



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Peter Wokral, Senior Heritage Planner

**DATE:** October 12, 2022

**SUBJECT:** Site Plan Control Application  
25 Victoria Ave, Unionville Heritage Conservation District  
Proposed Rear Addition to an Existing Heritage Dwelling  
SPC 22 116892

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**Property/Building Description:** 1-1/2 Storey Frame Heritage Dwelling constructed circa 1896

**Use:** Residential

**Heritage Status:** Designated under Part V of the Ontario Heritage Act and identified as a Type 'A' building or buildings that define the heritage character of the district.

### **Application/Proposal**

The applicant proposes to construct a new foundation for the existing heritage house, demolish the one storey historic rear tail of the existing heritage dwelling in order to construct a 2,126 ft<sup>2</sup> (197.5m<sup>2</sup>) two storey addition, and a new front veranda, and to construct a one storey detached garage in the rear yard.

### **Background**

- In July of 2022, the Committee of Adjustment approved the following variances in support of the accompanying site plan application:
  - a front yard setback of 5 feet 2 inches to the front covered porch, whereas the By-law requires 25 feet;
  - a maximum lot coverage of 34.5 percent, whereas the By-law permits a maximum lot coverage of 33.3 percent;
  - a rear concrete deck without cellar below to project 3.66 metres, whereas the By-law permits a maximum projection of 3.0 metres; and
  - window openings at an elevation of 174.7 metres, whereas the bylaw requires an elevation of 174.8 metres.

- Although Heritage Markham had no objections to the requested variances, the Committee was not aware of the proposed new foundation for the heritage house and made the following recommendations regarding the site plan application (See attached Heritage Markham Extract from June 2022):
  - That the existing front porch be retained in its existing form instead of the proposed front veranda;
  - That the design of the proposed addition be revised to better reflect the architectural form and simple massing of the existing heritage dwelling;
  - That the drawings be annotated to identify materials, heritage features to be retained and new materials;
  - That the elevations for the proposed garage be submitted for review;
  - That the underlying historic siding be revealed and restored, and that any modern replacement windows be replaced with new historically authentic windows,
  - That the large Norway Maple tree located on the property to the east be preserved; and
  - That the revised submission return to Heritage Markham for review.

### **Staff Comment**

- New Foundation:
  - Staff has no objection to a new foundation being constructed for the heritage house provided that the exposed portions of the foundation are clad in a granite fieldstone reflecting the historic coursing veneer having the same coursing as the original foundation;
- Revised Drawing – Addition:
  - The applicant has made a revision to the proposed west elevation to simplify the massing of the proposed addition. Staff is satisfied that the current design is compatible with the existing heritage dwelling based upon completed additions to heritage dwellings on similar designs by the same designer;
- Detached Garage:
  - Staff has no objections to the proposed elevations of the detached rear yard garage ;
  - Urban Design staff has expressed concern regarding the placement of the garage and its impact on adjacent trees.
- Front Veranda versus Existing Porch:
  - Staff continues to not support the proposed full width veranda and recommends that the north elevation be revised to reflect the existing front porch. Should the removal of later claddings reveal a scar of a different historic veranda or porch, an alternate design may be considered, but the existing porch has been on the house for at least 50 years and appears from existing details to be either authentic or makes use of salvaged 19<sup>th</sup> century material;
- East Property Boundary Tree:
  - The applicant has obtained the neighbours consent to remove the shared Norway Maple on the east property boundary and the City's Urban Design Section has no objections to its removal;

## **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham has no objection to placing the heritage portion of the house on a new foundation provided that the exposed portions of the foundation are clad in a granite fieldstone veneer replicating the coursing of the original stone foundation;

THAT Heritage Markham does not support the proposed full width front veranda, and the north elevation be revised to reflect the existing front porch;

That the final drawings be annotated to identify materials, heritage features to be retained and new materials including a requirement that the underlying historic siding be revealed and restored, and that any modern replacement windows be replaced with new historically authentic windows;

THAT Heritage Markham has no objection to the proposed design of the rear two storey addition and detached garage from a heritage perspective;

THAT Heritage Markham has no further comment on the removal of the Norway maple tree shared with the property owner to the east;

THAT final review of the Site Plan application be delegated to Heritage Section staff

THAT the applicant enter into a Site Plan agreement with the City containing standard heritage conditions regarding colour, materials, windows etc.

File: 25 Victoria Ave. Unionville

Appendix A- Property Location

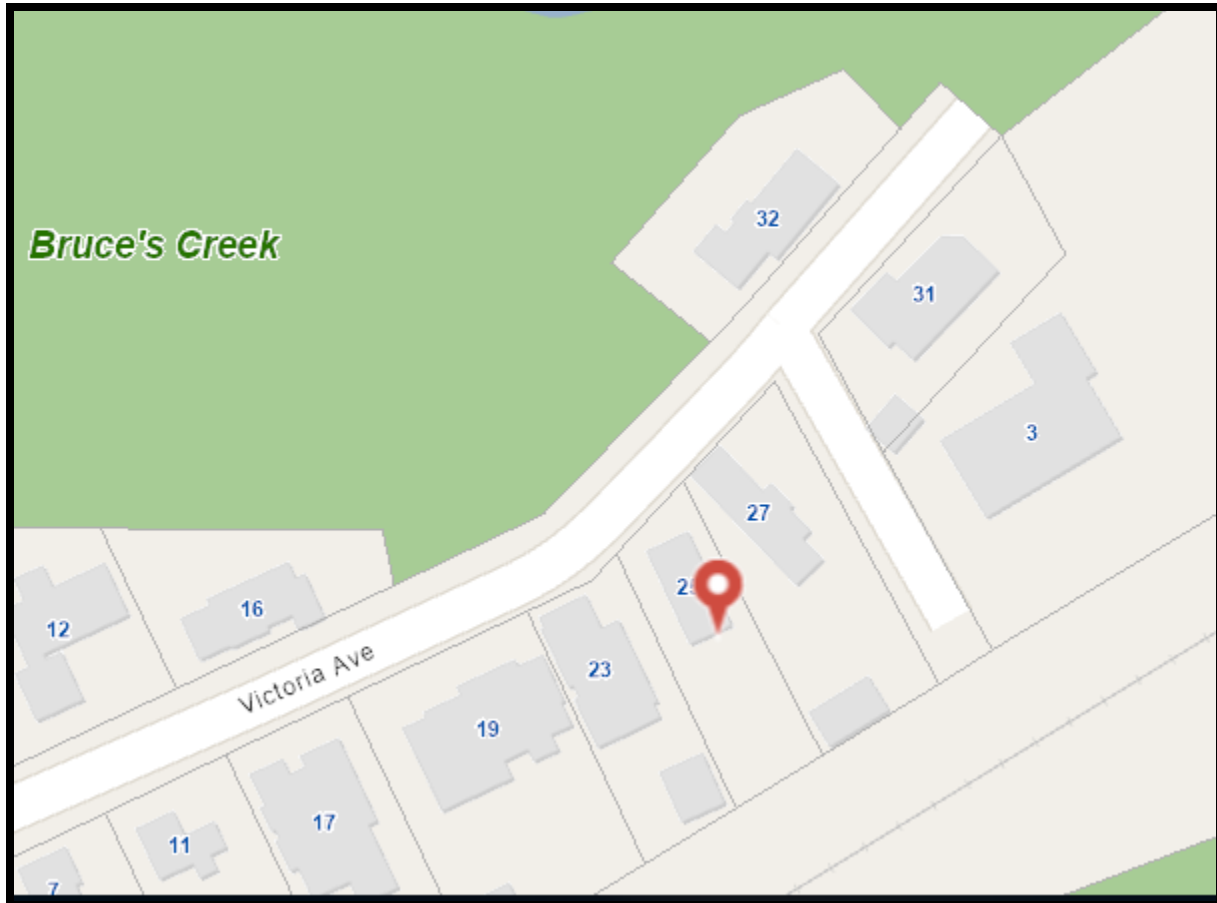
Appendix B- Photograph of Existing Heritage Dwelling

Appendix C- Proposed Site Plan & Elevations

Appendix D- Heritage Markham Extract of June 8, 2022

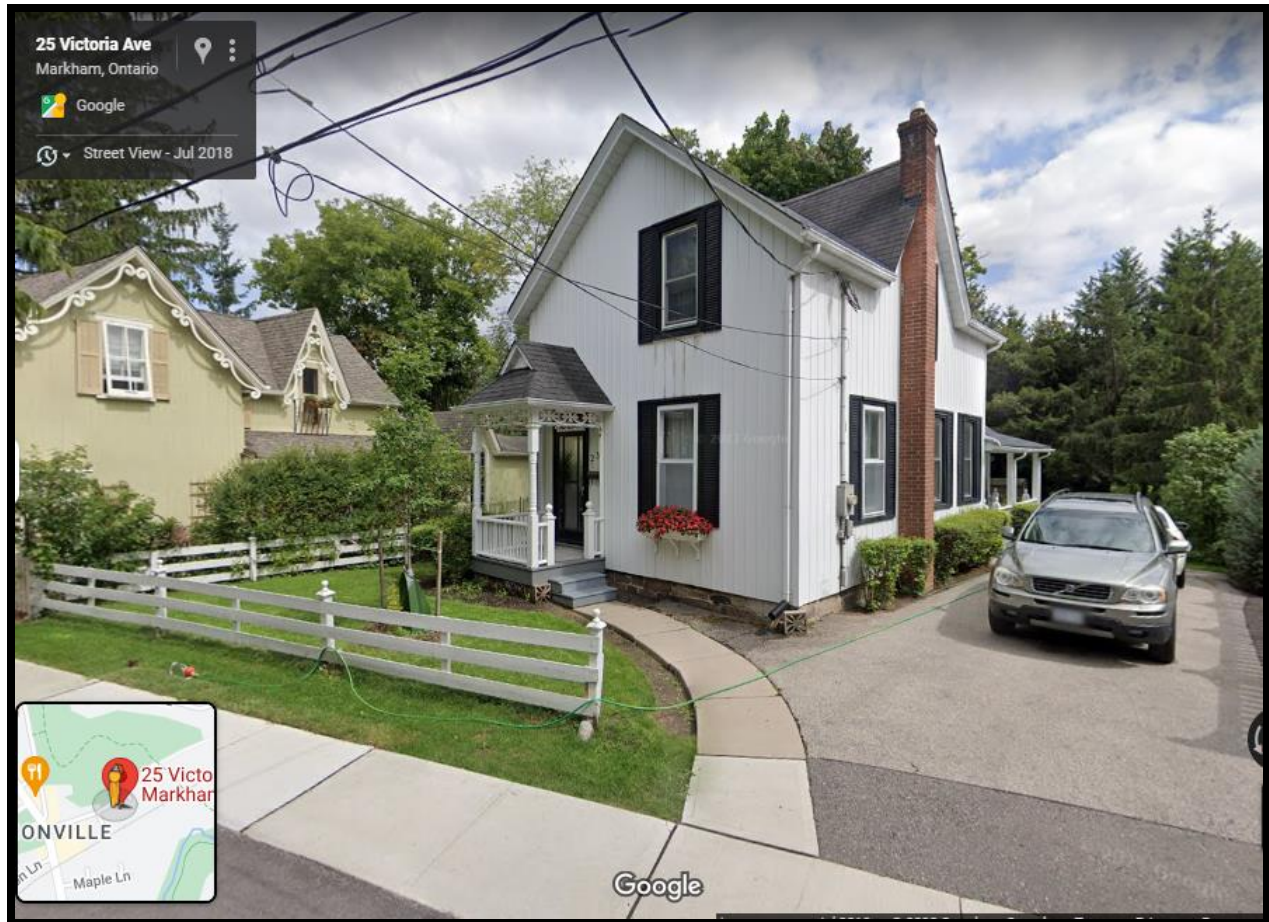
## APPENDIX A

25 Victoria Avenue, Unionville Heritage Conservation District



## APPENDIX B

25 Victoria Avenue, Unionville Heritage Conservation District



# APPENDIX -C

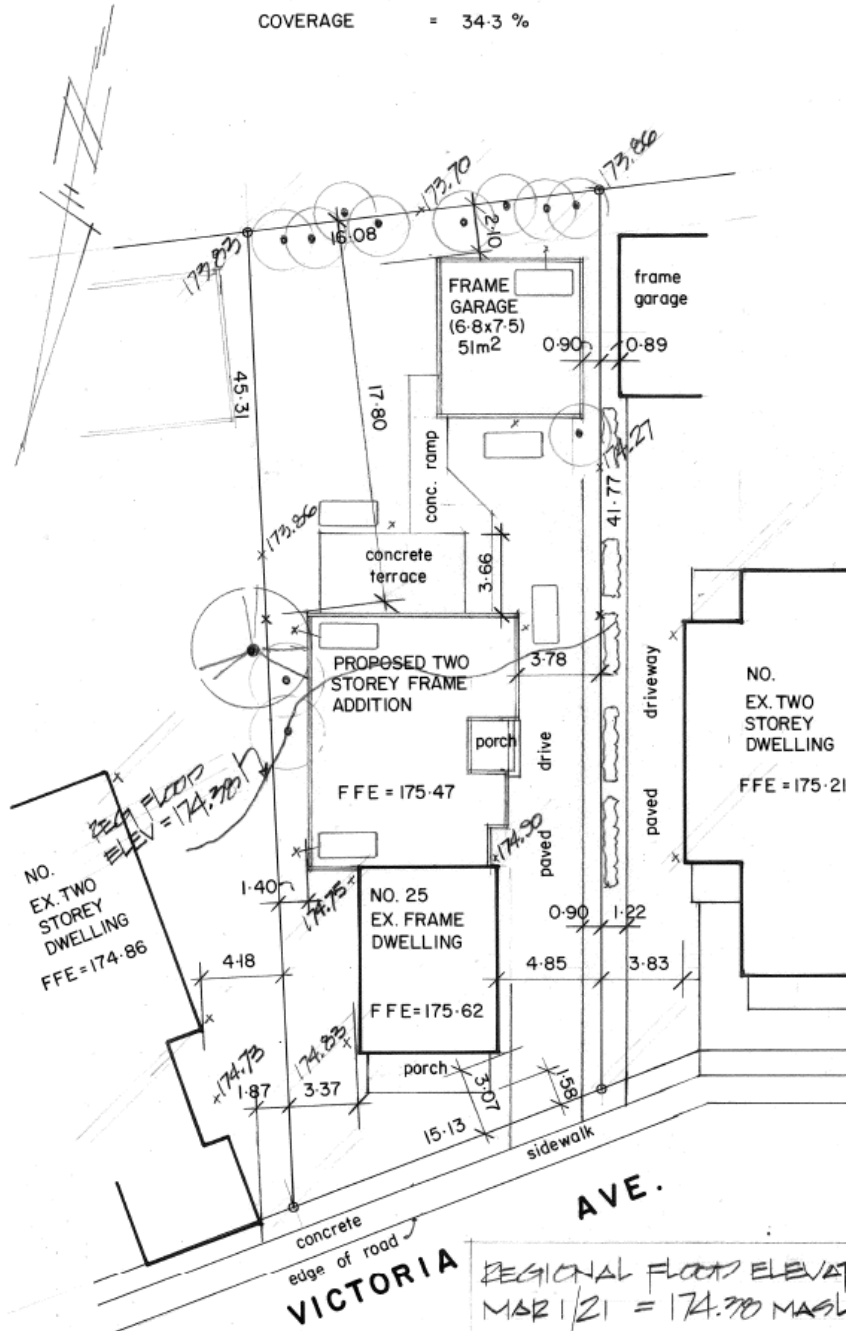
## Proposed Site Plan

### SITE PLAN

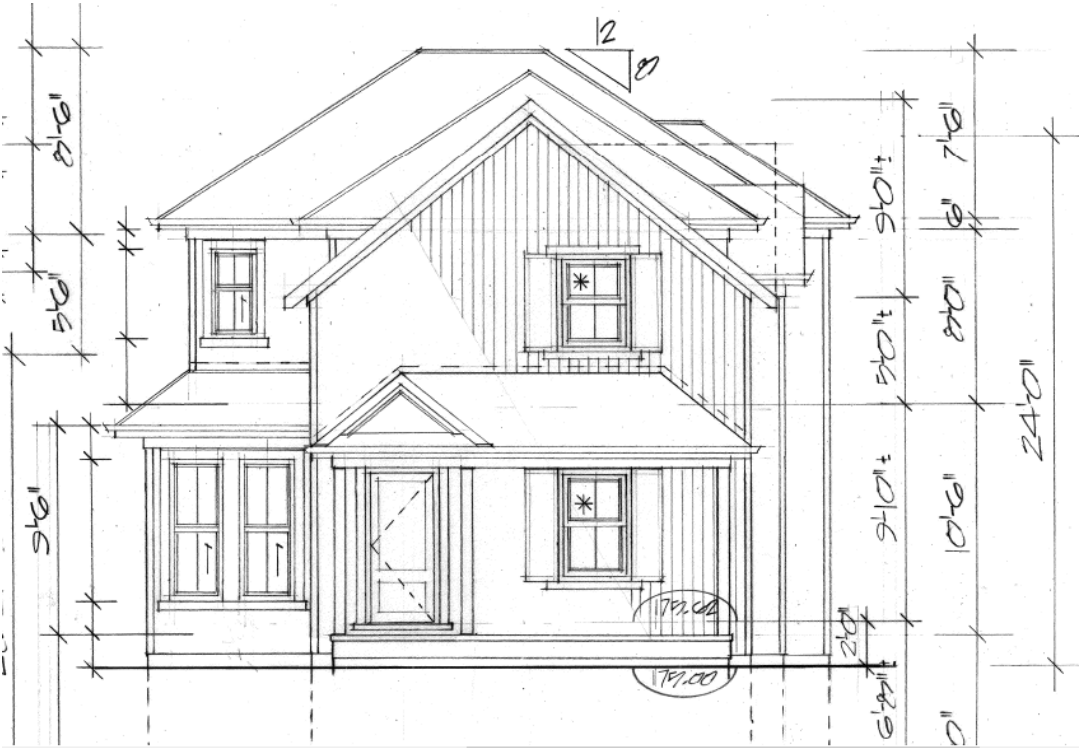
SCALE - 1:200

#### SITE INFORMATION & DATA

AREA OF LOT = 658.9 m<sup>2</sup>  
AREA OF BUILDING = 226.1 m<sup>2</sup>  
COVERAGE = 34.3 %



Proposed Elevations

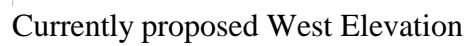
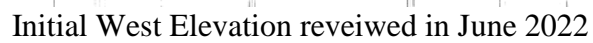


Front (street facing elevation)



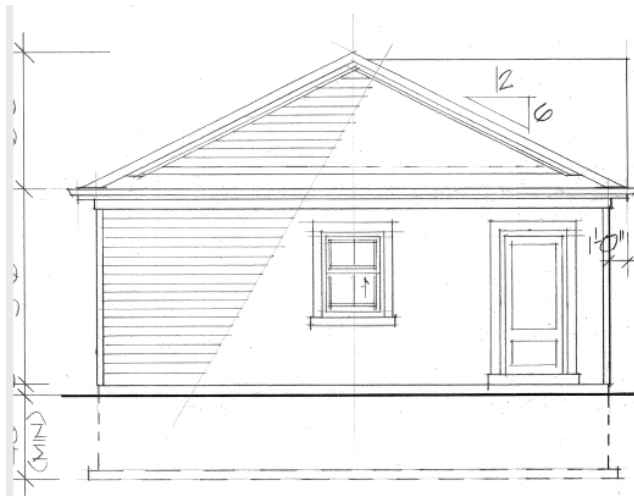
Rear Elevation



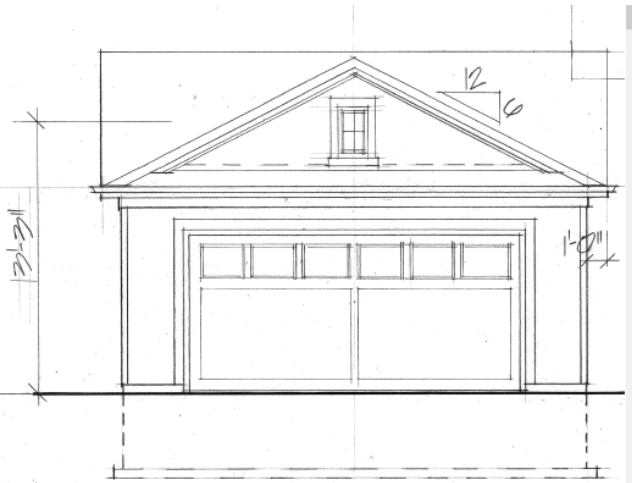




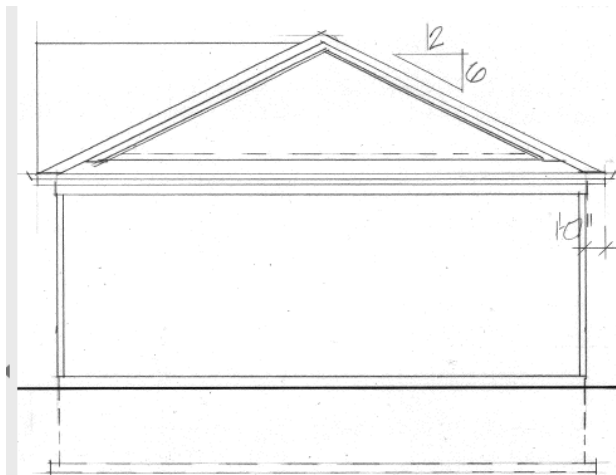
## Garage Elevations



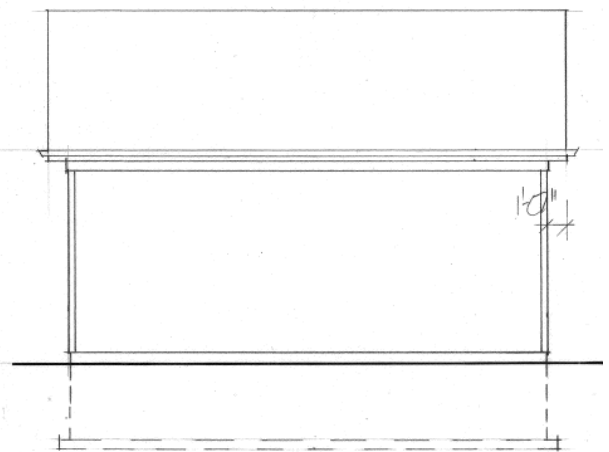
LEFT SIDE



FRONT ELEVATION



RIGHT SIDE



REAR ELEVATION

## APPENDIX D- Heritage Markham Extract of June 8, 2022

### **HERITAGE MARKHAM EXTRACT**

Date: June 8, 2022

To: R. Hutcheson, Manager of Heritage Planning  
P. Wokral, Senior Heritage Planner

EXTRACT CONTAINING ITEM # 6.4 OF THE SIXTH HERITAGE MARKHAM  
COMMITTEE MEETING HELD ON June 8, 2022

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#### 6.4 SITE PLAN CONTROL APPLICATION & VARIANCE APPLICATION

##### **PROPOSED REAR ADDITION TO AN EXISTING HERITAGE DWELLING 25 VICTORIA AVE, UNIONVILLE HERITAGE CONSERVATION DISTRICT (16.11)**

FILE NUMBER:

SPC

116892

A/06/22

Councillor Reid McAlpine, Chair disclosed an interest with respect to Item # 6.4 (25 Victoria Avenue, Unionville Heritage Conservation District), by nature of being the neighbour, and did not take part in the discussion of or vote on the question of the approval of this matter.

David Wilson assumed the Chair for this item.

Peter Wokral, Senior Heritage Planner, addressed the Committee and summarized the Site Plan Control and Minor Variance applications for the proposed rear addition to an existing heritage dwelling at 25 Victoria Avenue.

The property is currently occupied by a heritage dwelling constructed in the 1890s. An existing 1-storey tail that was most likely a summer kitchen woodshed is proposed to be removed in order to construct a two-storey addition at the rear. A full width verandah is also proposed, along with some restoration of the heritage house. The variances being applied for are:

1. a front yard setback of 5 feet 2 inches to the front covered porch, whereas the By-law requires 25 feet;

2. a maximum lot coverage of 34.5 percent, whereas the By-law permits a maximum lot coverage of 33.3 percent;
3. a rear concrete deck without cellar below to project 3.66 metres, whereas the By-law permits a maximum projection of 3.0 metres; and
4. window openings at an elevation of 174.7 metres, whereas the bylaw requires an elevation of 174.8 metres.

The Senior Heritage Planner advised the Committee that Staff have evaluated the proposal against the policies and guidelines of the District Plan and have no objections to the variances being sought as they either reflect an existing historic condition, are minor in nature, or have no impact from a heritage perspective.

Staff, however, recommends that the architectural form of the proposed addition be revised to better reflect the form and simple massing of the existing heritage house. Staff do not support the proposed alteration to the existing front veranda which appears to be an original or early heritage feature based on archival photographs. The proposed addition would appear to negatively impact a large Norway Maple tree located on the property boundary to the east, and the proposed detached garage requires the removal of trees located at the rear of the property.

Staff recommends that the submitted drawings be annotated to identify heritage features to be retained and new materials, and that elevation drawings for the garage be submitted. Staff also recommends that the underlying historic siding of the heritage house be restored, and that two-over-two single hung windows be installed in the heritage portion of the house. Staff suggested that this application return to Heritage Markham for further review after the applicant has considered Staff's recommendations.

Heritage Markham expressed concerns about tree preservation on the property and will review this aspect of the proposal when it comes back to the Committee for future consideration.

Mr. Russ Gregory, the applicant's design representative, advised that a tree preservation plan has been submitted. There are two trees on the owner's property that reportedly are not in good health and are proposed to be removed, however, the owner has every intention to preserve significant trees. He further advised that the plans have been designed considering the neighbouring properties.

**Recommendations:**

THAT Heritage Markham does not support the proposed front veranda and

recommends that the existing historic front porch be retained in its current form;

THAT Heritage Markham has no objection to the requested variances from a heritage perspective;

THAT the proposed addition be revised to better reflect the architectural form and simple massing of the existing heritage dwelling;

THAT the drawings be annotated to identify materials, heritage features to be retained and new materials, and garage drawings be submitted;

THAT the underlying historic siding of the heritage dwelling be revealed and restored, and that any modern replacement window be replaced with new historically authentic windows;

THAT the large Norway Maple tree located on the property to the east be preserved; through the design of the proposed addition;

AND THAT the submission be revised and return to Heritage Markham Committee for review.

Carried