

CITY OF MARKHAM

OFFICIAL PLAN AMENDMENT NO. XXX

To amend the City of Markham Official Plan 2014, as amended.

(Garden Homes (Markham) Inc., 73 Main Street South)

(February 2021)

CITY OF MARKHAM
OFFICIAL PLAN AMENDMENT NO. XXX

To amend the City of Markham Official Plan 2014, as amended.

This Official Plan Amendment was adopted by the Corporation of the City of Markham, By-law No. ___-___ in accordance with the Planning Act, R.S.O., 1990 c.P.13, as amended, on the _____ day of _____, 2021.

Kimberley Kitteringham
City Clerk

Frank Scarpitti
Mayor



By-law 2021------

Being a by-law to adopt Amendment No. XXX
to the City of Markham Official Plan 2014, as amended

THE COUNCIL OF THE CORPORATION OF THE CITY OF MARKHAM, IN ACCORDANCE WITH THE PROVISIONS OF THE PLANNING ACT, R.S.O., 1990 HEREBY ENACTS AS FOLLOWS:

1. THAT Amendment No. XXX to the City of Markham Official Plan 2014, as amended, attached hereto, is hereby adopted.
2. THAT this by-law shall come into force and take effect on the date of the final passing thereof.

READ A FIRST, SECOND AND THIRD TIME AND PASSED THIS ___ DAY OF _____, 2021.

Kimberley Kitteringham
City Clerk
(Signed)

Frank Scarpitti
Mayor

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PART I - INTRODUCTION

(This is not an operative part of Official Plan Amendment No. XXX)

PART I - INTRODUCTION

1.0 GENERAL

- 1.1 PART I - INTRODUCTION, is included for information purposes and is not an operative part of this Official Plan Amendment.
- 1.2 PART II - THE OFFICIAL PLAN AMENDMENT, constitutes Official Plan Amendment No. XXX to the City of Markham Official Plan 2014, as amended. Part II is an operative part of this Official Plan Amendment.

2.0 LOCATION

This Amendment applies to 0.41 hectares (1.01 acres) of land municipally known as 73 Main Street South as shown on Figure 9.13.4.13 within the Markham Village Heritage Conservation District. The subject property is located on the east side of Main Street South, north of Highway 407 and south of Highway 7.

3.0 PURPOSE

The purpose of this Official Plan Amendment is to amend Section 9.13 to add a new site-specific policy to permit townhouse dwellings up to three (3) storeys in height, and to facilitate a development consisting of fourteen (14) residential dwellings on the subject lands. Thirteen (13) of the dwellings are condominium townhouse dwellings accessed by a private road, and the remaining dwelling unit is a freehold detached dwelling accessed from Mill Street. The amendment also redesignates a 0.072 hectare (0.18 acre) environmental buffer at the north end of the subject property from 'Residential Low Rise' to 'Greenway'.

4.0 BASIS OF THIS OFFICIAL PLAN AMENDMENT

The subject property is designated 'Residential Low Rise' in the City of Markham Official Plan 2014, as amended. The existing property is an irregular shaped, naturalized lot with frontage both on Markham Main Street South and Mill Street, immediately north of detached residences on Rouge Street. The proposal represents good planning because it proposes compact, architecturally compatible infill housing that responds to the City's goals of providing a diverse range of housing types through intensification in established urban areas located on a minor collector road and near to an arterial road serviced by transit.

PART II - THE OFFICIAL PLAN AMENDMENT

(This is an operative part of Official Plan Amendment No. XXX)

PART II – THE OFFICIAL PLAN AMENDMENT

1.0 THE OFFICIAL PLAN AMENDMENT

- 1.1 Map 1 – Markham Structure and Map 2 – Centres and Corridors and Transit Network, Appendix B – Headwater Drainage Features and Appendix C – Community Facilities of the Official Plan 2014, as amended, are hereby amended by modifying the boundary of the ‘Greenway System’ to include the lands shown on Schedule “A” attached hereto.
- 1.2 Map 3 – Land Use of the Official Plan 2014, as amended, is hereby amended by re-designating a portion of the subject lands from ‘Residential Low Rise’ to ‘Greenway’, as shown on Schedule “B” attached hereto.
- 1.3 Map 4 – Greenway System, Map 5 – Natural Heritage Features and Landforms and Map 6 – Hydrologic Features of the Official Plan 2014, as amended, are hereby amended by modifying the boundary of the ‘Greenway System Boundary’ and ‘Other Greenway System Lands Including Certain Naturalized Stormwater Management Facilities’ to include lands as shown on Schedule “C” attached hereto.
- 1.4 Section 9.13 of the Official Plan 2014, as amended, is hereby amended by:
- a) Amending Section 9.13.1 to add a reference in Figure 9.13.1, to a new Section 9.13.4.13, as follows:

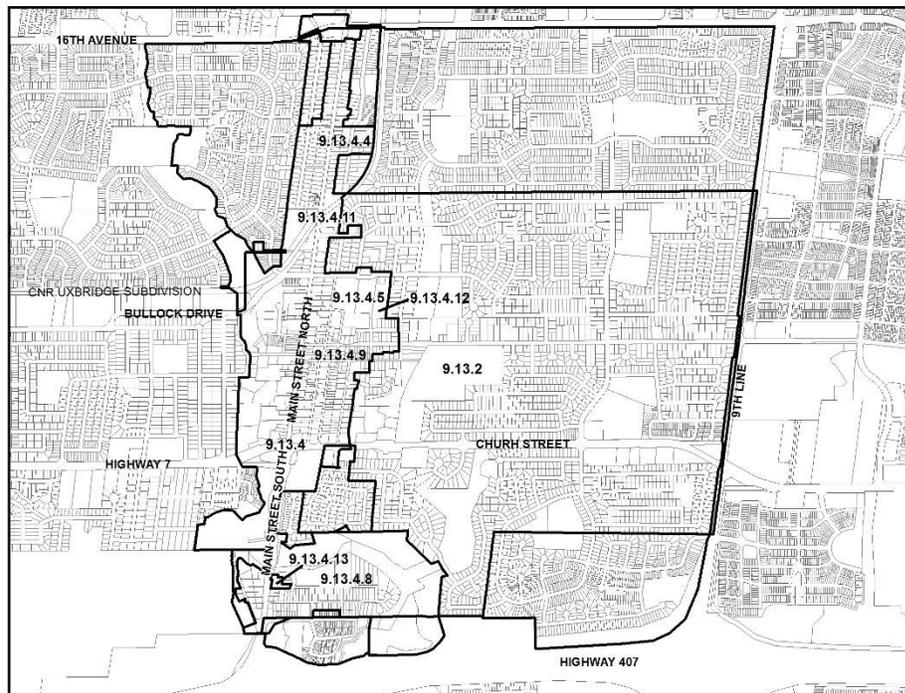


Figure 9.13.1

b) Amending Figure 9.13.4.8 by deleting the lands at 73 Main Street South as follows:

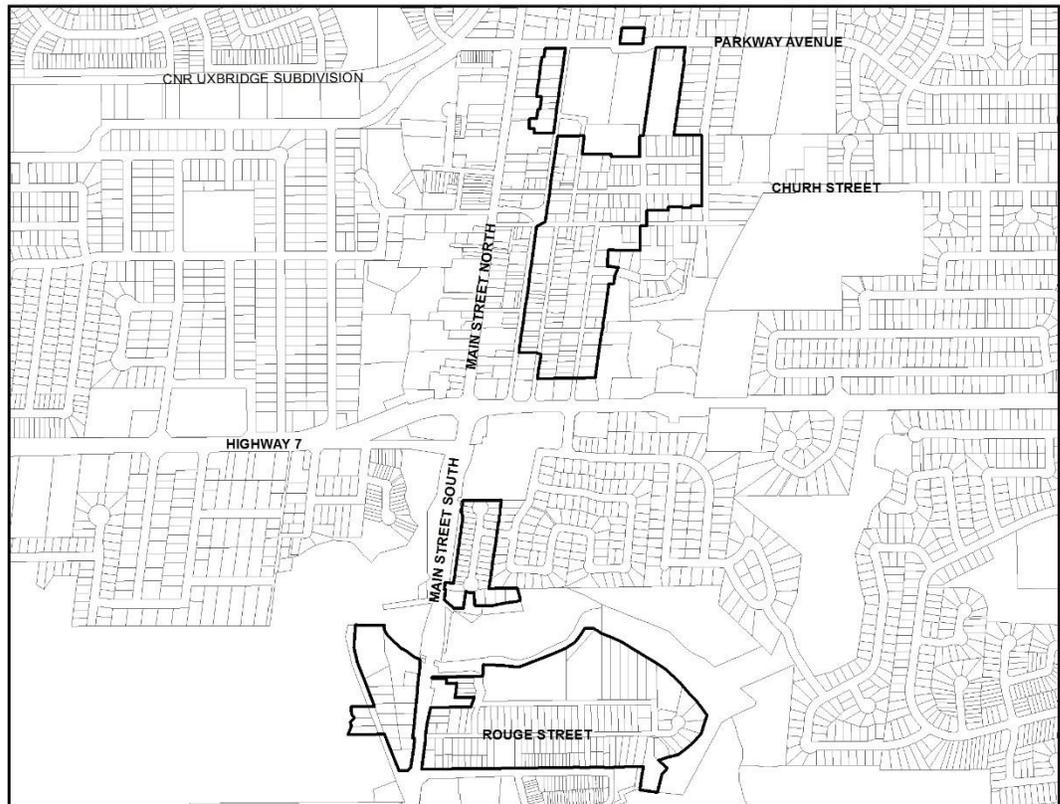


Figure 9.13.4.8

c) Adding a new subsection 9.13.4.13 and Figure 9.13.4.13 as follows:

“9.13.4.13 73 Main Street South

The following building type and height provisions shall apply to the ‘Residential Low Rise’ lands shown in Figure 9.13.4.13:

- a) In addition to building types permitted, townhouses without direct frontage on a public street where the development block has frontage on a Minor Collector Road shall also be permitted; and
- b) The maximum building height of a townhouse shall be three (3) storeys.”

The following shall apply to the ‘Greenway’ lands shown in Figure 9.13.4.13:

- Private transportation and utility infrastructure and landscaping related to adjacent residential development shall also be permitted through site plan approval to the satisfaction of Markham and the Toronto and Region Conservation Authority.

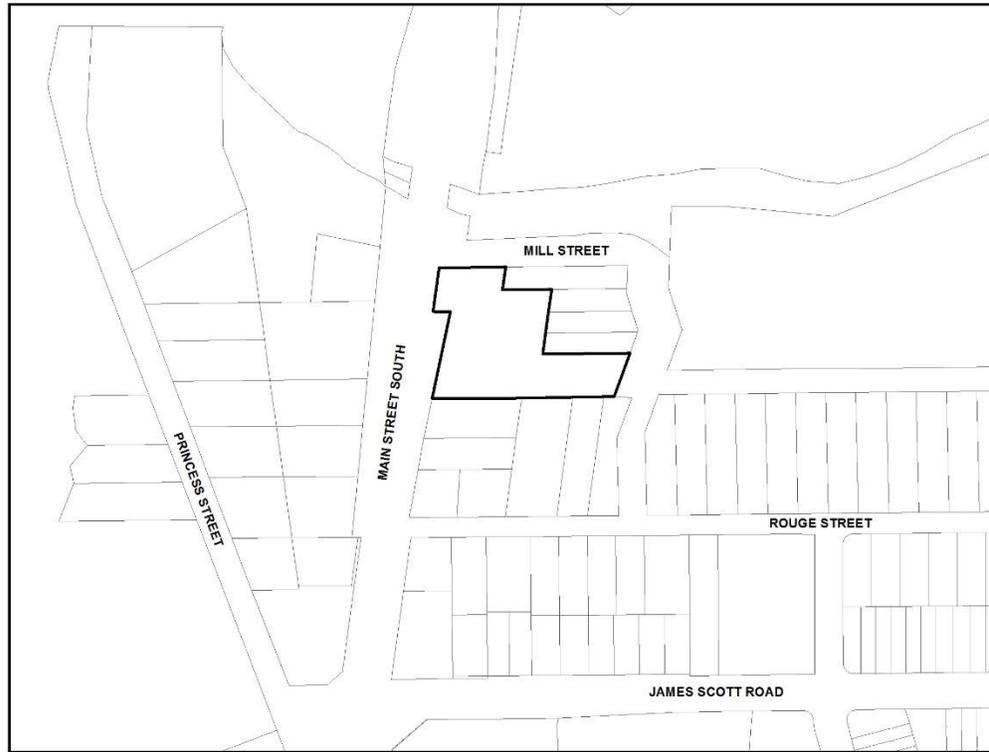
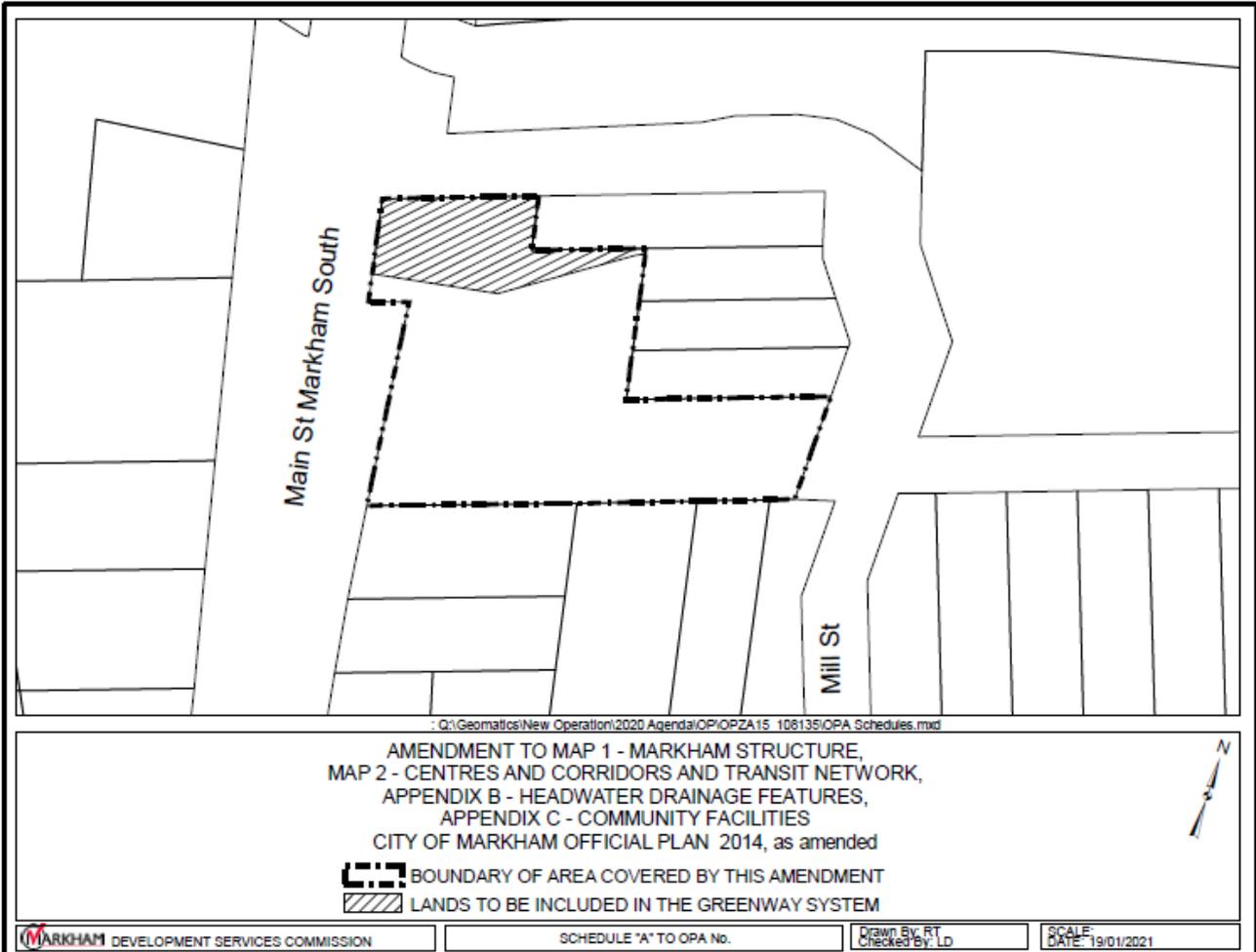


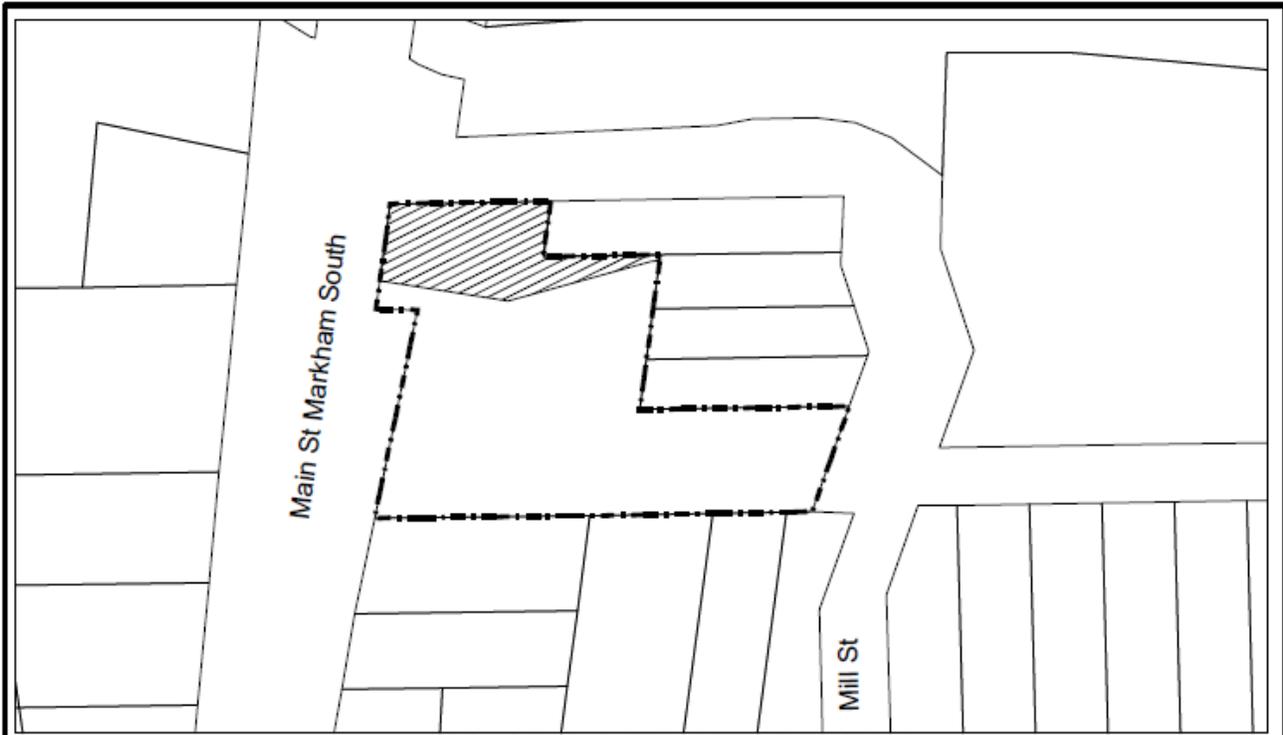
Figure 9.13.4.13”

2.0 IMPLEMENTATION AND INTERPRETATION

The provisions of the Official Plan, as amended, regarding the implementation and interpretation of the Plan, shall apply in regard to this Amendment, except as specifically provided for in this Amendment.

This Amendment shall be implemented by an amendment to the Zoning By-law and Site Plan approval and other Planning Act approvals, in conformity with the provisions of this Amendment.





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AMENDMENT TO MAP 3 - LAND USE
CITY OF MARKHAM OFFICIAL PLAN 2014, as amended



BOUNDARY OF AREA COVERED BY THIS AMENDMENT



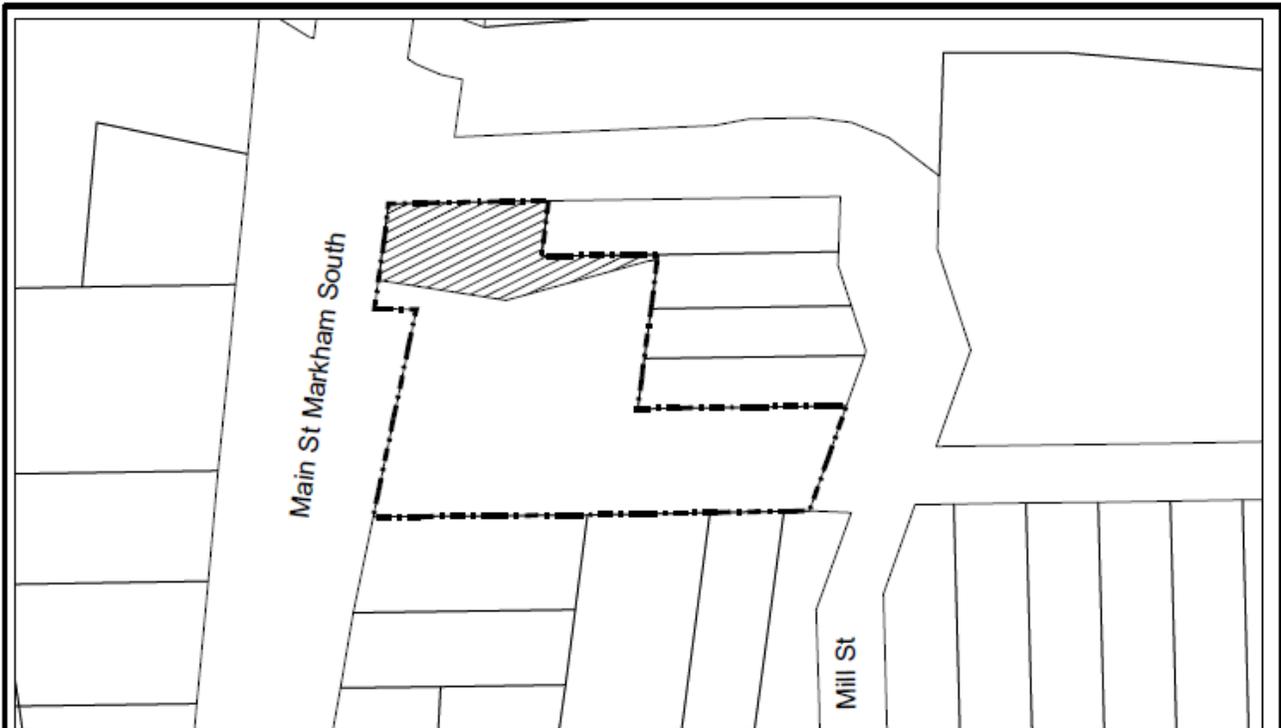
REDESIGNATE FROM "RESIDENTIAL LOW RISE" TO "GREENWAY"

MARKHAM DEVELOPMENT SERVICES COMMISSION

SCHEDULE "B" TO OPA No.

Drawn By: RT
Checked By: Ld

SCALE:
DATE: 19/01/2021



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AMENDMENT TO MAP 4 - GREENWAY SYSTEM,
 MAP 5 - NATURAL HERITAGE FEATURES AND LANDFORMS,
 MAP 6 - HYDROLOGIC FEATURES
 CITY OF MARKHAM OFFICIAL PLAN 2014, as amended



 BOUNDARY OF AREA COVERED BY THIS AMENDMENT

 LANDS TO BE INCLUDED IN THE GREENWAY SYSTEM BOUNDARY AND OTHER GREENWAY SYSTEM LANDS INCLUDING CERTAIN NATURALIZED STORMWATER MANAGEMENT FACILITIES

 MARKHAM DEVELOPMENT SERVICES COMMISSION

SCHEDULE "C" TO OPA No.

Drawn By: RT
 Checked By: LD

SCALE:
 DATE: 19/01/2021