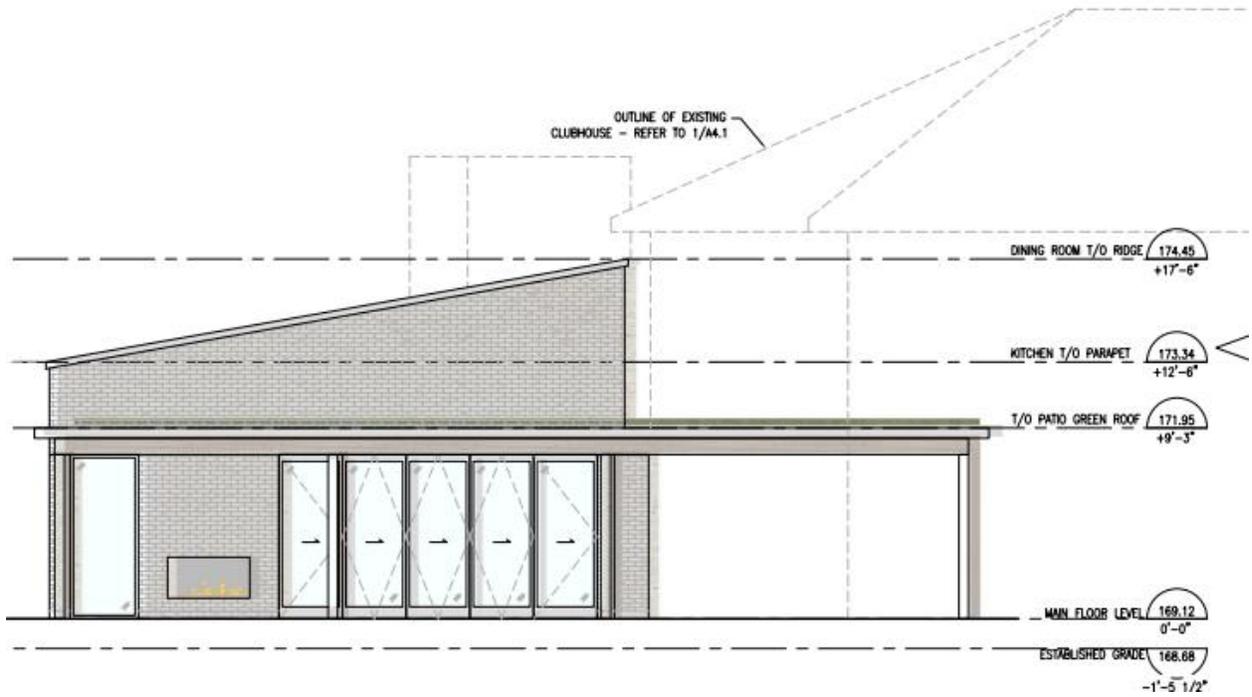
NEW ADDITION



Addition South Elevation



Addition North Elevation



Addition West Elevation

Appendix E- Renderings of the Proposed Addition



View looking northeast



View looking west from parking lot



New Entrance Feature – link between existing structure and new addition (including new elevator to provide access to second floor of heritage building)



View looking north from south side of historic clubhouse



View looking east from west side of Addition

Appendix F

Thornhill Heritage Conservation District

Additions to Heritage Buildings and New Residential Infill

* Thornhill Heritage Conservation District Plan should be consulted for specific wording, if necessary

Address: 7859 Yonge St

Additions to Heritage Buildings (section 9.2.5)	
Plan Policy (P) or Guideline (G)	Specific Application Comment
<p>4.2.2 Alterations and Additions to Heritage Buildings (P)</p> <ul style="list-style-type: none"> - conserve heritage value and attributes when adding an addition - new work to be physically and visually compatible, subordinate to, distinguishable from heritage resource - not detrimentally impact resource - additions/alterations shall conform to the guidelines in Section 9.2 	<p>Restoration of key features</p> <p>Addition meets criteria</p> <p>Addition location does not impact resource – sensitive linkage between old and new</p>
<p>9.2.5.1 Location (G)</p> <ul style="list-style-type: none"> - attach additions to the rear or on an inconspicuous side - additions to be limited in size and scale in relation to the historic building 	<p>Addition attached in most appropriate location-replaces former addition</p> <p>Addition is subordinate to main building</p>
<p>9.2.5.2 Design: Building Form (G)</p> <ul style="list-style-type: none"> -the form of the original building to be considered in the design of the new addition - addition should not dominate the street presence of the heritage building nor detract from its historical features 	<p>Addition has a horizontal form similar to main building</p> <p>Minimized design approach does not negatively impact heritage building</p>
<p>9.2.5.3 Design: Scale (G)</p> <p>(scale, proportion, composition, detail)</p> <ul style="list-style-type: none"> - the design should reflect the scale of the existing building (respectful scale) - additions should not be greater in scale than the existing building 	<p>Scale is appropriate and respectful</p>
<p>9.2.5.4 Respect for Original Building (G)</p> <ul style="list-style-type: none"> - should be designed/constructed so that character defining features are not radically changed, obscured, damaged or destroyed - least possible damage to historic materials - be clearly differentiated from the original but compatible (mass, composition, colours) 	<p>Least possible impact on heritage building</p> <p>Different, more modern design approach but compatible with the heritage building (mass, composition and colour)</p>

<p>9.2.5.5. Materials (G)</p> <ul style="list-style-type: none"> - refers to doors, windows, soffit/fascia, wall claddings -use of traditional materials on additions is highly preferred and used for key views - use of non-traditional materials may be considered subject to review - follow relevant guidelines for new construction in Sec 9.4 for foundations, windows, doors,etc. 	<p>Use of wood is appropriate</p>
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New Construction	
Plan Policy (P) or Guideline (G)	Specific Application Comment
<p>9.4.2.10 Roof Materials (G)</p> <ul style="list-style-type: none"> - asphalt shingles heritage colour and design - taper sawn wood shingles - asphalt, wood shingles, wood B&B- porch - cedar shakes – outbuildings only - no clay tiles, metal or vinyl 	<p>Metal roofing is proposed which is not usually supported for the heritage conservation district. However, the addition appears similar to an outbuilding that could include a metal roof. Only a small component would be readily visible from the south with the largest expanse on the north roof slope that is not generally visible from public views</p>
<p>9.4.2.14 / 18 Windows – Styles (G)</p> <ul style="list-style-type: none"> - reflects the historic windows in district - consistent with style of house -consistent window proportion and type - 2:1 ratio of length to width - traditional wood windows preferred - modern materials in historic configurations and profiles may be used- staff review - no stock suburban window forms - divided windows to have real muntins or external adhered muntins - avoid visible window screens 	<p>Window openings are appropriate for proposed use of new addition</p> <p>Suggest further division of windows</p>
<p>9.4.2.24 Doors</p> <ul style="list-style-type: none"> - appropriate doors to be used - consistent with architectural expression - traditional proportions and design found in district - traditional wood door- preferred - modern material that resemble wood - avoid stock modern doors- see Plan 	<p>Main door to Addition in linkage structure is appropriate for the function of the building</p>
<p>9.4.2.28 Wall Cladding Materials</p>	<p>Wood composite cladding (vertical) in places</p>

<ul style="list-style-type: none"> - traditional Thornhill materials include wood (vertical, horizontal clapboard, B & B), brick, stucco (rough cast) - materials to be compatible with district and chosen architectural design -wood siding are always preferable - non wood products that give the appearance of wood in historic configurations and profiles may be considered (staff review) -brick (older Ontario size, local colour and textures, CSR is acceptable, traditional mortar colour/profile/texture is encouraged. - stone for foundations only - not appropriate: concrete block, concrete brick, precast or poured concrete panels, ceramic tile, anglestone, smooth stucco, wood shakes, insulbrick, artificial stone, terra cotta. 	<p>Brick Cladding in places</p>
<p>9.4.2.34 Architectural Details: Porches and Verandas</p> <ul style="list-style-type: none"> - traditional verandas and porch designs are encouraged - design to match/ be compatible with building design/style and overall District character - no front yard decks 	<p>Additions offers a covered porch feature appropriate to the use of the facility (outdoor dining)</p>
<p>9.4.2.35 Paint Colours</p> <ul style="list-style-type: none"> - appropriate to period and style of building - white or pale, natural tones were common - typical historic Thornhill paint colours are listed in the Plan (9.2.4.7) 	<p>Colour appear appropriate and compatible with the heritage building</p>
<p>9.4.2.36 Utility and Service Equipment</p> <ul style="list-style-type: none"> - service hardware (utility meters, cable/tv boxes, satellite dishes, telephone boxes etc should be integrated into design if possible - not readily visible front key facades - ground mounted units should be screened - windows mounted A/C units should be avoided in visible facades 	<p>Not readily visible</p>