



Streamlining Planning Approvals through a Community Planning Permit System

**Development Services Committee
January 31, 2023**



Overview

- Background
- Audit and Accountability Fund
- CPPS Study
- Next Steps



Background - Audit & Accountability Fund

- On August 16, 2021 the Province announced a third intake of the Provincial Audit and Accountability Fund
- The fund is to support large municipalities to find efficiencies and modernize services
- Markham proposed study on Community Planning Permit System (CPPS) as tool to streamline planning approvals
- Markham was successful, Planscape Inc. was retained to undertake the study



STREAMLINING PLANNING APPROVALS THROUGH A COMMUNITY PLANNING PERMIT SYSTEM IN MARKHAM

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FINAL REPORT

Streamlining Planning Approvals Through a Community
Planning Permit System

Project Purpose

To undertake an investigation into the use of the Community Planning Permit System (CPPS) in the City of Markham to streamline the development review and approval processes.



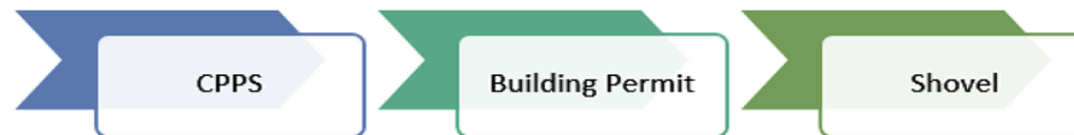
What is a Community Planning Permit System?

- CPPS was originally referred to as a Development Permit System (DPS)
- Provided in Section 70.2 of the Planning Act to consolidate planning approval processes
- It combines Zoning By-law Amendment, Minor Variance, and Site Plan approval processes

TRADITIONAL PLANNING



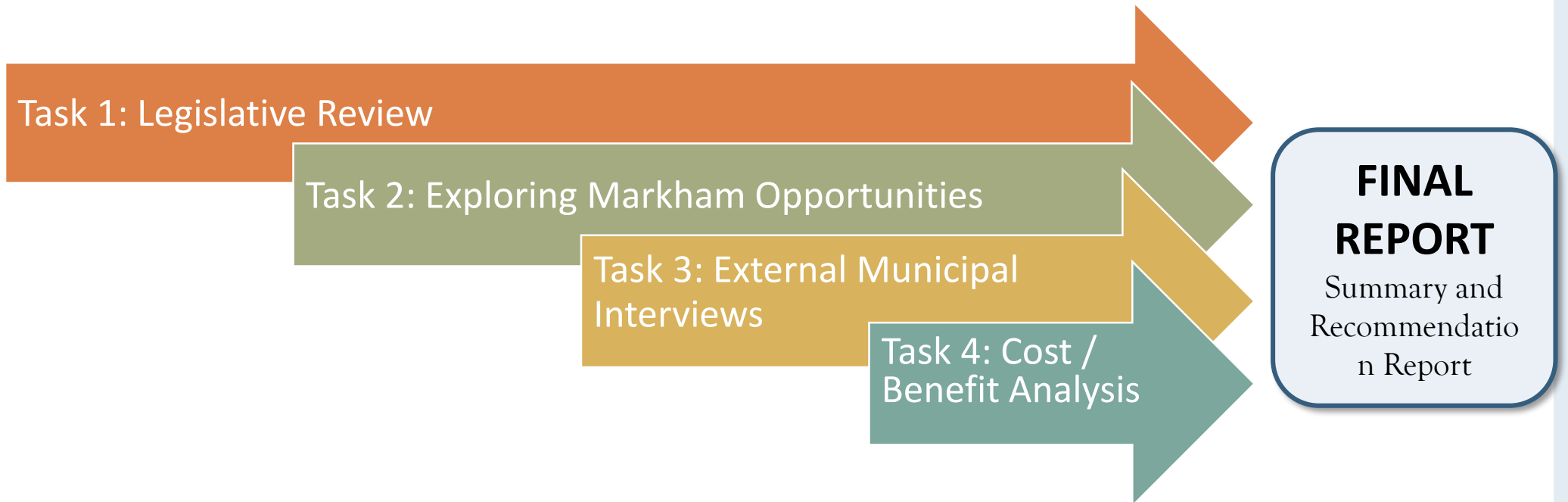
CPPS



CPPS vs. Traditional Planning Process

Planning Process	Legislated Timeline
Zoning By-law Amendment	90 days
Site Plan Control	60 days
Minor Variance	30 days
Community Planning Permit System	45 days

Study Workplan



Task 1: Review of CPPS Legislation

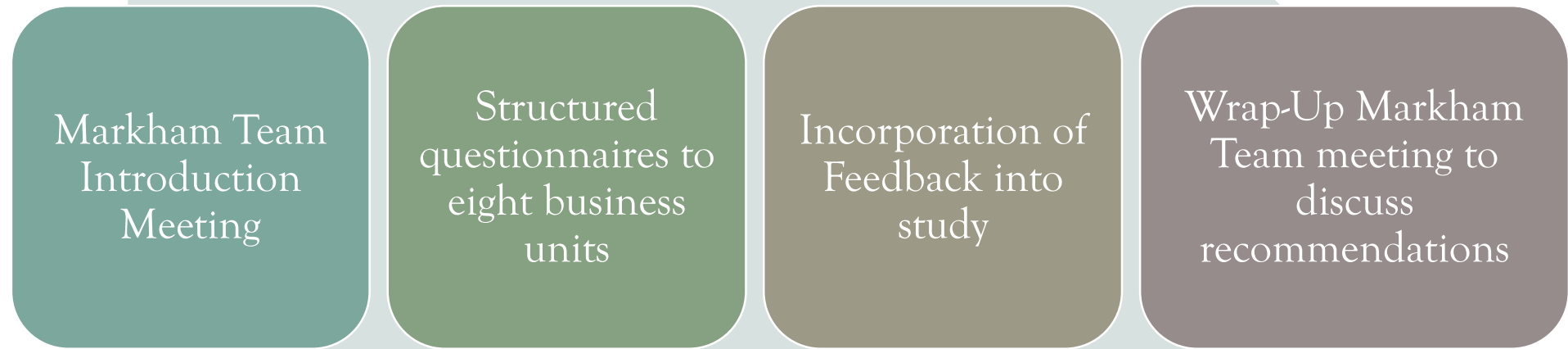
Provincial
Policy
Statement

Planning Act
(Section 70.2)

Ontario
Regulation
173/16



Task 2: Exploring Markham Opportunities



Task 3: External Municipal Interviews

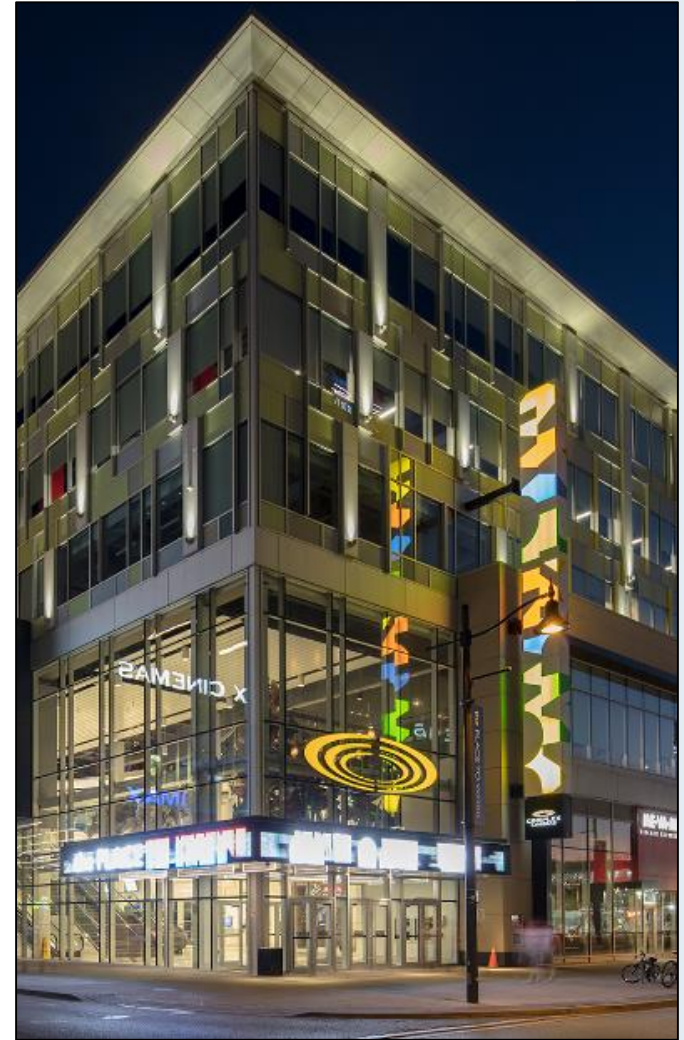
The following municipalities were approached to learn from their experience:

Municipality	Scope of CPPS	Theme
Lake of Bays	<ul style="list-style-type: none">• Whole municipality	<ul style="list-style-type: none">• Protection of Waterfront Areas originally, but expanded to whole municipality in 2019
Carleton Place	<ul style="list-style-type: none">• Whole municipality	<ul style="list-style-type: none">• Four permit classes and includes prescriptive design guidelines for each area of town
Brampton	<ul style="list-style-type: none">• Main Street North	<ul style="list-style-type: none">• Focusses on a “character area” (historical downtown)
Innisfil	<ul style="list-style-type: none">• Whole municipality	<ul style="list-style-type: none">• Shoreline permits (three classes)
Huntsville	<ul style="list-style-type: none">• Whole municipality	<ul style="list-style-type: none">• Provides greater direction on site alteration, grading, tree removal, natural feature protection, and shoreline controls
Gananoque	<ul style="list-style-type: none">• Whole municipality	<ul style="list-style-type: none">• Streamlines all planning approvals
Ajax	<ul style="list-style-type: none">• OPA prepared	<ul style="list-style-type: none">• Work put on hold to focus on MTSA's
Ottawa	<ul style="list-style-type: none">• Aiming for Kanata North Technical Park for pilot CPPS	<ul style="list-style-type: none">• Employment land area with economic development focus

Task 3: External Municipal Interviews

The key learnings from external municipal staff are summarized as follows:

- Prefer to operate under a CPPS;
- A CPPS is valuable for process efficiencies;
- Comprehensive consultation for a shared vision with buy-in is fundamental;
- Public education and educational materials are necessary;
- A key staff liaison or manager is recommended; and
- The development of a CPPS represents good planning, not just an administrative process.



Task 4: Cost / Benefit Analysis

Potential Costs

- Resources to identify candidate areas
- Resources to develop a CPP By-law
- Change management costs



Task 4: Cost / Benefit Analysis

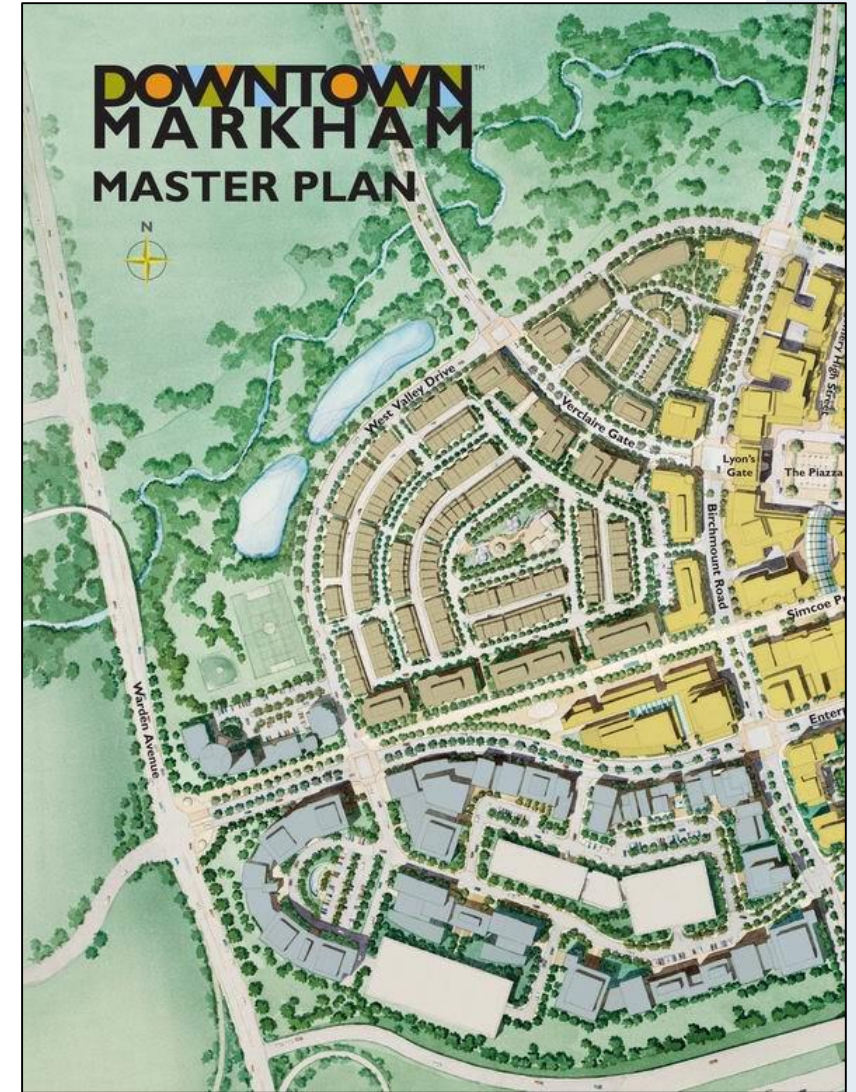
Potential Benefits

- Process Efficiencies
- Resource Savings
- Community Building
- Transparency and Predictability



Study Conclusions

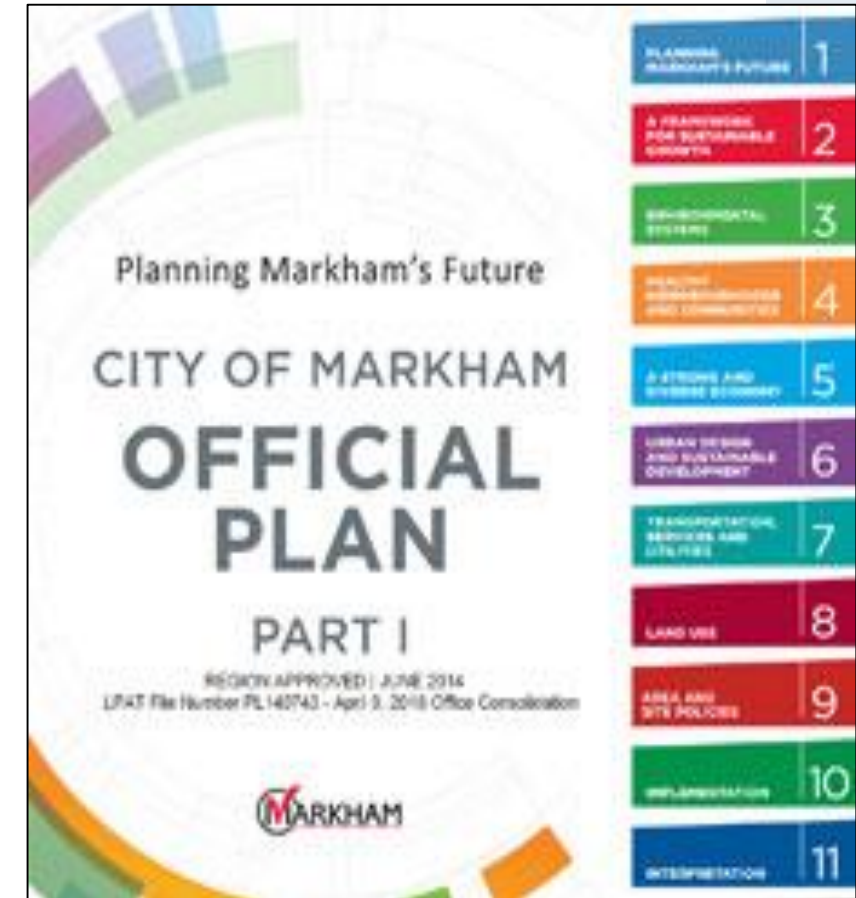
1. Process Efficiencies
2. Cost Savings
3. Predictability and Transparency
4. Flexibility and Specificity
5. Meeting of Strategic Goals and Legislated Requirements



Study Recommendations

The study recommends a pilot be undertaken. In addition four key recommendations were formed from the conclusions of the project process:

1. Select Strategic Locations with Advanced Planning Work Available
2. Train All Planning and Review Staff
3. Develop a Stakeholder Communication Plan
4. Continuous Monitoring





Next Steps

- Study to be submitted to Province to fulfill funding agreement
- Staff to explore study recommendations and assess application in Markham
- Staff report back with options for a CPPS including work program and resources



Questions