



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Evan Manning, Senior Heritage Planner

**DATE:** October 12, 2022

**SUBJECT:** Committee of Adjustment Variance Application  
26 Peter Street North, Markham Village  
A/181/22

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**Property/Building Description:** One-storey detached dwelling constructed in 1955 as per MPAC records.

**Use:** Residential

**Heritage Status:** Designated under Part V of the *Ontario Heritage Act* as constituent property of the Markham Village Heritage Conservation District.

### **Application/Proposal**

- The City has received a Committee of Adjustment application seeking a variance to facilitate the construction of a carport attached to the south elevation of 26 Peter Street North (the “subject property” or the “property”).

### **Requested Variances to the Zoning By-laws**

The applicant requires the following relief from By-law 1229, as amended, to permit:

#### **a) By-law 1229, Table 11.1:**

A side yard setback of one foot, whereas the By-law permits a maximum side yard setback of four feet.

### **Background**

#### *Area Context*

- The subject property is located on the west side of Peter Street to the north of Springdale Street. The area is characterized by low-rise detached dwellings that have a mixture of attached and detached garages.

## **Heritage Policy and Land Use**

### ***Markham Village Heritage Conservation District Plan***

#### ***Property Classification***

- The subject property is contained within the Markham Village Heritage Conservation District (MVHCD), and is identified as a Type ‘C’ property within the MVHCD Plan, as amended. As per Section 3.2 (“Building Classification”) of the MVHCD Plan, Type ‘C’ properties possess the following characteristics:
  - *These buildings do not relate to the historical character.*
  - *They do not reinforce the historical character.*
  - *Any redevelopment on a lot with this designation will be subject to*
  - *the policies set out herein and handled in the same manner as a NEW BUILDING.*
- The property adjacent to the proposed carport (24 Peter Street) is identified as a Type ‘A’ property within the MVHCD Plan.

#### ***Building Policy***

- Section 4.2.2 (“Residential: Setback & Siting”) of the MVHCD Plan provides the following direction relevant to the proposal:
  - 3. New buildings and their site features such as garages, fences, etc. should correspond and complement buildings on adjacent properties unless the adjacent structures are non-conforming;*
  - 4. Site features such as garages, parking, etc. should be inconspicuous and preferably separate from the "public face" of the building. Historically such items were located in the service areas such as rear and side yards.*

## **Staff Comment**

#### ***Proposed Carport***

- Staff have no objection to the variance requested for the carport as it is not visually obtrusive due to being a semi-enclosed structure and is in keeping with the architectural character of the mid-century dwelling. Staff are also of the opinion that the reduced side yard setback required to construct the carport will not have an adverse impact on the abutting property at 24 Peter Street;
- The neighbouring property owner has also provided a letter in support of the requested variance (See Appendix D).

#### ***Next Steps***

- Given its relatively small scale at approximately 16 square metres, the heritage approvals process for the proposed carport will be either consist of a mixture of minor site plan and building permit review, or building permit review exclusively. The nature of the approvals path in this instance is at the discretion of the Manager of Heritage Planning, and has not yet been determined;

- At this time, no further applications have been submitted for the subject property as it is assumed that the applicant wishes to secure approval from the Committee of Adjustment prior to proceeding. Any future application will be subject to Staff review to ensure conformance to the policies and guidelines of the MVHCD Plan. In advance of Staff review of a future application, the Committee may wish to offer design suggestions based on the conceptual drawings appended to this memo.

### **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham has no objection from a heritage perspective to the requested variance to permit the proposed carport;

AND THAT review of any application required to approve the proposed development be delegated to Heritage Section staff to ensure conformance to the MVHCD Plan.

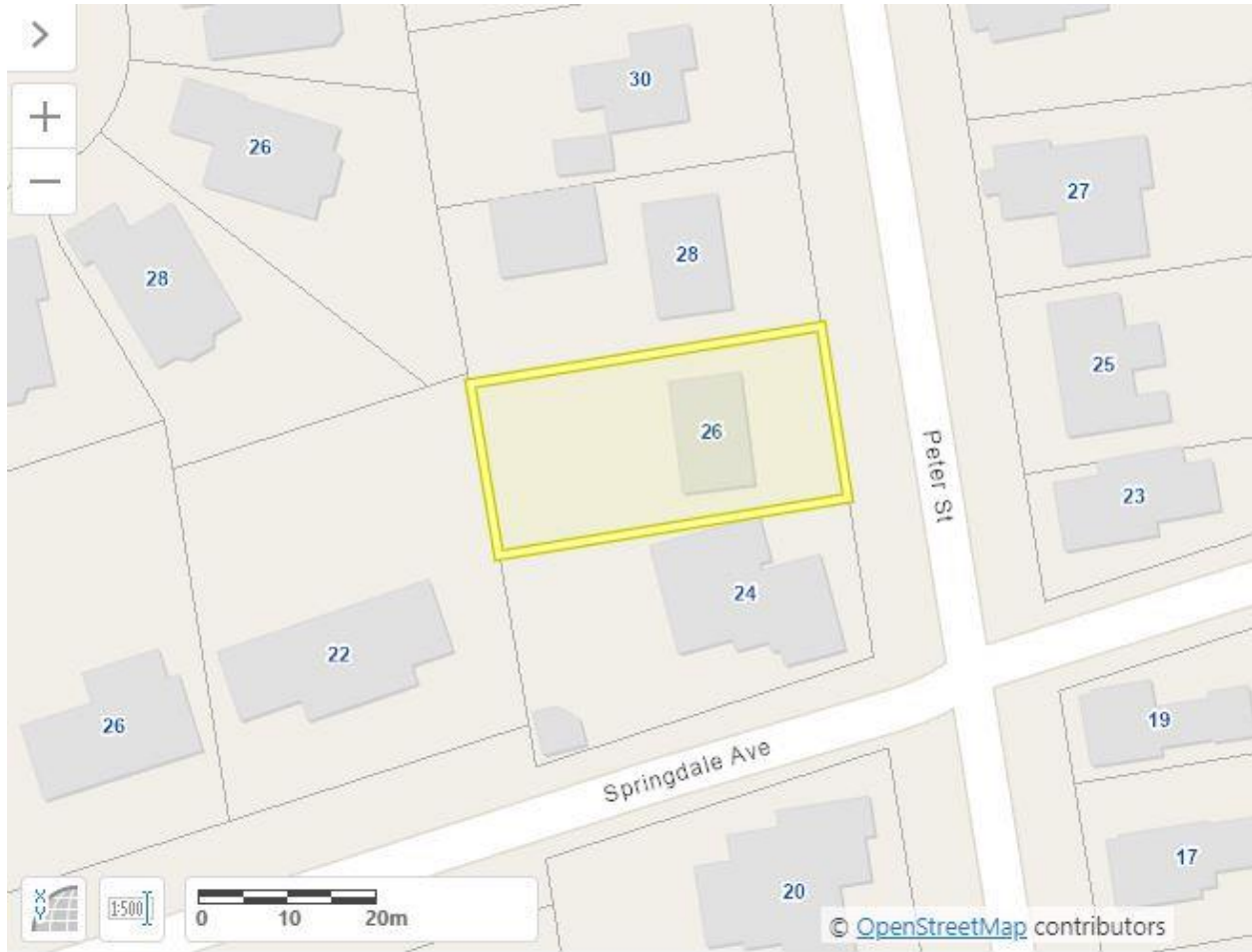
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#### **ATTACHMENTS:**

Appendix 'A'	Location Map
Appendix 'B'	Image of the Subject Property
Appendix 'C'	Drawings
Appendix 'D'	Letter of Support from Neighbour at 24 Peter Street

## Appendix 'A'

### Location Map



*Property map showing the location of the subject property [outlined in yellow] (Source: City of Markham)*

## Appendix 'B'

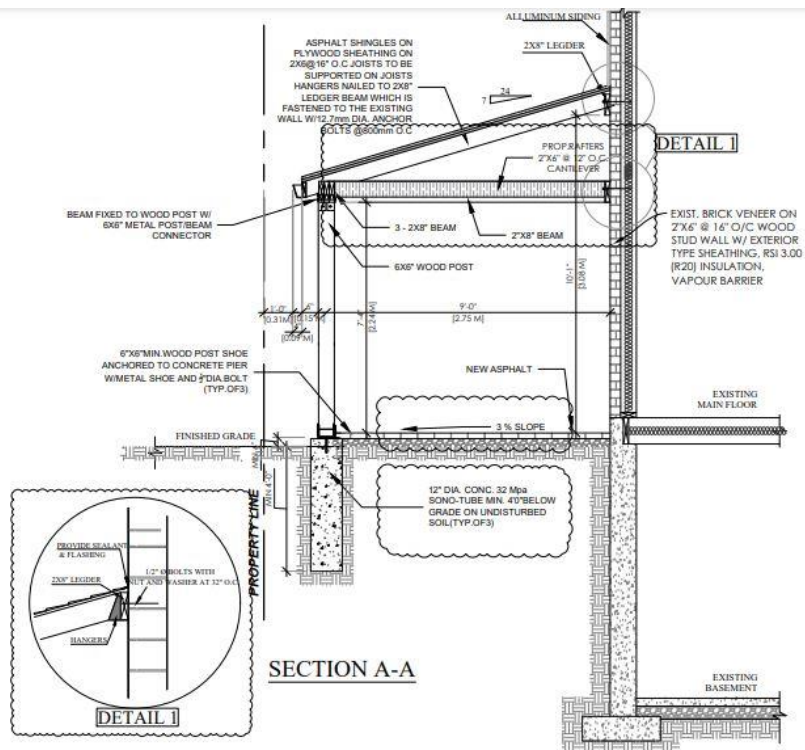
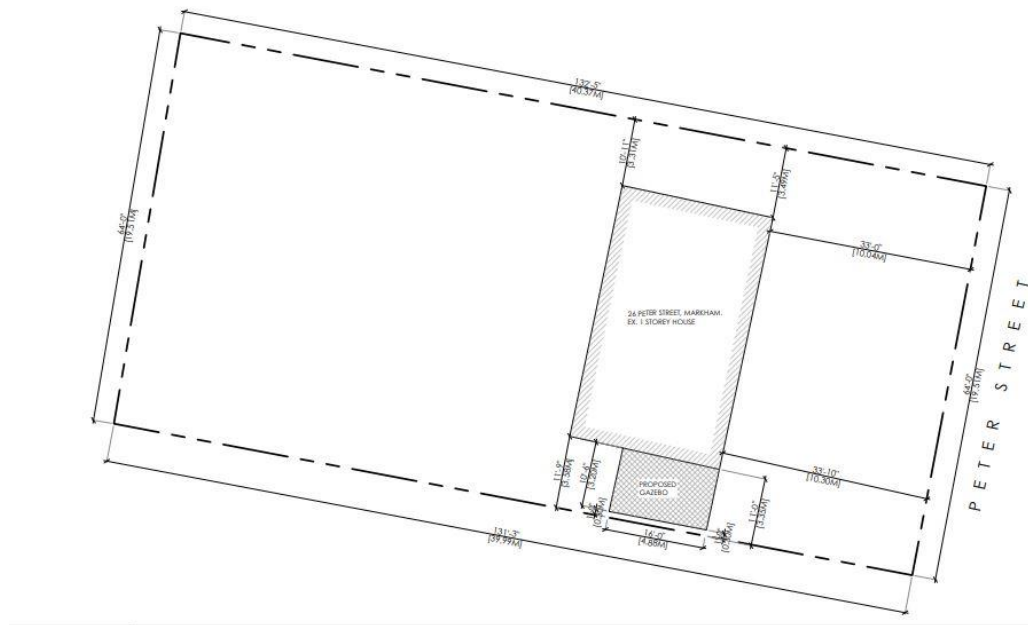
### *Image of the Subject Property*



*The east (primary) elevation of 26 Peter Street on the right (Source: Google)*

## Appendix 'C'

### *Drawings*



*Proposed site plan (above) and section drawings of the proposed carport (below)*  
(Source: Applicant)

## **Appendix 'D'**


### *Letter of Support from Neighbour at 24 Peter Street*

September 24, 2022

Peter Wokral  
Heritage Committee  
Markham, Ontario

We are the neighbours of Patricia Conlon, Tim and Moira Rooney. We live in the residence to the south of her at 24 Peter Street in Markham. This letter is in support of her variance request for a sideyard setback of one foot for the erection of a proposed carport. We understand that the existing by-law allows for a current setback of four feet, however, we have no objection to her request.

Sincerely,

  
416-400-1985