



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Evan Manning, Senior Heritage Planner

**DATE:** October 12, 2022

**SUBJECT:** Site Plan Control Application  
7 Victoria Avenue, Unionville  
Warren Bishop Jr. House  
SPC 22 115592

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**Property/Building Description:** One-and-a-half storey detached dwelling with carport constructed circa 1877 according to historical research

**Use:** Residential

**Heritage Status:** Designated under Part V of the *Ontario Heritage Act* as constituent property of the Unionville Heritage Conservation District.

### **Background**

#### *On-site Context*

- The existing dwelling is composed of two components: a one-and-a-half storey dwelling constructed circa 1877, and a carport attached to the west elevation of the heritage dwelling that was completed at an unknown date.

#### *Area Context*

- The subject property is located on the south side of Victoria Street between the Planing Mill to the west, and single-family dwellings to the east. A mixture of detached dwellings and commercial properties operating within former dwellings are located to the north of the subject property, while a Metrolinx rail corridor is located to the south.

### **Heritage Policy and Land Use**

#### ***Unionville Heritage Conservation District Plan***

#### *Property Classification*

- The subject property is contained within the Unionville Heritage Conservation District (the “UHCD” or the “District”), and is identified as a Class ‘B’ property within the UHCD Plan, as amended. As per Section 2.4 (“Building Classification”) of the UHCD Plan, Class ‘B’ properties are “Buildings that are important in terms of contextual

- value” and possess the following characteristics:
  - *They may not be of significant historical or architectural value, however they contribute substantially to the visual character of the village landscape.*
  - *They support and help define the character of the District.*
- For an evaluation of the proposal against the policies and guidelines of the UHCD Plan, please see Appendix C of this memo.

## **TRCA**

### ***Special Policy Area***

- The subject property is located entirely within the Toronto and Region Conservation Authority (TRCA) Regulated Area under Ontario Regulation 166/06, as amended, as it is within a regulatory flood plain and erosion hazard associated with a tributary of the Rouge River which runs along the western and southern edges of the subject property;
- The property is also entirely within the current boundaries of the Unionville Special Policy Area (SPA). A SPA is an area within a community that has historically existed within a floodplain and where site-specific policies are intended to provide for the continued viability of existing uses.

## **Staff Comment**

- Heritage Section staff (“Staff”) are generally supportive of the SPC application as we find the scale and massing of the addition to be deferential to and compatible with the heritage dwelling, and are supportive of the restoration scope as proposed (e.g. reinstatement of the front veranda and the installation of historically appropriate window types). Staff will work with the applicant through the SPC process to make further refinements to the proposal;
- Staff are also appreciative that the comments provided during the pre-application stage have been incorporated into the SPC drawings as appended to this memo.

### ***Zoning Preliminary Review***

- It is the understanding of Staff that a Zoning Preliminary Review (ZPR) has not been completed. Staff will encourage the applicant to complete a ZPR in order to understand where relief might be required from the zoning by-law. As Staff are supportive of the scale and massing of the rear addition, we anticipate supporting a future minor variance application should one be required.

## **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham has no objection from a heritage perspective to the Site Control Application at 7 Victoria Avenue to allow for a rear addition and new carport.

THAT and final review of the Site Plan Control application and any other development application required to approve the proposed development be delegated to Heritage Section staff.

AND THAT the applicant enter into a Site Plan Agreement with the City containing standard heritage conditions regarding materials, colours, windows etc.

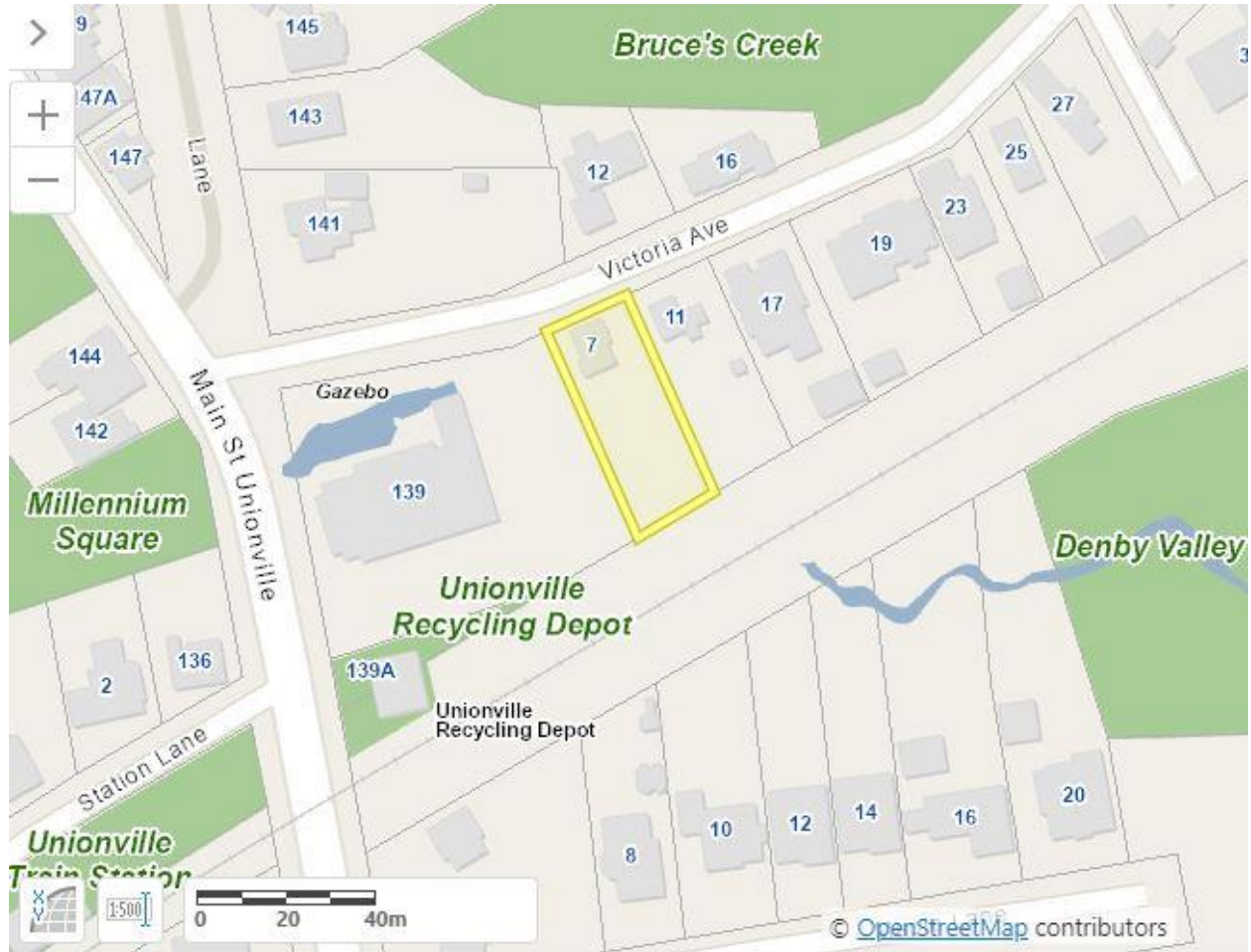
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ATTACHMENTS:

|              |                                                 |
|--------------|-------------------------------------------------|
| Appendix 'A' | Location Map                                    |
| Appendix 'B' | Image of the Subject Property                   |
| Appendix 'C' | Evaluation of the Proposal as per the UHCD Plan |
| Appendix 'D' | Architectural Drawings                          |

## Appendix 'A'

### Location Map



Property map showing the location of the subject property [outlined in yellow] (Source: City of Markham)

## **Appendix 'B'**

### *Image of the Subject Property*



*The north (primary) elevation of 7 the subject property (Source: Google)*

## Appendix ‘C’

### *Evaluation of the Proposal per the UHCD Plan*

#### **Unionville Heritage Conservation District Plan**

#### **Design Checklist – Additions to Heritage Buildings**

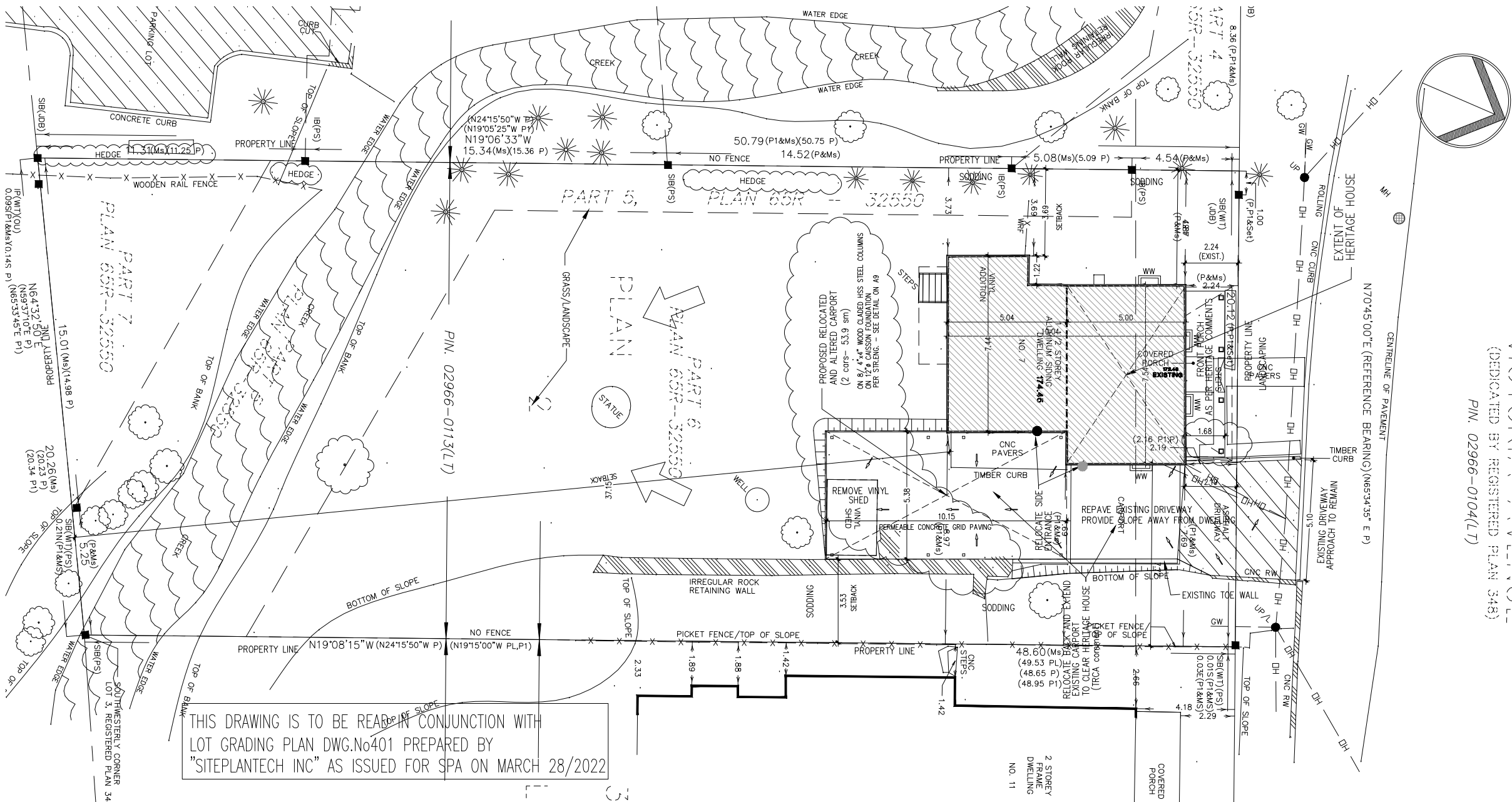
\* Unionville Heritage Conservation District Plan should be consulted for specific wording, if necessary

| <b>Policy (P) or Guideline (G)</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | <b>Review/ Comments on Specific Application</b>                                                                                                                                                                                                                |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>District Principles</b><br><b>3.1 Overall Goal</b><br>To ensure the retention and conservation of the District’s heritage resources and to guide change so that it contributes to and does not detract from the District’s architectural, historical and contextual character.<br><b>3.2.3 New Development Objective</b><br>-to encourage compatible infill construction that will enhance the District’s heritage character and complement to area’s village-like, human scale of development.<br>- to guide the design of new development to be sympathetic and compatible with the heritage resources and character of the District while providing for contemporary needs. | <ul style="list-style-type: none"> <li>The proposed development is compatible in form and scale with the heritage dwelling and does not detract from its prominence as viewed from public realm. As such, it is a sympathetic addition to the UHCD.</li> </ul> |
| <b>4.2.2 Additions to Heritage Buildings (P)</b><br>Additions should be consistent with the guidelines found in Section 9.3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <ul style="list-style-type: none"> <li>See responses below.</li> </ul>                                                                                                                                                                                         |
| <b>9.1 Streetscapes (G)</b><br>Streetscape elevations should be provided for each street that will be impacted by new development.<br>New development is not to overwhelm the streetscape but blend in/ re-enforce character                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <ul style="list-style-type: none"> <li>As the proposed addition is located at the rear of the heritage dwelling and is not visible from Victoria Street, a streetscape elevation drawing has not been requested by Staff.</li> </ul>                           |
| <b>9.3 Addition to Heritage Buildings (G)</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                |
| <b>9.3.1 Location</b><br>- attached exterior additions should be located at the rear or on an inconspicuous side<br>- additions to be limited in size and scale in relationship to the historic building                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | <ul style="list-style-type: none"> <li>As noted above, the addition is compatible in scale with the existing building and is located in an inconspicuous location.</li> </ul>                                                                                  |
| <b>9.3.2 Design – Building Form</b><br>- form of original building should be                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <ul style="list-style-type: none"> <li>The proposed addition does not detract from the legibility of the heritage</li> </ul>                                                                                                                                   |

|                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>considered</p> <ul style="list-style-type: none"> <li>- attached addition should not dominate the street presence nor detract from any important historical features</li> </ul>                                                                                                                                                                                                      | <p>dwelling as a distinct volume, and is compatible in scale. Further, it features a complementary roof profile.</p>                                                                                                                                                                                                                                                                                                                                                      |
| <p><b>9.3.3 Design – Scale</b></p> <ul style="list-style-type: none"> <li>- additions should reflect the scale of the existing heritage buildings</li> <li>- an addition should not be greater in scale than the existing building</li> <li>- larger additions can be reconfigured into smaller components</li> </ul>                                                                   | <ul style="list-style-type: none"> <li>• See the response above.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                               |
| <p><b>9.3.4 Design- Overall</b></p> <ul style="list-style-type: none"> <li>- additions should be constructed to have the least possible loss of historic materials/ and character defining features are not obscured</li> <li>- additions should be clearly differentiated from the historic building, but be compatible in terms of mass, materials, composition and colour</li> </ul> | <ul style="list-style-type: none"> <li>• It is the opinion of Staff that the proposed addition does not result in the loss of any significant historic material or character defining features, and that the rear addition can be made distinct from heritage fabric through variability in cladding treatment (i.e. colour). The restoration scope is also proposed to return the heritage-portion of the dwelling to a more historically-accurate condition.</li> </ul> |

**Appendix ‘D’**  
*Architectural Drawings*





THIS DRAWING IS TO BE READ IN CONJUNCTION WITH  
LOT GRADING PLAN DWG.No401 PREPARED BY  
"SITEPLANTECH INC" AS ISSUED FOR SPA ON MARCH 28/2022

#### SCOPE OF WORK

INTERIOR ALTERATIONS AND 2 STOREY ADDITION  
TO EXISTING 2 STOREY HOUSE  
RELOCATE EXISTING CARPORT  
NEW 3 CAR CARPORT IN BACKYARD

#### AREA OF ALTERATIONS

|              |           |
|--------------|-----------|
| BASEMENT     | 37.07 SM  |
| GROUND FLOOR | 73.58 SM  |
| SECOND FLOOR | 58.83 SM  |
| TOTAL        | 169.48 SM |

#### AREA OF ADDITION

|              |          |
|--------------|----------|
| GROUND FLOOR | 0.0 SM   |
| SECOND FLOOR | 14.75 SM |
| BASEMENT     | 0.0 SM   |
| TOTAL        | 14.75 SM |

#### USE OF BUILDING

EXISTING SINGLE FAMILY DETACHED

#### SITE STATISTICS

ZONING:  
CITY OF MARKHAM ZONING BY-LAW R(d0.6)  
122-72 AS AMENDED

|              |                 |
|--------------|-----------------|
| LOT AREA     | 1000.78 SM      |
| LOT DEPTH    | 48.65 M/50.79 M |
| LOT FRONTAGE | 20.12 M         |

|             |                |
|-------------|----------------|
| SETBACKS    |                |
| FRONT       | EXIST. 2.24 M  |
| REAR        | EXIST. 37.15 M |
| SIDE (EAST) | EXIST. 7.69 M  |
| SIDE (WEST) | EXIST. 3.69 M  |

| BUILDING AREAS | EXISTING  | PROPOSED           |
|----------------|-----------|--------------------|
| GROUND FLOOR   | 73.58 SM  | NO CHANGE 73.58 SM |
| SECOND FLOOR   | 58.83 SM  | 73.58 SM           |
| BASEMENT AREA  | 73.58 SM  | 73.58 SM           |
| TOTAL          | 168.92 SM | 220.74 SM          |

|                    | EXISTING                 | PROPOSED                                |
|--------------------|--------------------------|-----------------------------------------|
| LOT COVERAGE       | 80.38 SM 8%<br>incl shed | NO CHANGE 73.58 SM 7.4%<br>shed removed |
| FSI                | 168.92 SM 0.17           | 220.74 SM 0.22                          |
| BUILDING DEPTH     | NO CHANGE                | 10.04 M                                 |
| HEIGHT OF BUILDING |                          | 6.03 M                                  |

|            |           |          |
|------------|-----------|----------|
| FRONT YARD | NO CHANGE | EXISTING |
| REAR YARD  | NO CHANGE | EXISTING |

VICTORIA AVENUE  
(DEDICATED BY REGISTERED PLAN 348)  
PIN. 02966-0104(LT)

SPC 22 115592

K&K  
ARCHITECTS

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TORONTO, ON, M6L 2A3

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| DATE         | NO. | DESCRIPTION                                                                                   | BY       |
|--------------|-----|-----------------------------------------------------------------------------------------------|----------|
| MAY.19.2022  | 9   | FORMATED AS PER COMMENTS                                                                      | ID LINEA |
| APR.01.2022  | 8   | COORDINATED WITH LOT GRADING PLAN<br>ISSUED FOR SITE PLAN CONTROL                             | ID LINEA |
| DEC.27.2021  | 7   | REVISED AS PER PRE-CONSULTATION<br>MEETING COMMENTS                                           | ID LINEA |
| SEPT.29.2021 | 6   | REVISED AS PER TRCA FINAL COMMENTS<br>ISSUED FOR SPA PRE-CONSULTATION                         | ID LINEA |
| JUL.14.2021  | 5   | EXISTING CARPORT RELOCATED<br>NEW CARPORT PROPOSED<br>AS BUBBLED<br>RE-ISSUED FOR TRCA REVIEW | ID LINEA |
| MAR.14.2020  | 4   | REVISED AS PER COMMENTS AND<br>RE-ISSUED FOR TRCA REVIEW                                      | ID LINEA |
| OCT.14.2019  | 3   | ISSUED TO TRCA FOR REVIEW                                                                     | ID LINEA |
| MAY.21.2019  | 2   | REVISED AS PER HERITAGE COMMENTS                                                              | ID LINEA |
| FEB.24.2019  | 1   | PRELIMINARY ISSUE                                                                             | ID LINEA |

ALTERATIONS AND ADDITION  
TO EXISTING  
2 STOREY DWELLING  
7 VICTORIA AVE.  
MARKHAM, ONTARIO

PROPOSED SITE PLAN

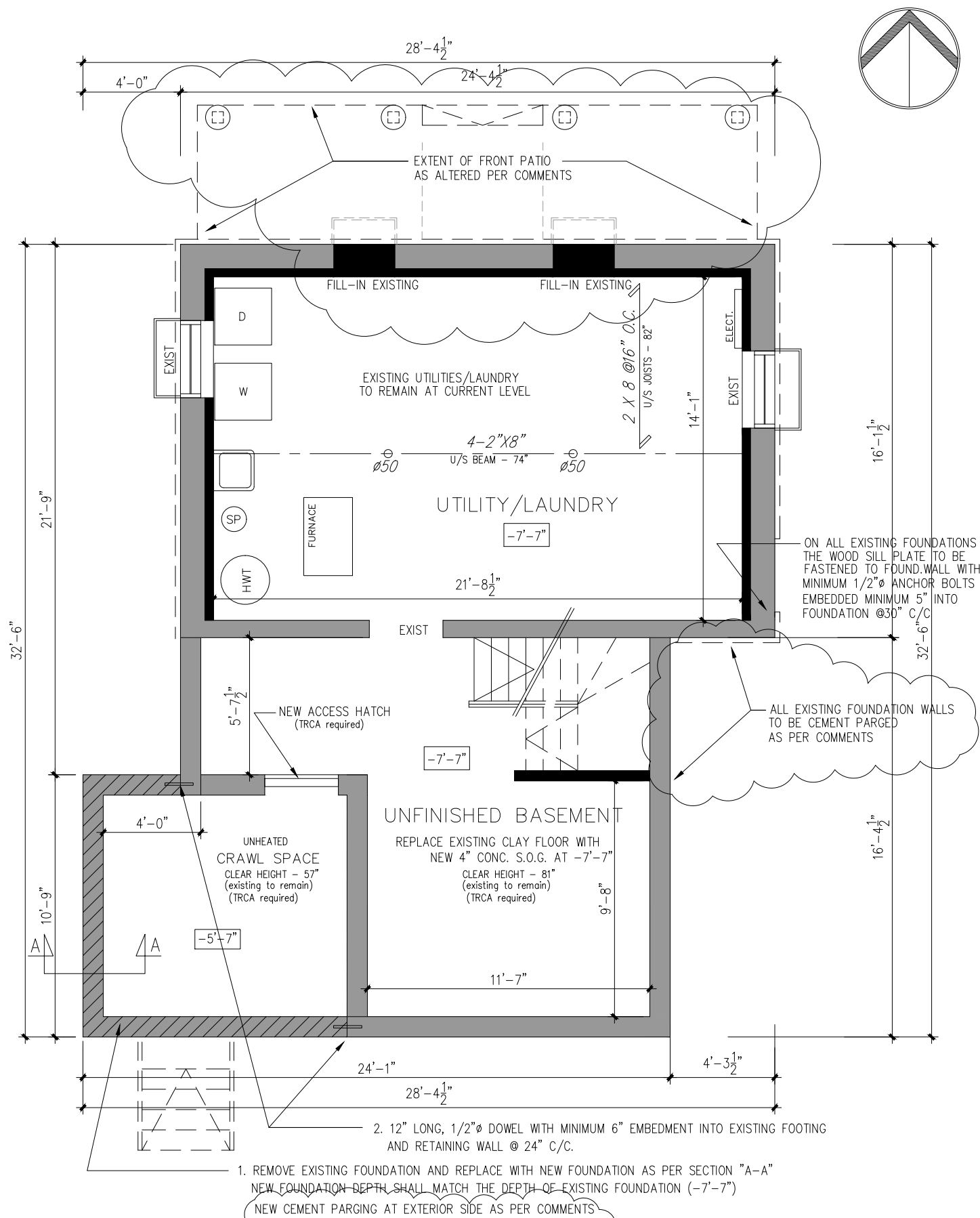
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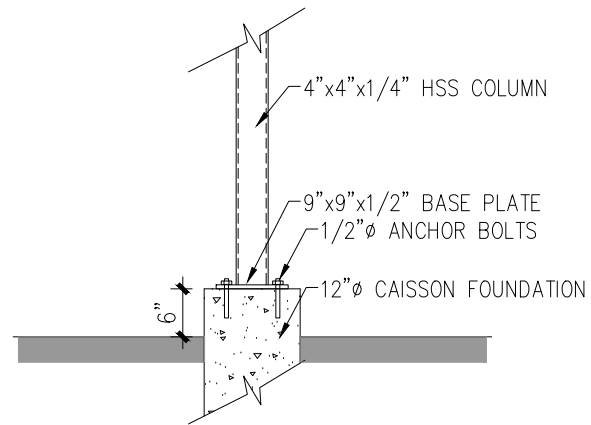
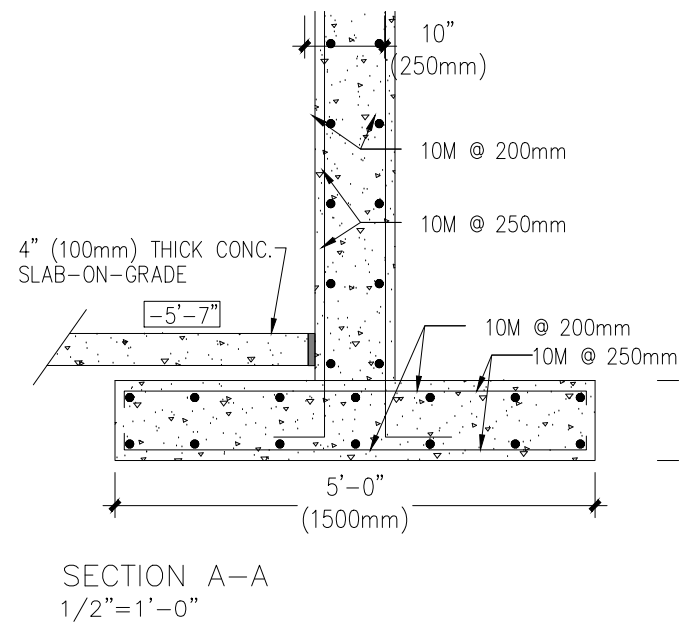
DATE JULY 2018



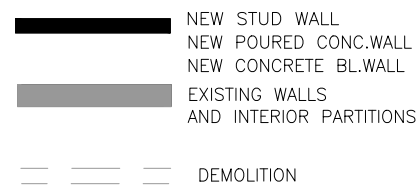
A1.0



BASEMENT FLOOR PLAN  
3/16"=1'-0"



## WALL LEGEND



SPC 22 115592

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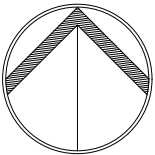
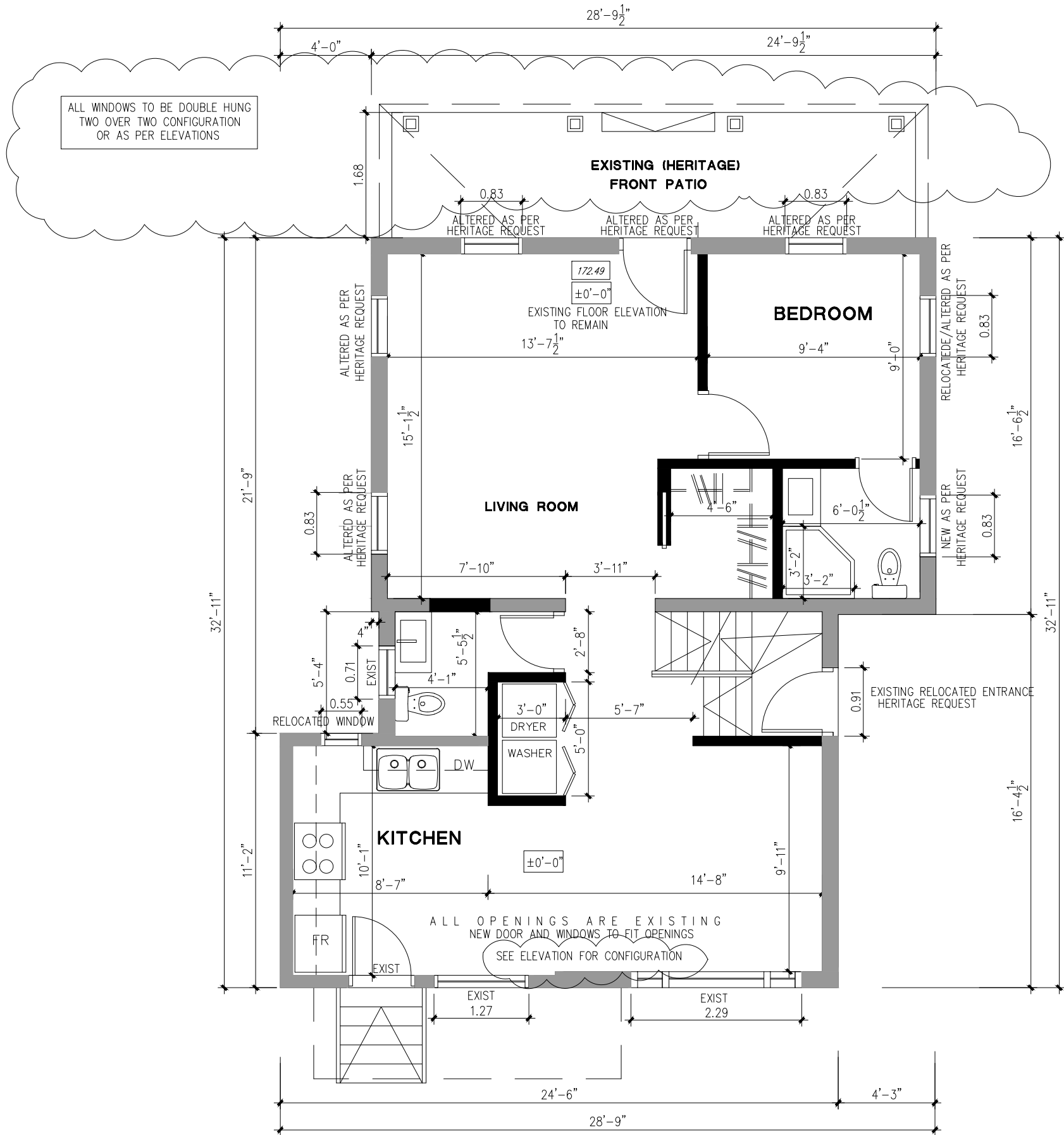
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| DEC.27.2021  | 10  | REVISED AS PER PRE-CONSULTATION MEETING COMMENTS ISSUED FOR SITE PLAN CONTROL | ID LINEA |
| SEPT.29.2021 | 9   | REVISED AS PER TRCA FINAL COMMENTS ISSUED FOR SPA PRE-CONSULTATION            | ID LINEA |
| AUG.10.2011  | 8   | REVISED AS PER HERITARE                                                       | ID LINEA |
| JUL.14.2021  | 7   | STRUCT.INFO ADDED                                                             | ID LINEA |
| MAR.16.2020  | 6   | REVISED AS PER COMMENTS RE-ISSUED TO TRCA FOR REVIEW                          | ID LINEA |
| OCT.14.2019  | 4   | ISSUED TO TRCA FOR REVIEW                                                     | ID LINEA |
| MAY.12.2019  | 4   | REVISED AS PER HERITAGE COMMENTS                                              | ID LINEA |
| DEC.27.2018  | 3   | REVISED AS PER HERITAGE COMMENTS                                              | ID LINEA |
| DEC.10.2018  | 2   | REVISED AND REISSUED                                                          | ID LINEA |
| NOV.10.2018  | 1   | PRELIMINARY ISSUE                                                             | ID LINEA |
| DATE         | NO. | DESCRIPTION                                                                   | BY       |

ALTERATIONS AND 2nd ONLY STOREY  
PARTIAL ADDITION TO EXISTING  
2 STOREY DWELLING  
7 VICTORIA AVE.  
MARKHAM, ONTARIO

PROPOSED  
BASEMENT FLOOR PLAN  
STR.DETAILS

SCALE AS SHOWN  
DRAWN ID LINEA  
DATE JULY 2018

A4.1



WALL LEGEND

- NEW STUD WALL
- NEW POURED CONC.WALL
- NEW CONCRETE BL.WALL
- EXISTING WALLS AND INTERIOR PARTITIONS
- DEMOLITION



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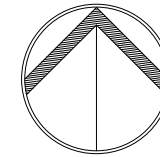
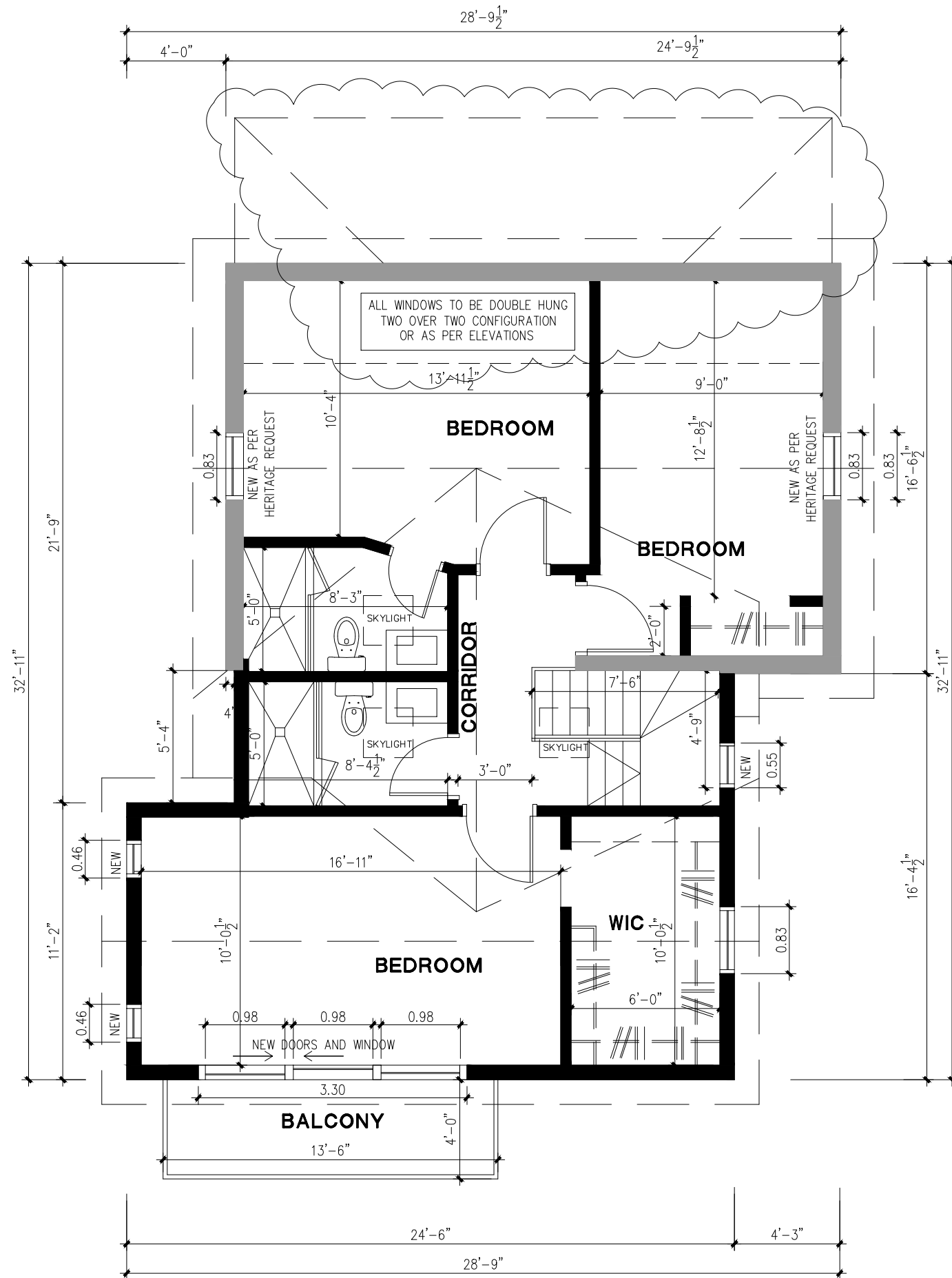
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| AUG.10.2011  | 7   | REVISED AS PER HERITARE                                                       | ID LINEA |
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| NOV.10.2018  | 1   | PRELIMINARY ISSUE                                                             | ID LINEA |
| DATE         | NO. | DESCRIPTION                                                                   | BY       |

ALTERATIONS AND 2nd ONLY STOREY  
PARTIAL ADDITION TO EXISTING  
2 STOREY DWELLING  
7 VICTORIA AVE.  
MARKHAM, ONTARIO

PROPOSED  
MAIN FLOOR PLAN  
SCALE 3/16"=1'-0"  
DRAWN ID LINEA  
DATE JULY 2018

A4.2



## WALL LEGEND

- NEW STUD WALL
- NEW POURED CONC.WALL
- NEW CONCRETE BL.WALL
- EXISTING WALLS AND INTERIOR PARTITIONS
- DEMOLITION



SPC 22 115592

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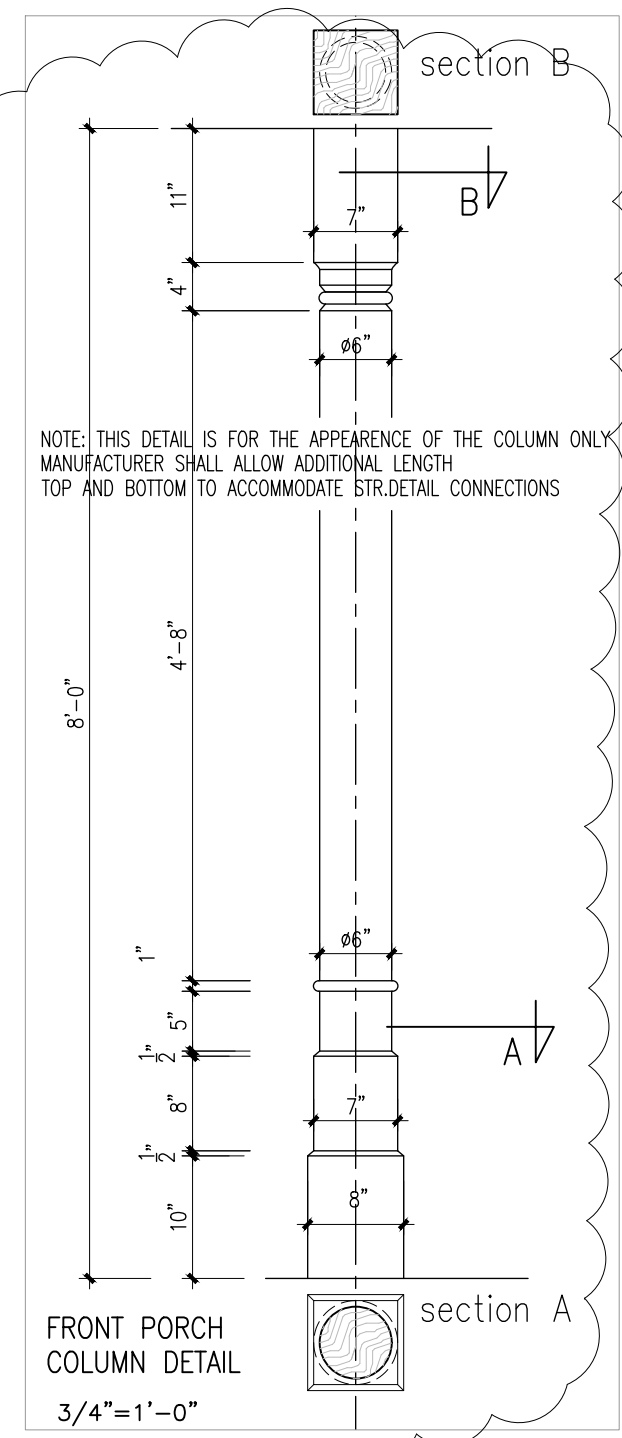
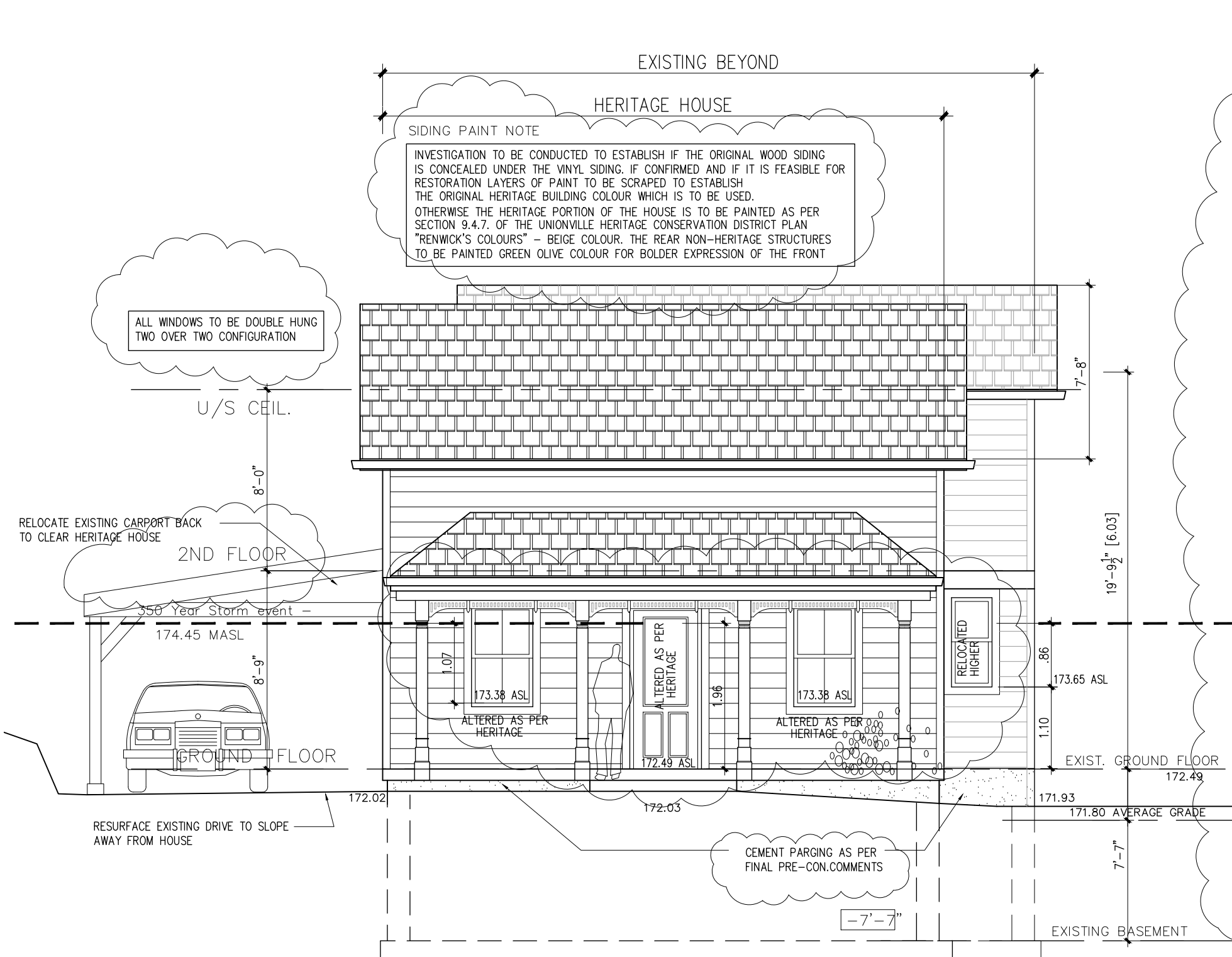
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| AUG.10.2011  | 7   | REVISED AS PER HERITARE                                                       | ID LINEA |
| DATE         | NO. | DESCRIPTION                                                                   | BY       |

ALTERATIONS AND 2nd ONLY STOREY  
PARTIAL ADDITION TO EXISTING  
2 STOREY DWELLING  
7 VICTORIA AVE.  
MARKHAM, ONTARIO

PROPOSED  
SECOND FLOOR PLAN

SCALE 3/16"=1'-0"  
DRAWN ID LINEA  
DATE JULY 2018

A4.3



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| DATE         | NO. | DESCRIPTION                                                                   | BY       |

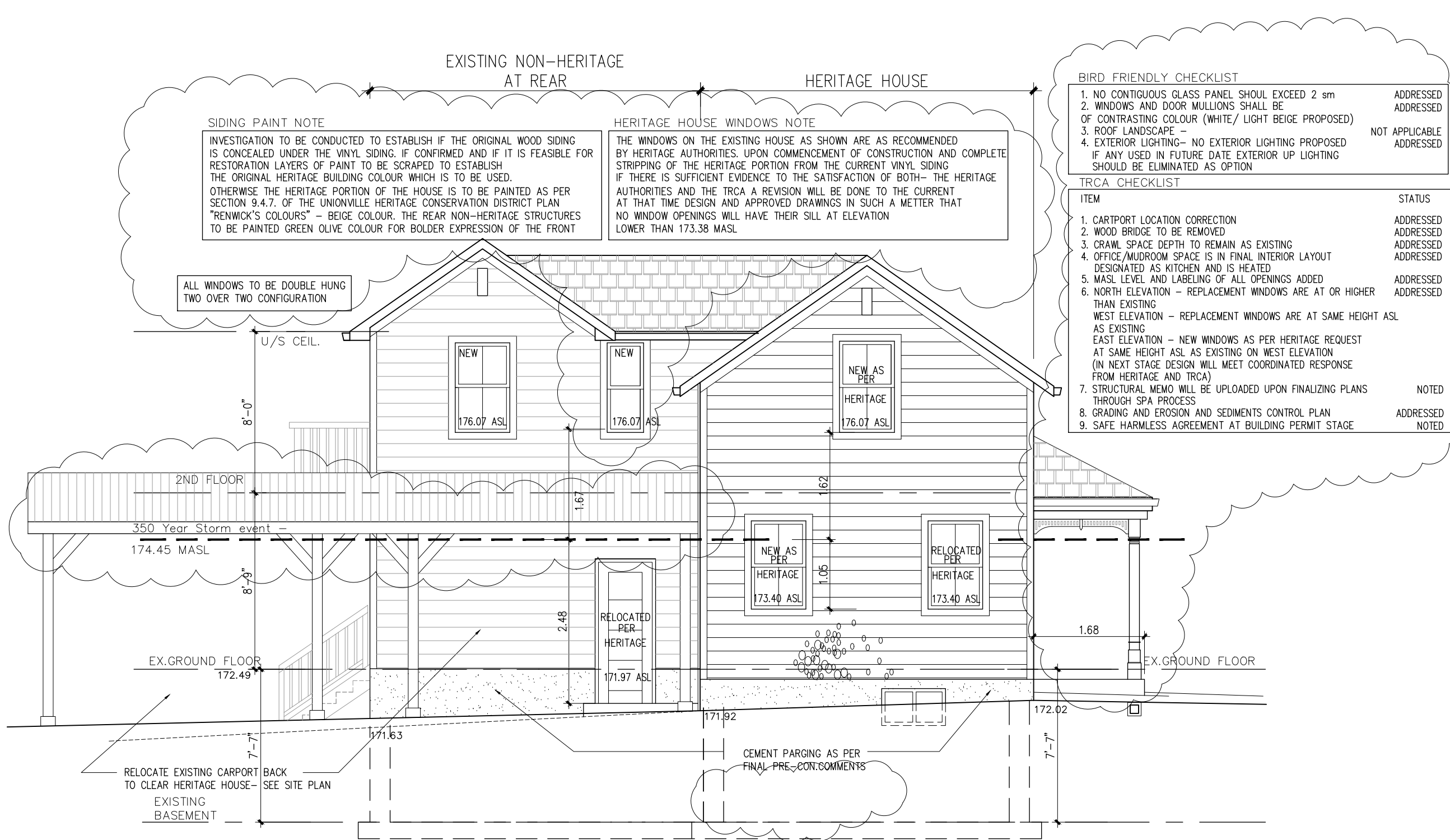
ALTERATIONS AND 2nd ONLY STOREY  
PARTIAL ADDITION TO EXISTING  
2 STOREY DWELLING  
7 VICTORIA AVE.  
MARKHAM, ONTARIO

PROPOSED  
NORTH ELEVATION  
FRONT PORCH COLUMN DETAIL

SCALE 3/16"=1'-0"  
DRAWN ID LINEA  
DATE JULY 2018



A5.1



| BIRD FRIENDLY CHECKLIST                                                                                                                                                                                                                                                                                                            |                |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|
| 1. NO CONTIGUOUS GLASS PANEL SHOULD EXCEED 2 m                                                                                                                                                                                                                                                                                     | ADDRESSED      |
| 2. WINDOWS AND DOOR MULLIONS SHALL BE OF CONTRASTING COLOUR (WHITE/ LIGHT BEIGE PROPOSED)                                                                                                                                                                                                                                          | ADDRESSED      |
| 3. ROOF LANDSCAPE -                                                                                                                                                                                                                                                                                                                | NOT APPLICABLE |
| 4. EXTERIOR LIGHTING- NO EXTERIOR LIGHTING PROPOSED IF ANY USED IN FUTURE DATE EXTERIOR UP LIGHTING SHOULD BE ELIMINATED AS OPTION                                                                                                                                                                                                 | ADDRESSED      |
| TRCA CHECKLIST                                                                                                                                                                                                                                                                                                                     |                |
| ITEM                                                                                                                                                                                                                                                                                                                               | STATUS         |
| 1. CARPORT LOCATION CORRECTION                                                                                                                                                                                                                                                                                                     | ADDRESSED      |
| 2. WOOD BRIDGE TO BE REMOVED                                                                                                                                                                                                                                                                                                       | ADDRESSED      |
| 3. CRAWL SPACE DEPTH TO REMAIN AS EXISTING                                                                                                                                                                                                                                                                                         | ADDRESSED      |
| 4. OFFICE/MUDROOM SPACE IS IN FINAL INTERIOR LAYOUT DESIGNATED AS KITCHEN AND IS HEATED                                                                                                                                                                                                                                            | ADDRESSED      |
| 5. MASL LEVEL AND LABELING OF ALL OPENINGS ADDED                                                                                                                                                                                                                                                                                   | ADDRESSED      |
| 6. NORTH ELEVATION - REPLACEMENT WINDOWS ARE AT OR HIGHER THAN EXISTING WEST ELEVATION - REPLACEMENT WINDOWS ARE AT SAME HEIGHT ASL AS EXISTING EAST ELEVATION - NEW WINDOWS AS PER HERITAGE REQUEST AT SAME HEIGHT ASL AS EXISTING ON WEST ELEVATION (IN NEXT STAGE DESIGN WILL MEET COORDINATED RESPONSE FROM HERITAGE AND TRCA) | ADDRESSED      |
| 7. STRUCTURAL MEMO WILL BE UPLOADED UPON FINALIZING PLANS THROUGH SPA PROCESS                                                                                                                                                                                                                                                      | NOTED          |
| 8. GRADING AND EROSION AND SEDIMENTS CONTROL PLAN                                                                                                                                                                                                                                                                                  | ADDRESSED      |
| 9. SAFE HARMLESS AGREEMENT AT BUILDING PERMIT STAGE                                                                                                                                                                                                                                                                                | NOTED          |

SPC 22 115592



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INFO@KK-ARCH.COM

| MAY.19.2022  | 11  | FORMATED/REVISED AS PER COMMENTS                                                                    | ID LINEA |
|--------------|-----|-----------------------------------------------------------------------------------------------------|----------|
| DEC.27.2021  | 10  | REVISED AS PER PRE-CONSULTATION MEETING COMMENTS ISSUED FOR SITE PLAN CONTROL                       | ID LINEA |
| SEPT.29.2021 | 9   | REVISED AS PER TRCA FINAL COMMENTS ISSUED FOR SPA PRE-CONSULTATION                                  | ID LINEA |
| AUG.10.2011  | 8   | REVISED AS PER HERITAGE                                                                             | ID LINEA |
| JUL.05.2021  | 7   | REVISED AS PER CLIENT'S REQUEST WIC WINDOW HEIGHT INCREASED AS BUBBLED RE-ISSUED TO TRCA FOR REVIEW | ID LINEA |
| MAR.16.2020  | 6   | REVISED AS PER COMMENTS RE-ISSUED TO TRCA FOR REVIEW                                                | ID LINEA |
| OCT.14.2019  | 5   | ISSUED TO TRCA FOR REVIEW                                                                           | ID LINEA |
| MAY.12.2019  | 4   | REVISED AS PER HERITAGE COMMENTS                                                                    | ID LINEA |
| DEC.27.2018  | 3   | REVISED AS PER HERITAGE COMMENTS                                                                    | ID LINEA |
| DEC.10.2018  | 2   | REVISED AND REISSUED                                                                                | ID LINEA |
| NOV.10.2018  | 1   | PRELIMINARY ISSUE                                                                                   | ID LINEA |
| DATE         | NO. | DESCRIPTION                                                                                         | BY       |

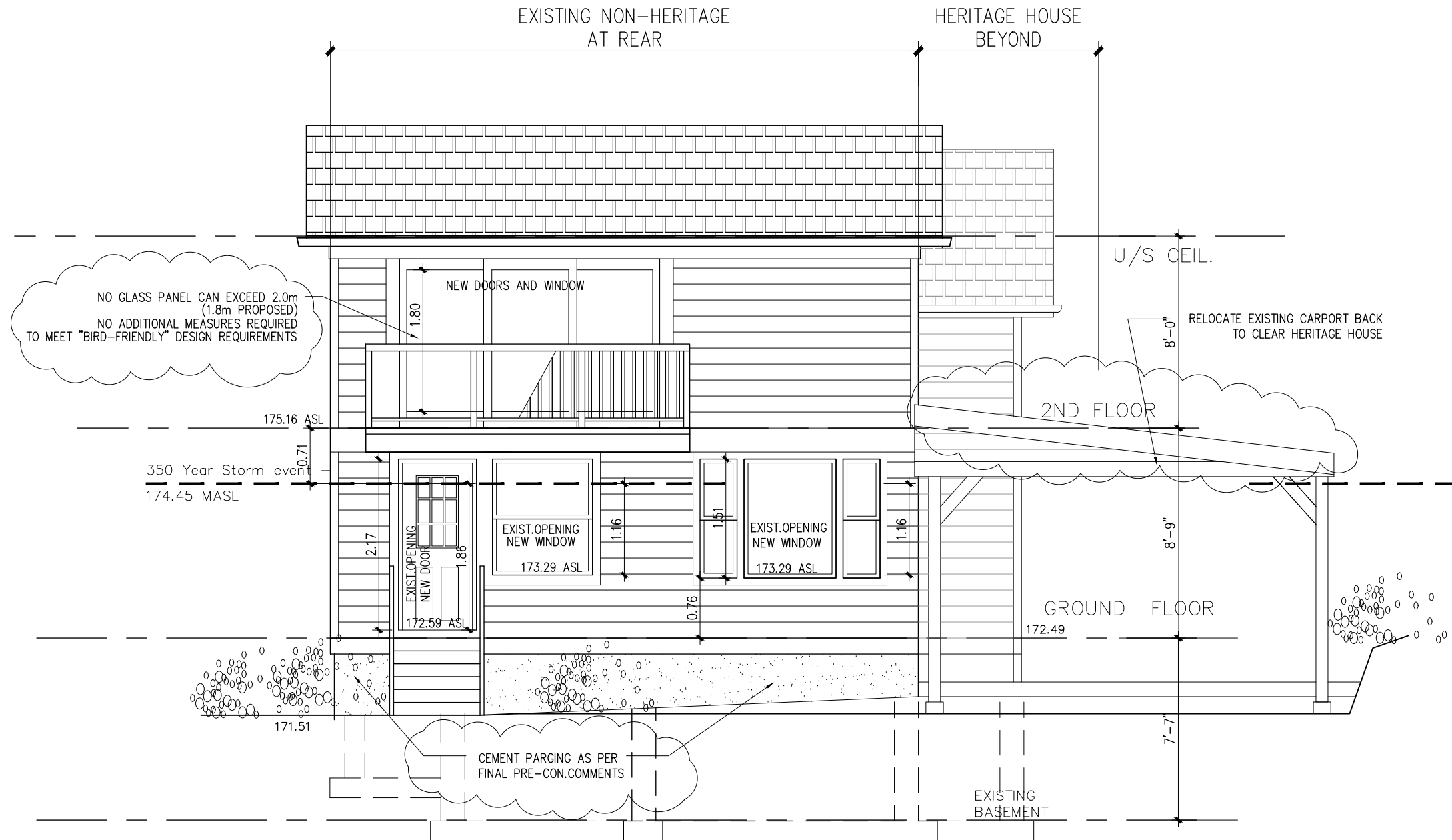
ALTERATIONS AND 2nd ONLY STOREY  
PARTIAL ADDITION TO EXISTING  
2 STOREY DWELLING  
7 VICTORIA AVE.  
MARKHAM, ONTARIO

|                   |
|-------------------|
| PROPOSED          |
| EAST ELEVATION    |
| SCALE 3/16"=1'-0" |
| DRAWN ID LINEA    |
| DATE JULY 2018    |



A5.2





SPC 22 115592

**K&K ARCHITECTS**  
 T. 416.247.9369  
 F. 416.249.8178  
 50 MANGROVE ROAD,  
 TORONTO, ON, M6L 2A3  
 WWW.KK-ARCH.COM INFO@KK-ARCH.COM

| MAY.19.2022  | 10  | FORMATED/REVISED AS PER COMMENTS                                              | ID LINEA |
|--------------|-----|-------------------------------------------------------------------------------|----------|
| DEC.27.2021  | 9   | REVISED AS PER PRE-CONSULTATION MEETING COMMENTS ISSUED FOR SITE PLAN CONTROL | ID LINEA |
| SEPT.29.2021 | 8   | REVISED AS PER TRCA FINAL COMMENTS ISSUED FOR SPA PRE-CONSULTATION            | ID LINEA |
| AUG.10.2021  | 7   | REVISED AS PER HERITAGE                                                       | ID LINEA |
| MAR.16.2020  | 6   | REVISED AS PER COMMENTS RE-ISSUED TO TRCA FOR REVIEW                          | ID LINEA |
| OCT.14.2019  | 4   | ISSUED TO TRCA FOR REVIEW                                                     | ID LINEA |
| MAY.12.2019  | 4   | REVISED AS PER HERITAGE COMMENTS                                              | ID LINEA |
| DEC.27.2018  | 3   | REVISED AS PER HERITAGE COMMENTS                                              | ID LINEA |
| DEC.10.2018  | 2   | REVISED AND REISSUED                                                          | ID LINEA |
| NOV.10.2018  | 1   | PRELIMINARY ISSUE                                                             | ID LINEA |
| DATE         | NO. | DESCRIPTION                                                                   | BY       |

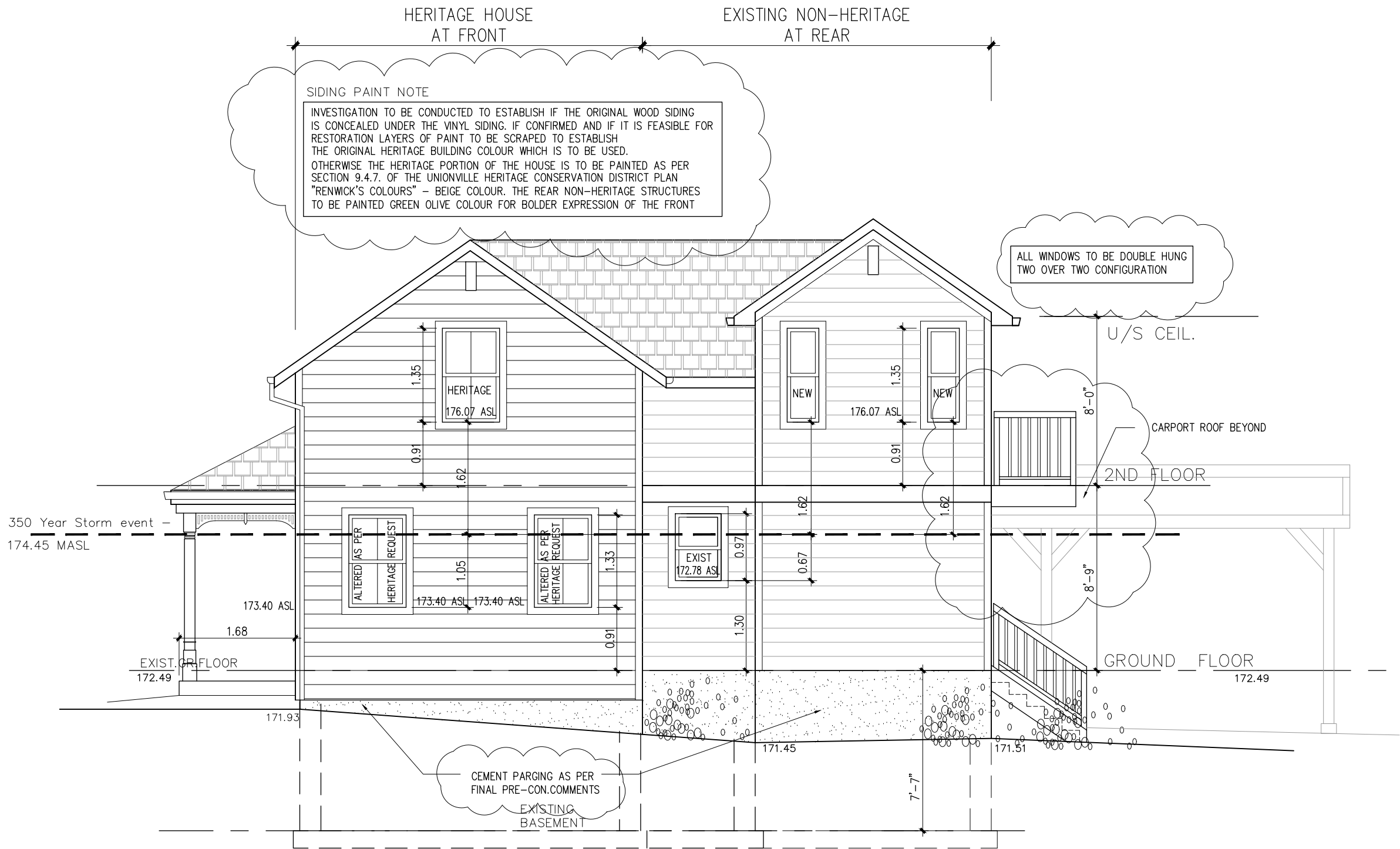
ALTERATIONS AND 2nd ONLY STOREY  
 PARTIAL ADDITION TO EXISTING  
 2 STOREY DWELLING  
 7 VICTORIA AVE.  
 MARKHAM, ONTARIO

PROPOSED

SOUTH ELEVATION

SCALE 3/16"=1'-0"  
 DRAWN ID LINEA  
 DATE JULY 2018





SPC 22 115592

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|              |     |                                                                        |          |
|--------------|-----|------------------------------------------------------------------------|----------|
| MAY.19.2022  | 11  | FORMATED/REVISED AS PER COMMENTS                                       | ID LINEA |
| DEC.27.2021  | 10  | REVISED AS PER PRE-CONSULTATION MEETING COMMENTS                       | ID LINEA |
| SEPT.29.2021 | 9   | ISSUED FOR SITE PLAN CONTROL                                           | ID LINEA |
| AUG.10.2011  | 8   | REVISED AS PER TRCA FINAL COMMENTS                                     | ID LINEA |
| JUL.05.2021  | 7   | ISSUED FOR SPA PRE-CONSULTATION                                        | ID LINEA |
| MAR.16.2020  | 6   | REVISED AS PER HERITAGE REQUEST WIC WINDOW HEIGHT INCREASED AS BUBBLED | ID LINEA |
| OCT.14.2019  | 5   | RE-ISSUED TO TRCA FOR REVIEW                                           | ID LINEA |
| MAY.12.2019  | 4   | REVISED AS PER COMMENTS                                                | ID LINEA |
| DEC.27.2018  | 3   | RE-ISSUED TO TRCA FOR REVIEW                                           | ID LINEA |
| DEC.10.2018  | 2   | REVISED AS PER HERITAGE COMMENTS                                       | ID LINEA |
| NOV.10.2018  | 1   | REVISED AND REISSUED                                                   | ID LINEA |
|              |     | PRELIMINARY ISSUE                                                      | ID LINEA |
| DATE         | NO. | DESCRIPTION                                                            | BY       |

ALTERATIONS AND 2nd ONLY STOREY  
PARTIAL ADDITION TO EXISTING  
2 STOREY DWELLING  
7 VICTORIA AVE.  
MARKHAM, ONTARIO

PROPOSED  
WEST ELEVATION  
SCALE 3/16"=1'-0"  
DRAWN ID LINEA  
DATE JULY 2018



A5.4