



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Evan Manning, Heritage Planner

**DATE:** June 8, 2022

**SUBJECT:** Committee of Adjustment Variance Application (MNV)  
Site Plan Control Application (SPC)  
83 John Street, Thornhill  
Proposed two-storey dwelling with integrated garage

**FILE:** A/046/22 & 22 113689 SPC

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**Property/Building Description:** One-storey dwelling (c1946)

**Use:** Residential

**Heritage Status:** 83 John Street is designated under Part V of the *Ontario Heritage Act* as constituent property of the Thornhill Heritage Conservation District.

### **Application/Proposal**

- The City has received concurrent Minor Variance and Site Plan Control applications for the property municipally-known as 83 John Street (the “subject property” or the “property”).
- The existing dwelling is proposed to be removed.
- The applicant requires relief from the zoning by-law to enable the proposed development as detailed in the accompanying SPC application.
- Specifically, the applicant requires relief to permit the following:
  - **By-law 101-90; Section 1.2(iv):**  
A building depth of 18.9 metres, whereas the by-law permits a maximum building depth of 16.8 metres
  - **By-law 223-94; Section 1 (b):**  
A floor area ratio of 41.8 percent, whereas the by-law permits a maximum floor area ratio of 33 percent.

The above-referenced variances were confirmed via a Zoning Preliminary Review (ZPR) in February 2022.

## **Background**

### **On-Site Heritage Resources**

- The subject property is designated under Part V of the *Ontario Heritage Act* as a constituent property of the Thornhill HCD (the “THCD” or the “District”), and is categorized as ‘Class C – Other Buildings/Properties within the District’. As described in Section 2.2.2 (‘Building/Property Classification’) of the THCD Plan, Class C properties possess the following qualities:
  - *They are building/properties primarily constructed post-1939*
  - *They include buildings/properties that are sympathetic to the District by virtue of their scale or design qualities;*
  - *They include buildings/properties not sympathetic to historic character of the District.*
- However, only Class A and B buildings are considered to contribute, support, and define the heritage character of the neighbourhood, according to the District Plan. The District Plan encourages improvements to Class C buildings intended to enhance the district’s character, and states that demolition is to be considered on a case by case basis.
- Based on a review of MPAC records, the existing dwelling was constructed in 1946.

### **Adjacent Heritage Resources**

- 81 John Street, constructed in 1996, is categorized as ‘Class C’ within the THCD Plan.
- 85 John Street is contemporary infill and replaced a ‘Class C’ property that was demolished in 2017. The structure removed to accommodate the new dwelling was similar to the existing dwelling and constructed around the same period. Both 85 and 83 John Street properties were associated with the Veteran’s Land Act and the provision of housing for returning WW2 veterans. In 2015, SPOHT opposed the demolition of the dwelling at 85 John Street for two key reasons: a) its association with the Veteran’s Land Act and the returning veterans of World War II, and b) the existing house was considered to be architecturally compatible with the historic character of Thornhill. SPOHT was concerned that there are only a few remaining homes associated with Veteran’s Land Act in Thornhill, and that these will all be eventually demolished.
- When the District Plan was last reviewed in 2007, the subject dwelling was known to be associated with the Veteran’s Land Act, but the consensus of the community was that despite being complementary in terms of scale and materials, that these buildings were not considered to be architecturally or historically significant, because the primary purpose of the district plan was to protect the 19<sup>th</sup> and early 20<sup>th</sup> century buildings associated with the original mill village.
- Heritage resources along John Street are not typified by a single architectural style, vintage or scale. As such, the street had a varied character that speaks the layered character of the THCD.

## **Heritage Policy**

- For a discussion of the proposal’s conformance to the applicable policies and guidelines from the TCHD Plan, please see Appendix ‘C’ of this report.

## **Staff Comment**

### *Demolition of Existing Dwelling*

- The subject applications are in support of a new dwelling for the property.
- The existing dwelling is not considered to be a significant cultural heritage resource as described within the THCD Plan. Staff note that a similar dwelling (85 John Street) was permitted to be demolished in 2017. Staff concur with the subject property's rating within the THCD Plan, and are of the opinion that its removal will not have an adverse impact on the cultural heritage value of the District (which is the protection of the 19<sup>th</sup> and early 20<sup>th</sup> century buildings associated with the original mill village).

### *MNV Application*

- Heritage Section staff have no objection to the requested variances from a heritage perspective in support of the proposed building design.
- While relief from the zoning by-law is being sought for additional building depth, it is not anticipated to have an adverse impact given the considerable depth of the lot at approximately 55 metres.
- While relief from the zoning by-law is also being sought for floor area ratio, no relief is being sought for lot coverage or building height, both of which are more useful indicators for visual impact on adjacent properties.
- Further, the proposed dwelling is comparable in scale to the adjacent infill dwelling at 85 John Street and as such, favourably responds to the emerging built form context of John Street. Please see Appendix 'D' for a streetscape drawing showing the relationship to adjacent properties.
- Given the above information, no adverse impact on the cultural heritage value of the subject property or the MVHCD is anticipated as a result of the requested variances.

### *SPC Application*

- Staff are broadly supportive of the proposed dwelling including its scale, massing, articulation, fenestration and materiality.
- The integrated two-car garage, while located along the primary (north) elevation of the addition, is divided into two bays and is setback relative to the front porch and adjacent bay window. Both reduce the prominence of the garage relative to the remainder of the primary elevation. While the THCD plan provides guidance to locate garages to the rear of the property, the lot is not as deep as the adjacent property at 85 John Street where a rear garage was accommodated without sacrificing rear yard amenity space. Staff will work with the designer through the SPC approvals process to further mitigate the impact of the garage through careful material and colour selection.
- Note that there are no existing trees proposed for removal as per the submitted Arborist report.
- Staff suggest that the Committee may wish to delegate review of the submitted SPC application.

### *Next Steps*

- As the subject property is designated under Part V of the *Ontario Heritage Act*, review by Heritage Markham and approval by City Council is necessary to permit the demolition of

the existing dwelling. Staff anticipate the submission of a demolition permit to remove the dwelling.

- Redevelopment of the property will be subject to full site plan control with review by Staff for compliance with the THCD Plan.

### **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham has no objection to the demolition of the existing one-storey single detached dwelling at 83 John Street;

THAT Heritage Markham has no objection from a heritage perspective to the requested variances to permit a new two-storey dwelling with integrated garage;

AND THAT final review of the submitted Site Plan Control application, and any other development application required to approve the proposed development, be delegated to Heritage Section staff should the design remain generally consistent with the drawings appended to this memo.

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#### **ATTACHMENTS:**

Appendix 'A'	Property Map and Photograph of the Subject Property
Appendix 'B'	Drawings Prepared by the Guitberg Group
Appendix 'C'	Residential New Addition Checklist – New Residential Infill (THCD)
Appendix 'D'	Streetscape Elevation Drawing by the Guitberg Group

## **Appendix 'A'**

*Property Map*



*Subject property is outlined in blue (Source: City of Markham)*

*Primary (North) Elevation of the Existing Dwelling*

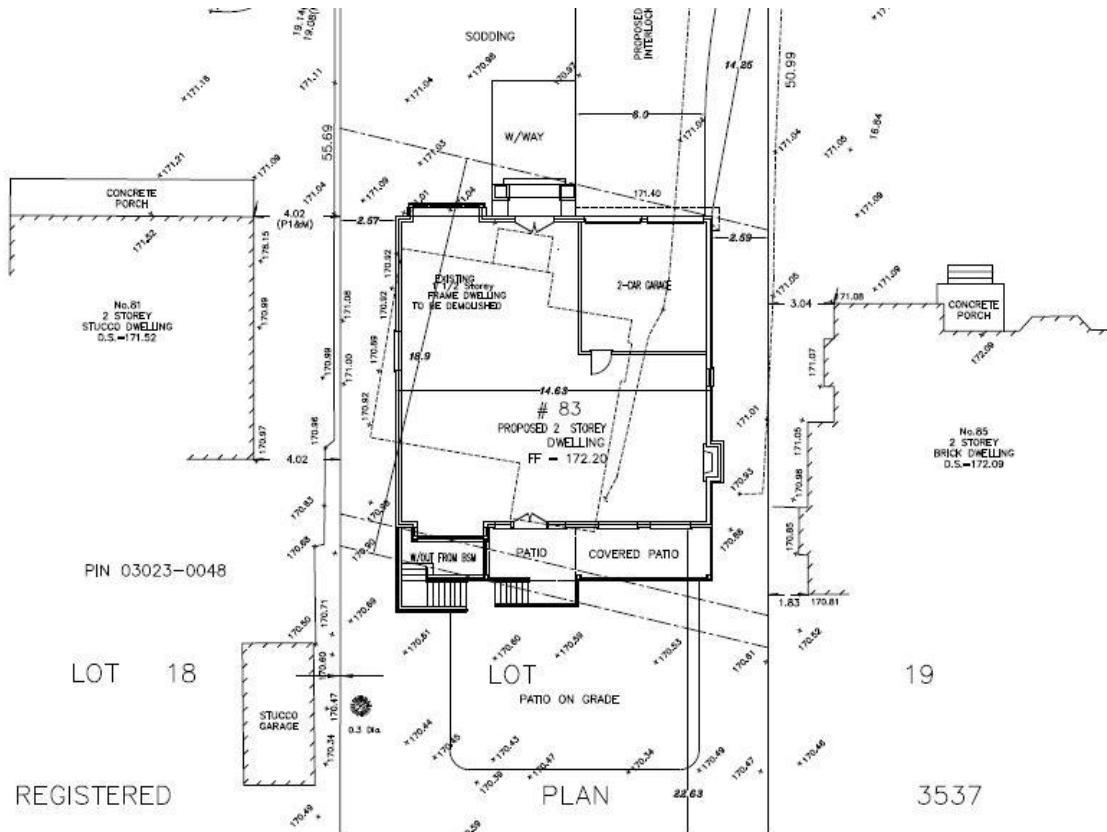


*(Source: Google)*



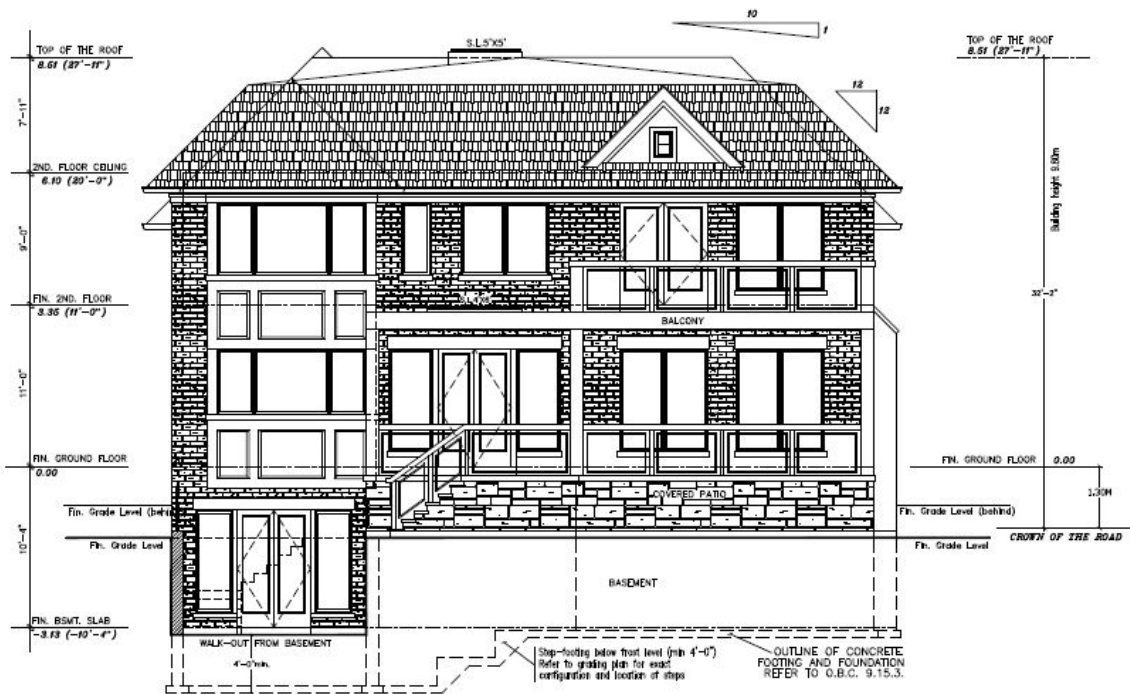
## Appendix 'B'

Drawings prepared by the Guitberg Group



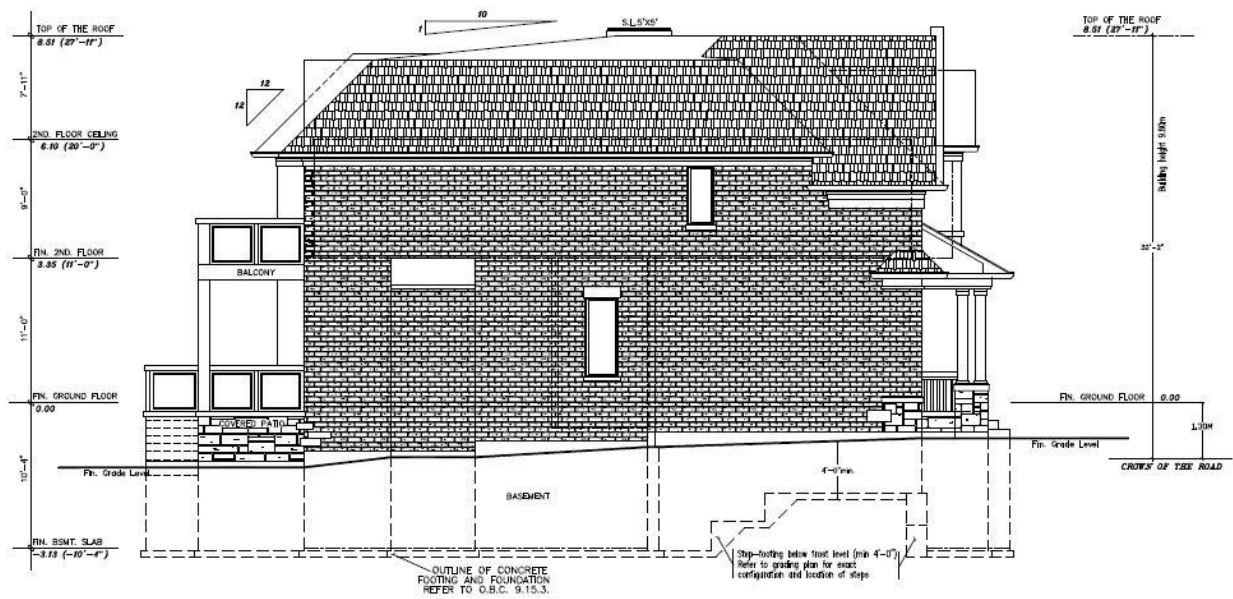
DEVELOPMENT DATA			
ZONING DESIGNATION - R2 ( RESIDENTIAL)			
	METRIC	IMPERIAL	REMARKS
LOT AREA	1056.483 M <sup>2</sup>	11371.00 SQFT	MIN. REQUIRED - 9750.0 SQ.FT.
NET LOT AREA	981.07 M <sup>2</sup>	10560.50 SQFT	
BUILDING AREA			
CELLAR	180.00 M <sup>2</sup>	1940.00 SQFT	
MAIN FLOOR	212.10 M <sup>2</sup>	2283.00 SQFT	GARAGE INCLUDED
SECOND FLOOR	212.92 M <sup>2</sup>	2292.00 SQFT	
TOTAL (G.F.A.)	425.02 M <sup>2</sup>	4575.00 SQFT	TWO FLOORS EXCLOPENINGS INCLUDING GARAGES
BUILDING HEIGHT	9.80 M	32'-2"	FROM CROWN OF THE STREET TO HIGHEST POINT OF THE RIDGE (REQ.9.8M)
BUILDING LENGTH	18.90M	62'-0"	REQUIRED - 16.8M PLUS 2.1M 1-STEXTENSION
PARKING	2 CAR GARAGE		
SETBACKS			
FRONT	14.25 M	46'-9"	REQUIRED - 27'
REAR	22.63 M	74'-3"	REQUIRED - 30'
SIDES	2.57 M ; 2.59 M	8'-5", 8'-6"	REQUIRED - 1.8m, 1.8m
FLOOR AREA RATIO	41.8 %		REQUIRED - 33%
MAX.LOT COVERAGE	214.70M <sup>2</sup> - 2311 sq.ft. (21.9%)		REQUIRED - 33 1/3%

Proposed site plan (above) and site statistics (below)



North elevation (above) and south elevation (below)





West elevation (above) and east elevation (below)

## **Appendix ‘C’**

### ***Thornhill Heritage Conservation District***

#### **New Residential Infill**

\* Thornhill Heritage Conservation District Plan should be consulted for specific wording, if necessary

<b>New Construction</b>	
<b>Plan Policy (P) or Guideline (G)</b>	<b>Specific Application Comment</b>
<b>4.4 New Residential Buildings (P)</b> - respect for and be compatible with heritage character of district - designs based on patterns and proportions of 19 <sup>th</sup> C and early 20 <sup>th</sup> C building stock	The proposed dwelling is traditional in design and is compatible in character with the THCD.
<b>4.4.1.a Design Approach (P)</b> - be product of their own time but reflect one of the district historic styles	While traditional in design, the proposed dwelling is clearly legible as contemporary and borrows elements from a number of architectural styles within the District (e.g. Arts and Crafts in detailing, and Edwardian in scale).
<b>9.4.2.2 Architectural Style (G)</b> - reflect historic architectural style in District - consistent approach for details - simplicity - consider predominant architectural style and building form on street	Please see the response above. Exterior detailing/ornamentation is restrained and the overall composition is both coherent and sensitive to the emerging built form character of John Street.
<b>4.4.1.b Complement Streetscape (P)</b> - being generally the same height, width and orientation of adjacent buildings -being of similar setback - being of like materials and colours - using similarly proportioned windows, doors and roof shapes	The proposed dwelling is generally the same height, width and orientation as adjacent development, most notably the recently completed two-story dwelling at 85 John Street. The detailing, proportions and materials of the proposed infill building are also similar to 85 John Street.
<b>4.4.1.d Massing (P)</b> - larger buildings will have varied massing to reflect small scale of village	The proposed dwelling has a varied massing to relieve its visual weight. The use of front gables of various sizes helps in this regard.
<b>9.4.2.3 Overall Scale (G)</b> - new can vary in scale from surrounding development but to fit in terms of rhythm, alignment and spacing - green space to building mass ratio consistent with adjacent - larger buildings -break up the façade to	The overall scale of the proposed dwelling is in keeping with the emerging built form character of John Street (variances are not being sought for height or lot coverage). The roof profile is compatible with adjacent properties, helping the proposal fit in terms of rhythm.

proportionally reflect adjacent	
<b>9.4.2.4 Building Form – Directional Emphasis (G)</b> - reflects the typical directional emphasis of surrounding streetscape (vertical vs horizontal)	The proposed dwelling reflects the directional emphasis of the surrounding streetscape (i.e. the primary elevation faces John Street).
<b>4.4.1.e Height (P)</b> - new singles should not be less than 80% and not more than 120% of the average height of residential buildings on immediate adjacent properties. - historically appropriate heights are 1 ½ or 2 storeys subject to an actual height in metres compatible with immediately adjacent buildings and complying with zoning.	The height of the proposed dwelling is 9.8m which is comparable in height to the adjacent property at 85 John Street (9.79m). Note that the height of the proposed dwelling reflects as-of-right permissions within the zoning by-law. The proposed height is 2-storeys.
<b>9.4.2.5 Building Form – Height (G)</b> - compatible with traditional height pattern and have regard for adjoining buildings - 80/120 rule - provision of streetscape elevation.	Please see the response above.
<b>9.4.2.6 Location and Setback (G)</b> - respect the overall setback pattern - variation in setback- average of old and new - front façade parallel to street - ancillary to rear, avoid garage at front facade	The setback of the proposed dwelling generally corresponds to the setback of adjacent properties.
<b>9.4.2.7/8 Roofs (G)</b> - compatible with historic roof type forms - appropriate for selected building style - appropriate roof overhang - avoid flat/shallow, massive/monolithic roofs - equipment screened - no rooftop patio	The roof profile of the proposed dwelling is varied to breakup its massing and is appropriate for the selected building type. The roof profile is also compatible with historic roof type forms within the District.
<b>9.4.2.9 Chimneys (G)</b> - chimneys are encouraged - historic chimney design as reference	A chimney is not proposed as a wood burning fireplace is not contemplated.
<b>9.4.2.10 Roof Materials (G)</b> - asphalt shingles heritage colour and design - taper sawn wood shingles - asphalt, wood shingles, wood B&B- porch - cedar shakes – outbuildings only - no clay tiles, metal or vinyl	The roofing material consists of asphalt shingles. Further details as to colour and size will be provided through the SPC and Building Permit approval process.
<b>9.4.2.11 Roof Flashing (G)</b> - flashing to blend in with wall colour and not match colour of trim	Further details will be provided through the SPC approval process.

<b>9.4.2.12/13 Dormers (G)</b> <ul style="list-style-type: none"> <li>- consistent with style of house</li> <li>- appropriate scale/proportions</li> <li>- roof dormer as opposed to wall dormer</li> <li>-double hung in appearance</li> <li>-avoid double dormers, Palladian windows</li> </ul>	One roof dormer is proposed on the rear (south elevation) elevation. The scale is appropriate to the proposed dwelling.
<b>9.4.2.14 / 18 Windows – Styles (G)</b> <ul style="list-style-type: none"> <li>- reflects the historic windows in district</li> <li>- consistent with style of house</li> <li>-consistent window proportion and type</li> <li>- 2:1 ratio of length to width</li> <li>- traditional wood windows preferred</li> <li>- modern materials in historic configurations and profiles may be used - staff review</li> <li>- no stock suburban window forms</li> <li>- divided windows to have real muntins or external adhered muntins</li> <li>- avoid visible window screens</li> </ul>	The proposed windows are appropriate to the style of the building. Heritage Section staff will explore with the applicant the possibility of divided lites for those windows on the east and west elevations.
<b>9.4.2.15 Windows- Accent (G)</b> <ul style="list-style-type: none"> <li>- appropriate to design and style of building</li> <li>- no stock suburban accent windows</li> </ul>	Please see the response above.
<b>9.4.2.16 Skylights (G)</b> <ul style="list-style-type: none"> <li>- flat, only minimal projection, tinted to roof</li> <li>- least visible location</li> <li>- not on elevations visible to street</li> <li>-no bubble skylights</li> </ul>	No skylights are proposed.
<b>9.4.2.17 Windows – Bay Windows (G)</b> <ul style="list-style-type: none"> <li>- is it appropriate to style of house</li> <li>- is it orderly, extends to ground, reflects historic forms</li> </ul>	The proposed bay windows along the north (primary) elevation are proportioned to suit the scale of the dwelling.
<b>9.4.2.19 Windows – Muntin Bars (G)</b> <ul style="list-style-type: none"> <li>- divided windows on visible elevations to the general public- true divided lites or muntin bars that are externally adhered to the outside glass</li> <li>- no snap in muntins</li> <li>- design of muntins to be compatible with design of house or simplified</li> <li>- should represent Thornhill styles of pane division and size/profile</li> </ul>	Heritage Section staff have communicated this to the applicant and will ensure adherence during the SPC approval process.
<b>9.4.2.20 Windows – Storms and Double Glazed (G)</b> <ul style="list-style-type: none"> <li>- storms should be compatible size, material and pane division to host window</li> <li>- if thermal or double glazing is used, should have perceivable and appropriate muntin bars</li> </ul>	Storm windows are not proposed. Heritage Section staff have communicated the need for perceivable/appropriate muntin bars to the applicant and will ensure adherence during the SPC approval process.

compatible with style of house	
<b>9.4.2.21 Shutters</b> - ½ size of width of window and attached to frame, not wall - to be louvered to fit window shape and size - traditional shutter hinges is encouraged	Shutters are not proposed.
<b>9.4.2.22 Window to Wall Ratio</b> - traditional ration of 15-20% (not greater)	There is an appropriate ratio of glazing to wall ratio along those elevations visible from the street.
<b>9.4.2.23 Window and Door Placement</b> - orderly placement in traditional manner on facades visible from street - centre lines of windows should align vertically - sufficient clearance (not cramped next to other features) - not touch the eaves - door on front façade- traditional placement	The proposed window and door placement conforms to these guidelines.
<b>9.4.2.24 Doors</b> - appropriate doors to be used - consistent with architectural expression - traditional proportions and design found in district - traditional wood door- preferred - modern material that resemble wood - avoid stock modern doors- see Plan	The proportions of the main door and sidelights are appropriate to the architectural expression of the proposed dwelling. Further details as to materials will be determined through the SPC approval process.
<b>9.4.2.26 Doors: Frames and Surrounds</b> - door surround to match architectural style - consistent with traditional designs found in District - sidelights are used in pairs; not singles- and only where door not glazed - lower ¼ of sidelight o be solid	Refinements will be made through the SPC approval process ensure that these guidelines are adhered to.
<b>9.4.2.27 Foundations</b> - keep height low as per architecture of district - larger windows in foundation should be addressed using a window well (not increasing foundation height above grade) - highly visible or sensitive area foundations may require a traditional foundation treatment (traditional appearance-split face, random rubble laid to appear structural in rebate or cultured stone with similar appearance).	The design of the proposed dwelling appears to adhere to these guidelines. More information will be provided during the SPC approval process.

<p><b>9.4.2.28 Wall Cladding Materials</b></p> <ul style="list-style-type: none"> <li>- traditional Thornhill materials include wood (vertical, horizontal clapboard, B &amp; B), brick, stucco (rough cast)</li> <li>- materials to be compatible with district and chosen architectural design</li> <li>-wood siding are always preferable</li> <li>- non wood products that give the appearance of wood in historic configurations and profiles may be considered (staff review)</li> <li>-brick (older Ontario size, local colour and textures, CSR is acceptable, traditional mortar colour/profile/texture is encouraged.</li> <li>- stone for foundations only</li> <li>- not appropriate: concrete block, concrete brick, precast or poured concrete panels, ceramic tile, anglestone, smooth stucco, wood shakes, insulbrick, artificial stone, terra cotta.</li> </ul>	<p>While conceptual in nature, proposed exterior materials consist primarily of brick masonry with stone accents. Further details will be provided during the SPC and Building Permit approval process.</p> <p>Staff to ensure appropriate colour and size of brick.</p>
<p><b>9.4.2.29 Architectural Details: Brick</b></p> <ul style="list-style-type: none"> <li>- polychromatic brick was used sparingly in Thornhill – if used primarily in voussoirs and quoins, not beneath or at sides of windows</li> <li>- only use when stylistically appropriate and respect tradition of simplicity in Thornhill</li> </ul>	<p>Further details will be provided during the SPC and Building Permit approval process.</p>
<p><b>9.4.2.30 Architectural Details: Voussoirs</b></p> <ul style="list-style-type: none"> <li>- voussoirs are the lintels above a window/door opening</li> <li>-angled masonry is used</li> <li>-on brick buildings, traditional angled voussoirs should be used</li> <li>- do not use soldier course lintels and wood pediments</li> </ul>	<p>The design of the proposed dwelling conforms to this guideline.</p>
<p><b>9.4.2.31 Architectural Details: Keystone/Sills</b></p> <ul style="list-style-type: none"> <li>- keystone and other overtly elaborate details are not to be used</li> <li>- window sills to be wood, stone or concrete (not brick sills)</li> <li>- all window to have a sill treatment</li> </ul>	<p>The design of the proposed dwelling conforms to this guideline.</p>
<p><b>9.4.2.32 Architectural Details: Brick Quoins</b></p> <ul style="list-style-type: none"> <li>- when used, traditional quoining techniques are to be employed.</li> <li>- quoins do not have to be a different colour</li> </ul>	<p>Quoining is not proposed.</p>
<p><b>9.4.2.33 Architectural Details: Brick Coursing</b></p> <ul style="list-style-type: none"> <li>- brick coursing to respect traditional local examples (pattern, alignment and colour)</li> </ul>	<p>Brick masonry is proposed to be laid in a running bond pattern. This is in keeping with local examples within the District.</p>

- soldier course banding is not to employed	
<b>9.4.2.34 Architectural Details: Porches and Verandas</b> - traditional verandas and porch designs are encouraged - design to match/ be compatible with building design/style and overall District character - no front yard decks	The size and proportions of the front porch are supported and are in character with the design of the proposed dwelling, and the District more broadly.
<b>9.4.2.35 Paint Colours</b> - appropriate to period and style of building - white or pale, natural tones were common - typical historic Thornhill paint colours are listed in the Plan (9.2.4.7)	Paint colours are not known at this time. Heritage Section staff will work with the applicant to ensure that selected colours conform to guidelines in the THCD Plan. Further details will be provided during the SPC and Building Permit approvals process.
<b>9.4.2.36 Utility and Service Equipment</b> - service hardware (utility meters, cable/tv boxes, satellite dishes, telephone boxes etc should be integrated into design if possible - not readily visible front key facades - ground mounted units should be screened - windows mounted A/C units should be avoided in visible facades	Heritage Section staff will work with the applicant to ensure that these guideline are adhered to.
<b>9.4.2.37 Garages and Ancillary Buildings</b> - traditional design and placement - avoid brick garages - lower in profile than principal building -complementary in design and colour to main building - window and doors compatible with District - traditional materials preferred - non-traditional materials in historic configurations and profiles may be considered (staff)	The proposed integrated garage is divided into two bays with a transom. The design is appropriate to the architectural style of the dwelling and minimizes its visual impact.
<b>9.4.2.38 Garage Placement</b> - located to the rear or at the side towards rear - house not garage to be focal point - below grade garages not supported - detached garaged preferred	Please see the response above. The garage is not the focal point of the primary elevation and is setback relative to the front porch.
<b>9.4.2.39 Garage Door Design</b> - new doors to reflect simple historic doors consistent with Thornhill vernacular - vertical T&G roll up or swing, with or	The proposed garage doors are traditional in design and are consistent with the Thornhill vernacular for new construction.



without windows preferred - simple unarticulated wood doors for less visible locations - modern stock doors not supported - wood is preferred but modern materials in historic configuration may be considered	
<b>4.5.4 Driveways (P)</b> - keep to a narrow width to retain green areas - no circular driveways - no gated entrances - to conform to guidelines	The proposed driveway is generally linear in shape and driveway gates are not proposed.
<b>9.6.6 Driveways (G)</b> - keep narrow (ie. 3m in width) to preserve green - circular driveways and front yard paving not supported - hammerhead allowed where necessary - appropriate materials include- asphalt, pea gravel, coloured asphalt in natural tones, concrete pavers - no gates	Please see the response above. The driveway is proposed to be interlock.
<b>4.5.5 Decks (P)</b> - no rooftop decks or patios - no front yard decks	Rooftop decks/patios are not proposed. A front yard deck is not proposed.
<b>9.6.4 Front Yard Fencing</b> - traditional wood picket (ie 3 ft high) are encouraged - simple metal fencing in simple patterns - retain historic fences and hedges - not supported – chain link, abstract fence, brick/stone walls, decorative wrought iron, cedar rail, wire, pressure treated stock trellis	Front yard fencing is not proposed. Should fencing be proposed, a Heritage Permit application will be required.
<b>9.6.5 Backyard Fencing</b> - wooden fences encouraged- straight board or board on board fence design - retain historic fences and hedges - if chain link, then black or dark green - must conform with Markham Fence By-laws	Should fencing be proposed, a Heritage Permit application will be required.

## **Appendix 'D'**

*Streetscape Elevation Drawings prepared by the Guitberg Group*



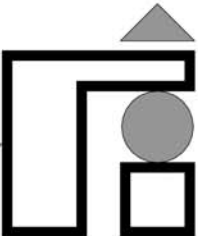
85 JOHN STREET

83 JOHN STREET  
(PROJECT SUBJECT)

81 JOHN STREET

NOTES  
1. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO START OF WORK.  
2. DO NOT SCALE DRAWINGS.  
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER PRIOR TO START OF WORK.  
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".  
5. THE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED BY COPYRIGHT. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS NOT PERMITTED WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.  
6. THE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT AND APPROVED BY AUTHORITIES HAVING JURISDICTION.

No.	Description	Date	By
1			



33 BELVEDERE CRES.  
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**GUITBERG GROUP INC.**

Residential Project  
83 John Street, Markham, Ontario L3T 1Y3

Street View			
SCALE Not to Scale		ISSUED DATE Feb 28, 2022	
DRAWN BM	CHKD VG	PROJECT NO. Project Number	A001