



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Peter Wokral, Senior Heritage Planner

**DATE:** June 8, 2022

**SUBJECT:** Site Plan Control & Variance Application  
25 Victoria Ave, Unionville Heritage Conservation District  
Proposed Rear Addition to an Existing Heritage Dwelling  
SPC 22 116892 & A/065/22

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**Property/Building Description:** 1-1/2 Storey Frame Heritage Dwelling constructed circa 1896

**Use:** Residential

**Heritage Status:** Designated under Part V of the Ontario Heritage Act and identified as a Type 'A' building or buildings that define the heritage character of the district.

### **Application/Proposal**

The applicant proposes to construct a 549 ft<sup>2</sup> (51m<sup>2</sup>) detached garage, demolish the one storey historic rear tail of the existing heritage dwelling in order to construct a 2,126 ft<sup>2</sup> (197.5m<sup>2</sup>) two storey addition, construct a new front veranda which requires the following variances to the Zoning By-law to permit:

1. a front yard setback of 5 feet 2 inches to the front covered porch, whereas the By-law requires 25 feet.
2. a maximum lot coverage of 34.5 percent, whereas the By-law permits a maximum lot coverage of 33.3 percent.
3. a rear concrete deck without cellar below to project 3.66 metres, whereas the By-law permits a maximum projection of 3.0 metres.
4. window openings at an elevation of 174.7 metres, whereas the bylaw requires an elevation of 174.8 metres.

### **Background**

- The property is part of Lot 7 in William Eakin's plan of village lots (Plan 348), 1873.
- The house built by Delos and Jennie Harrington c.1896.
- Delos Harrington was a co-owner of the Planning Mill at that time. In 1905, the family built a new two storey brick house at 130 Main Street.

### **Staff Comment**

- Staff does not support the proposed alteration to the existing front porch which appears to be an original heritage feature of the house based on archival photographs;
- Staff has no objection to the demolition of the historic rear tail as is located in the only logical and appropriate portion to which to attach a modern two storey addition to the existing heritage dwelling. The tail should be examined to determine any features that could be salvaged for future use;
- Staff has no objections to the requested variances, as they either reflect an existing historic condition ( the setback of the existing front porch from the front property line), are minor in nature, or have no impact from a heritage perspective;
- However, staff recommends that the architectural form of the proposed addition be revised to better reflect the forms and simple massing of the existing heritage house;
- The proposed addition would appear to negatively impact a large Norway Maple tree located on the property to the east, and the proposed detached garage requires the removal of trees located at the rear of the property;
- Staff recommends that the submitted drawings be annotated to identify materials, heritage features to be retained and new materials, and that elevation drawings for the garage be submitted;
- Staff also recommends that underlying historic siding of the heritage house be exposed, and that two over two single hung windows be installed in the heritage portion of the house to replace any existing modern replacement windows (See Attachment 4- Design Checklist for Alterations and Additions to Heritage Buildings)

### **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham does not support the proposed front veranda and recommends that the existing historic front porch be retained in its current form;

THAT Heritage Markham has no objection to the requested variances from a heritage perspective;

THAT the proposed addition be revised to better reflect the architectural form and simple massing of the existing heritage dwelling;

THAT the drawings be annotated to identify materials, heritage features to be retained and new materials, and garage drawings be submitted;

THAT the underlying historic siding of the heritage dwelling be revealed and restored, and that any modern replacement window be replaced with new historically authentic windows.

AND THAT the submission be revised and return to Heritage Markham Committee for review.

File: 25 Victoria Ave. Unionville

**Attachment 1- Property Location**

**Attachment 2-Photograph of Existing Heritage Dwelling**

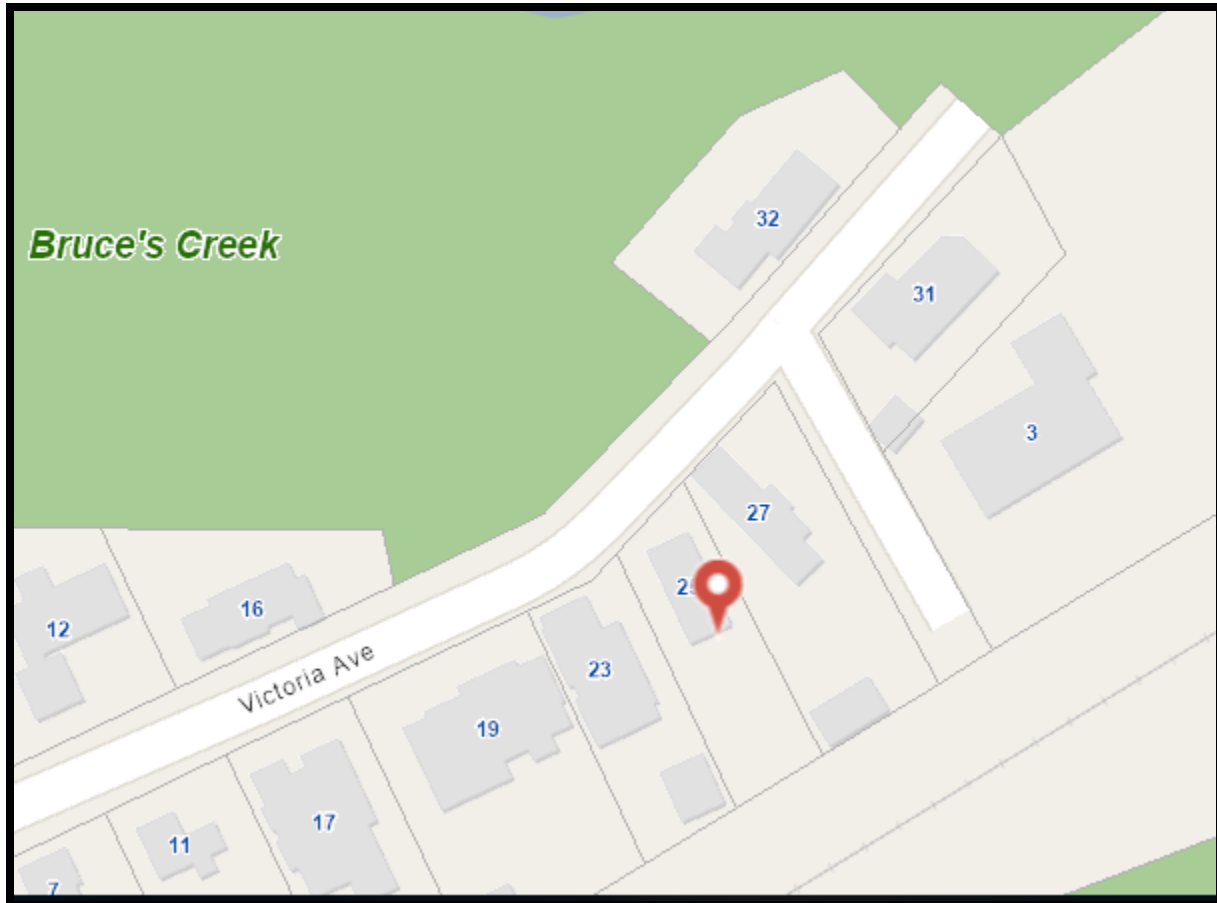
**Attachment 3-Proposed Site Plan & Elevations**

**Attachment 4- Design Checklist for Alterations and Additions to Heritage Buildings**

**Attachment 5 – Design Checklist for New Construction - Garage**

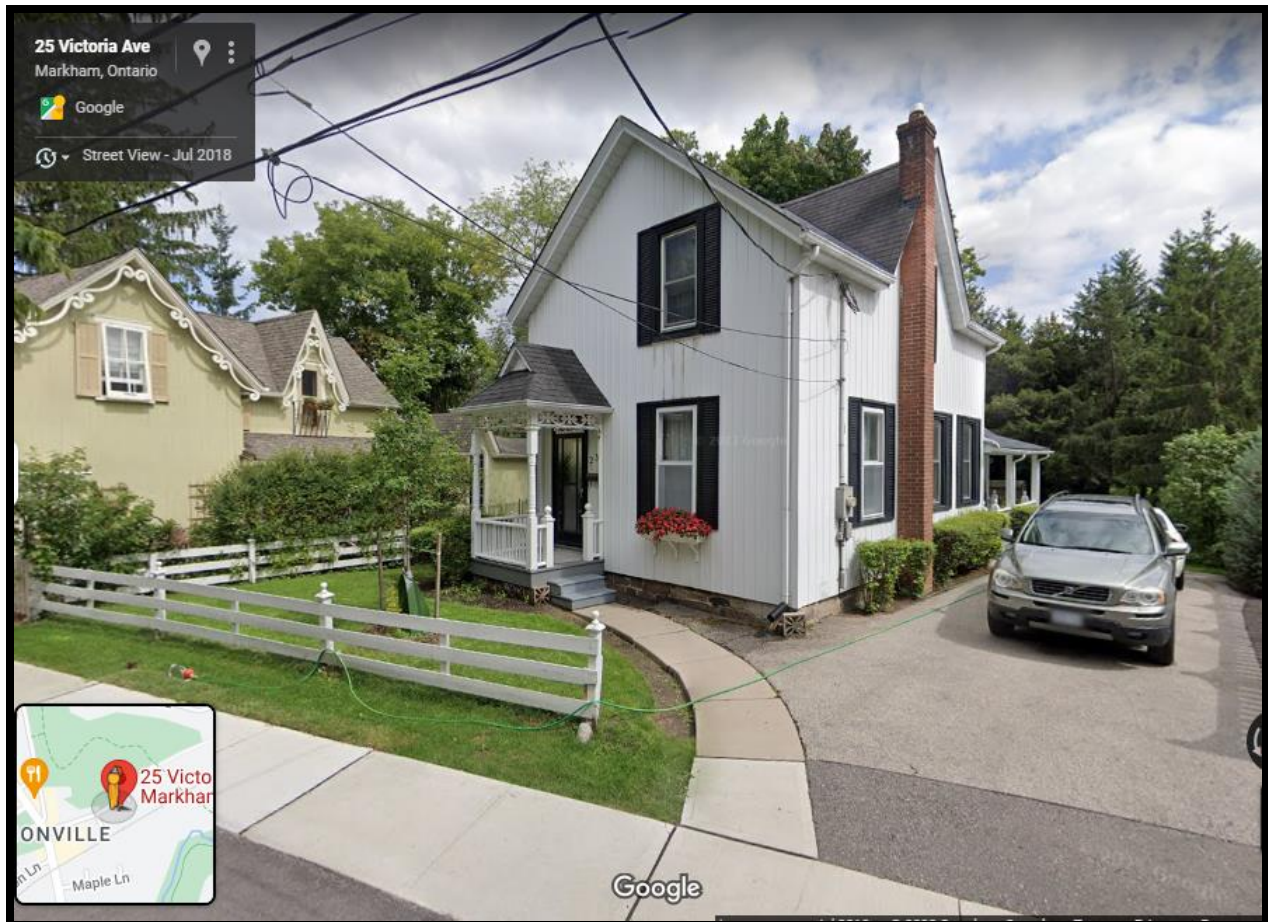
## Attachment 1- Property Location

25 Victoria Avenue, Unionville Heritage Conservation District



## Attachment 2 - Photographs of Existing Heritage Dwelling

25 Victoria Avenue, Unionville Heritage Conservation District





Addition will be visible primarily on west elevation from the public realm



Existing decorative porch (north elevation)

# Attachment 3 - Proposed Site Plan & Elevations

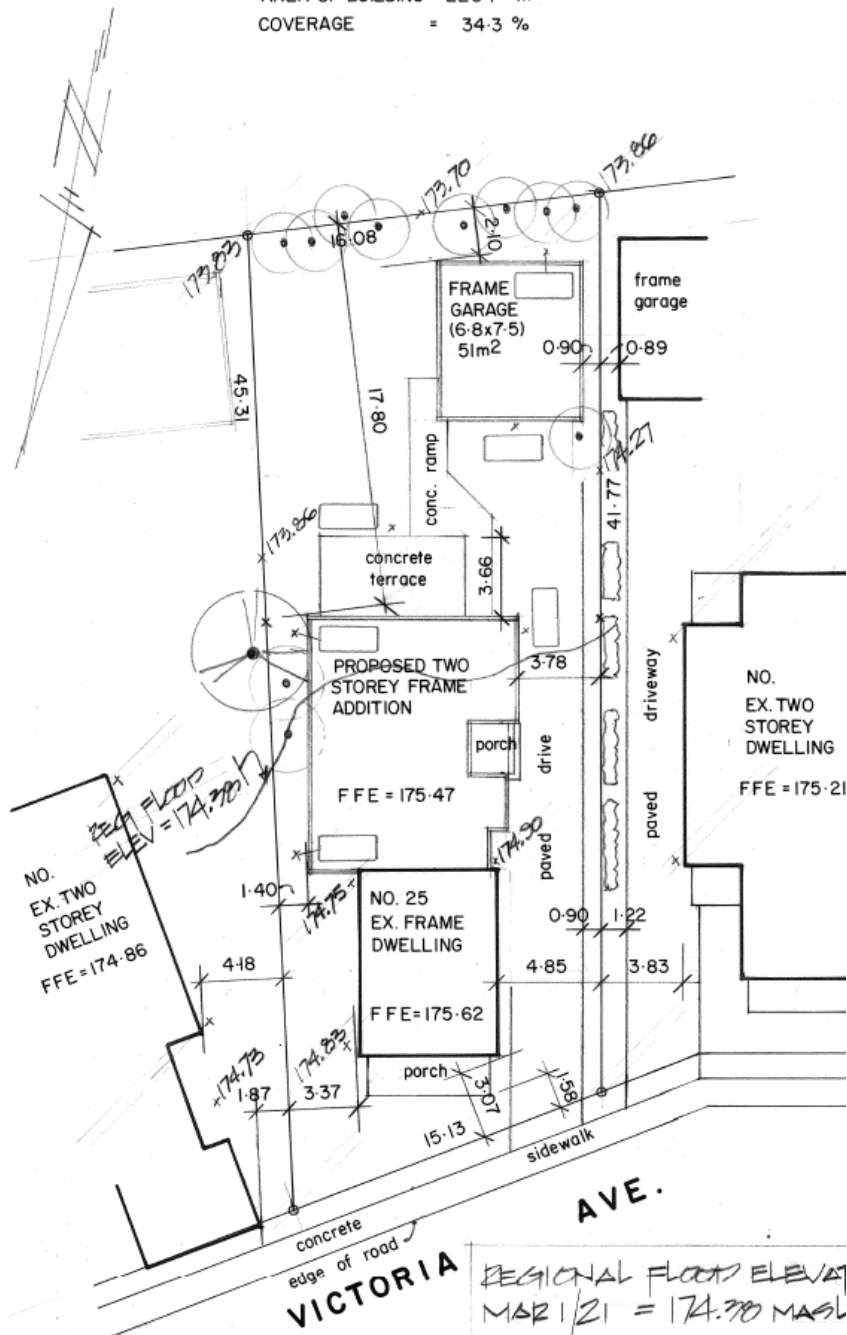
## Proposed Site Plan

### SITE PLAN

SCALE - 1:200

#### SITE INFORMATION & DATA

AREA OF LOT = 658.9 m<sup>2</sup>  
AREA OF BUILDING = 226.1 m<sup>2</sup>  
COVERAGE = 34.3 %



Proposed Elevations



Front (street facing elevation)



Rear Elevation

The image contains two architectural elevation drawings of a two-story house, labeled "WEST SIDE" and "EAST SIDE".

**WEST SIDE Elevation:** This drawing shows the left side of the house. It features a gabled roof with a small dormer window. The main body of the house has a vertical siding pattern. There are several windows, including a large double window on the ground floor and smaller windows on the upper floor. A small porch with a gabled roof is located on the far left. Dimensions are provided along the left and right sides of the drawing.

**EAST SIDE Elevation:** This drawing shows the right side of the house. It also features a gabled roof. The main body of the house has a vertical siding pattern. There are several windows, including a large double window on the ground floor and smaller windows on the upper floor. A small porch with a gabled roof is located on the far right. Dimensions are provided along the left and right sides of the drawing.

# Attachment4- Design Checklist for Alterations and Additions to Heritage Buildings

## Unionville Heritage Conservation District Plan

### Design Checklist – Additions to Heritage Buildings

\* Unionville Heritage Conservation District Plan should be consulted for specific wording, if necessary

Policy (P) or guideline (G)	Review/ Comments on Specific Application
<b>District Principles</b> <b>3.1 Overall Goal</b> To ensure the retention and conservation of the District's heritage resources and to guide change so that it contributes to and does not detract from the District's architectural, historical and contextual character. <b>3.2.3 New Development Objective</b> -to encourage compatible infill construction that will enhance the District's heritage character and complement to area's village-like, human scale of development. - to guide the design of new development to be sympathetic and compatible with the heritage resources and character of the District while providing for contemporary needs.	<ul style="list-style-type: none"> <li>The applicant proposes to retain the two storey portion of the existing heritage dwelling, but proposes to demolish an existing one storey tail that appears to be a historic kitchen tail, typically constructed on a substandard foundation with no basement.</li> <li>There may be features that could be salvaged for use on the existing house.</li> </ul>
<b>4.2.2 Additions to Heritage Buildings (P)</b> Additions should be consistent with the guidelines found in Section 9.3	<ul style="list-style-type: none"> <li>See below</li> </ul>
<b>9.1 Streetscapes (G)</b> Streetscape elevations should be provided for each street that will be impacted by new development. New development is not to overwhelm the streetscape but blend in/ re-enforce character	<ul style="list-style-type: none"> <li>Due to the proposed location of the addition, it should not overwhelm the existing streetscape despite being taller than the existing heritage dwelling.</li> </ul>
<b>9.3 Addition to Heritage Buildings (G)</b>	
<b>9.3.1 Location</b> - attached exterior additions should be located at the rear or on an inconspicuous side - additions to be limited in size and scale in relationship to the historic building	<ul style="list-style-type: none"> <li>The proposed addition is appropriately located at the rear of the existing heritage building but this also necessitates the removal of the existing one storey historic tail in order to provide connection between the existing second floor of the heritage house and the second floor of the proposed addition.</li> <li>Small connection between heritage house and new addition is lower than</li> </ul>

Policy (P) or guideline (G)	Review/ Comments on Specific Application
	heritage roof
<b>9.3.2 Design – Building Form</b> - form of original building should be considered - attached addition should not dominate the street presence nor detract from any important historical features	<ul style="list-style-type: none"> <li>The proposed addition does not dominate the street presence or detract from any important historical features, but it does not reflect the form of the existing heritage building in terms of its complexity or roof types;</li> <li>The proposed addition does not detract from any important historic features.</li> </ul>
<b>9.3.3 Design – Scale</b> - additions should reflect the scale of the existing heritage buildings - an addition should not be greater in scale than the existing building - larger additions can be reconfigured into smaller components	<ul style="list-style-type: none"> <li>A larger addition</li> </ul>
<b>9.3.4 Design- Overall</b> - additions should be constructed to have the least possible loss of historic materials/ and character defining features are not obscured - additions should be clearly differentiated from the historic building, but be compatible in terms of mass, materials, composition and colour	<ul style="list-style-type: none"> <li>Although the proposed addition proposes the loss of the existing historic one storey rear kitchen tail, this represents the only logical and appropriate place to construct a new addition to the existing dwelling.</li> <li>The proposed addition is clearly differentiated from the existing historic building, but is not compatible in terms of its form and massing;</li> <li>More subtle means of differentiating the addition from the existing historic dwelling are recommended, such as a change in the exterior cladding from old to new.</li> </ul>

## Unionville Heritage Conservation District Plan

### Design Checklist – Alterations to Heritage Buildings

\* Unionville Heritage Conservation District Plan should be consulted for specific wording, if necessary

Policy (P) or guideline (G)	Review/ Comments on Specific Application
<b>District Principles (P)</b> <b>3.1 Overall Goal</b> To ensure the retention and conservation of the District's heritage resources and to guide change so that it contributes to and does not detract from the District's architectural, historical and contextual character.	<ul style="list-style-type: none"> <li>The 1 ½ storey portion of the existing heritage house is to be conserved, but the existing one storey rear tail is proposed to be demolished to allow for the proposed two storey addition;</li> </ul>
<b>9.4 Alterations to Heritage Buildings (G)</b>	
<b>9.4.1 Roofs</b> -conserve and maintain original roof forms (i.e.	<ul style="list-style-type: none"> <li>The applicant proposes to change the distinctive historic roof of the front</li> </ul>

Policy (P) or guideline (G)	Review/ Comments on Specific Application
<p>roof configuration, materials, architectural details)</p> <ul style="list-style-type: none"> <li>- encourage restoration of a roof and details to original state- use physical and archival evidence. If material is unknown most common historic material was sawn cedar shingles laid with a 4 ½ to 5 ½ exposure.</li> <li>- alternative materials can be used – good quality composition shingle (asphalt) is acceptable.</li> </ul> <p><b><u>Roof Features</u></b></p> <ul style="list-style-type: none"> <li>- locate vents, dormers, equipment away from public views/ inconspicuous as possible.</li> <li>- locate solar panels, skylights and satellite equipment on new additions; not heritage fabric.</li> <li>- retain original chimneys. Non-functioning chimneys can be capped/ repointed rather than removed.</li> <li>- ensure new chimneys are complementary in design to originals and building’s architectural style.</li> </ul>	<p>porch to create a full width front veranda of a standard, schematic non-historic design. Not supported.</p> <ul style="list-style-type: none"> <li>• The applicant proposes to remove a non-functioning modern brick chimney located on the west elevation of the historic portion of the house. Supported</li> </ul>
<p><b>9.4.2 Exterior Cladding</b></p> <ul style="list-style-type: none"> <li>- conserve and maintain original, external finishes. Repair rather than replacement. If replacement is necessary, material should match the original in form, style, dimensions, profile, texture and method of installation.</li> <li>- only replace specific components that are deteriorated rather than the entire board or wall.</li> <li>- don’t apply new surfaces or coatings that alter the appearance and character or the original cladding.</li> <li>- metal and synthetic sidings are not supported</li> <li>- remove unsympathetic sidings (i.e. aluminium and vinyl, tile, anglestone, etc) and restore to original state using physical/ archival evidence. If unknown, use a traditional siding material appropriate to the building and commonly used in the District.</li> </ul> <p><b><u>Existing Wood</u></b></p> <ul style="list-style-type: none"> <li>- only replace when it has lost its material integrity/ ability to hold a surface coating.</li> <li>- keep wood painted/ don’t strip bare.</li> </ul> <p><b><u>Existing Brick</u></b></p> <ul style="list-style-type: none"> <li>- only repoint masonry when it is badly</li> </ul>	<ul style="list-style-type: none"> <li>• The drawings do not indicate whether the exterior cladding of the heritage house is new, existing or the original historic cladding;</li> <li>• The drawings should be revised to indicate that the underlying historic cladding is to be uncovered, and restored.</li> </ul>

Policy (P) or guideline (G)	Review/ Comments on Specific Application
<p>deteriorated or if water penetration is an issue. Normal for older mortar to be weathered back</p> <ul style="list-style-type: none"> <li>- don't disturb old mortar in good condition.</li> <li>- use those skilled and experienced in historic mortar if repointing is necessary</li> <li>- use hand tools to cut out masonry and mortar to minimize risk of damage</li> <li>- match new mortar in terms of colour, composition (such as soft lime rich variety for pre-1920), and pointing method.</li> <li>- don't paint unpainted brick surfaces</li> <li>- if painted, ensure that the brick is not a soft brick that was meant to be painted.</li> <li>- don't seal brick surfaces with silicones or waterproof coatings as these can trap moisture.</li> </ul> <p><b><u>Cleaning Claddings</u></b></p> <ul style="list-style-type: none"> <li>- always use the gentlest method</li> <li>- avoid abrasive cleaning methods that strip wood of existing finishes or impact historic masonry (sandblasting, waterblasting, harsh chemical cleaners.</li> <li>- test cleaning methods in an inconspicuous sample area</li> </ul>	
<p><b>9.4.3 Windows and Doors</b></p> <ul style="list-style-type: none"> <li>- original windows and doors to be conserved and well maintained</li> <li>- if a component is deteriorated beyond repair, the component should be replicated in the same material, style and proportion- not the entire unit</li> <li>- encourage replacement of newer windows and doors that are unsympathetic to the building. Replacements should reflect the original condition using physical/archival evidence. If original design is unknown, use a design appropriate to the building style.</li> </ul> <p><b><u>Openings (Altering/New)</u></b></p> <ul style="list-style-type: none"> <li>- avoid altering original door and window openings – not appropriate</li> <li>- if necessary, new window or doors should only be introduced on the rear or other inconspicuous elevations – Respect the size and placement of traditional openings elsewhere on the building.</li> </ul> <p><b><u>Shutters</u></b></p> <ul style="list-style-type: none"> <li>- conserve and maintain original shutters. Repair rather than replace. If replacement is needed, match the original materials, form,</li> </ul>	<ul style="list-style-type: none"> <li>• Elevations do not indicated whether windows are existing historic windows or new replacement windows.</li> <li>• Any historic windows should be retained and identified as such on the elevations.</li> </ul>

Policy (P) or guideline (G)	Review/ Comments on Specific Application
<p>style, dimensions, profile, texture, method of installation.</p> <ul style="list-style-type: none"> <li>- base the introduction of shutters on the style of the building, and available physical/archival evidence.</li> </ul> <p><b><u>Storm Windows/Doors</u></b></p> <ul style="list-style-type: none"> <li>- encourage the use of traditional ext. storm windows. Pane division should match underlying window or be simpler.</li> <li>- encourage the use of traditional, simple, wood screen/storm door</li> </ul> <p><b><u>Thermopane Windows</u></b></p> <ul style="list-style-type: none"> <li>- original windows in good condition should not be replaced with thermopane units</li> <li>- if completely deteriorated original windows or newer windows require replacement and restoration in a traditional manner is not to be pursued, the use of a thermopane replacement window is an option. The thermopane windows unit to be the same size, proportion and posses the correct pane division- true divided lites with real externally perceivable muntin bars</li> </ul>	
<p><b>9.4.4 Foundation</b></p> <ul style="list-style-type: none"> <li>- conserve and maintain original foundation materials. Repair as opposed to replacement.</li> <li>- only replace specific components that are deteriorated rather than the entire wall.</li> <li>- don't apply new surfaces or coatings that alter the foundation's appearance and character (i.e. parging)</li> </ul> <p><b><u>Repair to Fieldstone</u></b></p> <ul style="list-style-type: none"> <li>- only undertake repointing when it is badly deteriorated or when water penetration is an issue. Don't disturb old mortar in good condition.</li> <li>- use those skilled and experienced in historic mortar if repointing is necessary</li> <li>- use hand tools to cut out mortar to minimize risk of damage</li> <li>- match new mortar in terms of colour, composition (such as soft lime rich variety for pre-1920), and pointing method.</li> </ul>	<ul style="list-style-type: none"> <li>• It is assumed that the existing granite fieldstone foundation is to be retained, as drawings do not indicate the relocation of the existing house or construction of a new basement.</li> </ul>
<p><b>9.4.5 Architectural Details</b></p> <ul style="list-style-type: none"> <li>- conserve and maintain original architectural details. Repair is preferred over replacement.</li> </ul>	<ul style="list-style-type: none"> <li>• The front elevation proposes the removal of the original historic front</li> </ul>

Policy (P) or guideline (G)	Review/ Comments on Specific Application
<ul style="list-style-type: none"> <li>- If replacement is necessary, material should match the original in form, style, dimensions, profile, texture and method of installation.</li> <li>- only replace specific deteriorated materials rather than the entire feature.</li> <li>- introducing specific architectural details should be based on the style of the building and any physical/ archival evidence</li> <li>- if shutters are used- traditional louvered wood variety, fit the window shape, be ½ of the width of the window, and attached at the frame.</li> </ul>	<p>porch roof. Not supported</p> <ul style="list-style-type: none"> <li>• The elevations do not indicate whether the shutters are existing modern inappropriate shutters or historically authentic wooden louvered shutters.</li> <li>• Shutter are not shown on side elevations</li> </ul>
<p><b>9.4.6 Porches</b></p> <ul style="list-style-type: none"> <li>- conserve and maintain original porches - an integral part of heritage building</li> <li>- if a component such as bracket, post or railing has deteriorated, the feature should be replicated in the same material, style or proportion</li> <li>- encourage the replacement of newer, unsympathetic porches. Use archival/physical evidence. If original design is unknown, use a design appropriate to the style of the building</li> <li>- filling in or removal of porches to be avoided</li> </ul>	<ul style="list-style-type: none"> <li>• The proposed front veranda does not conserve the original porch roof and is therefore not supported.</li> </ul>
<p><b>9.4.7 Paint Colour</b></p> <ul style="list-style-type: none"> <li>- retain original exterior paint finish/colour if still intact. Repaint using original colours.</li> <li>- encourage researching colour used on the structure or used in the period of construction.</li> <li>- select colours suitable and appropriate to the period and style of the building and compatible with surrounding heritage buildings.</li> <li>- don't paint unpainted barns and driving sheds</li> <li>- keep historically painted surfaces painted (don't strip to bare wood)</li> <li>- don't paint brick surfaces</li> </ul>	<ul style="list-style-type: none"> <li>• Exterior colours are not specified in elevations.</li> <li>• Appropriate heritage colour will need to be confirmed</li> </ul>
<p><b>9.4.8 Energy Conservation</b></p> <ul style="list-style-type: none"> <li>- ensure alterations related to energy conservation measures are sensitive to the original heritage features.</li> <li>- encourage the use of insulation (basement and attic)</li> <li>-encourage proper maintenance such as caulking and sealing</li> </ul>	

Policy (P) or guideline (G)	Review/ Comments on Specific Application
<ul style="list-style-type: none"> <li>- interior or exterior storms to improve thermal efficiency.</li> </ul>	
<b>9.4.9 Accessibility Considerations</b> <ul style="list-style-type: none"> <li>- highest level of access for those with disabilities with the lowest level of impact on heritage features</li> <li>- introduce barrier free access requirements so that character defining spaces, features, details and finishes are preserved.</li> </ul>	
<b>9.4.10 Landscape and Building Features</b> <ul style="list-style-type: none"> <li>- conserve and maintain existing features that are considered to be significant (fences, walkways, gardens, driveways, sheds, walls</li> <li>- encourage restoration of heritage gardens</li> <li>- new parking areas should be introduced in a manner that has minimal impact on lawns, gardens, mature vegetation.</li> </ul>	<ul style="list-style-type: none"> <li>• Assume front yard fence is to be retained</li> </ul>
<b>9.4.11 Restoration</b> <ul style="list-style-type: none"> <li>- recommend undertaking historical and architectural research to formulate a restoration plan.</li> <li>- retain as much of the original building fabric as possible when restoration occurs</li> </ul>	<ul style="list-style-type: none"> <li>• Original historic underling wood siding should be exposed and restored if possible, or accurately replicated if it is not feasible to restore.</li> </ul>

## Attachment 5 – Design Checklist for New Construction - Garage

### Unionville Heritage Conservation District New Construction - Garage

\* Unionville Heritage Conservation District Plan should be consulted for specific wording, if necessary.

Address: \_\_25 Victoria Ave\_\_\_\_\_

Plan Policy or Guideline	Specific Application Comment
<b>4.3 New Buildings</b> - A successful new building should not stand out or challenge the character of the street – it should blend in and re-enforce the heritage character	<ul style="list-style-type: none"><li>• New detached garage is setback on property</li></ul>
<b>4.3.1 Design Approach</b> - New buildings should complement the immediate physical context and streetscape by: <ul style="list-style-type: none"><li>- being of generally the same height, width and orientation of adjacent buildings;</li><li>- being of similar setback;</li><li>- being of like materials and colours, and,</li><li>- using similarly proportioned windows, door and roof shapes.</li></ul>	
<b>9.1.1 Streetscapes – Overview</b> - New developments should not overwhelm the streetscape but rather blend in and reinforce the heritage character.	<ul style="list-style-type: none"><li>• New detached garage is setback on property</li></ul>
<b>9.2.1 Style</b> The style of new construction should be sensitive to its surroundings. It need not imitate exactly the older styles of existing local buildings but should respond to the spirit of its surroundings. <ul style="list-style-type: none"><li>• Design a product of its own time but reflects one of the District’s historic styles;</li><li>• Consistent approach to design elements within the chosen style;</li><li>• Simplicity is the overwhelming local architectural character;</li></ul>	<ul style="list-style-type: none"><li>• Drawings not provided</li></ul>

Plan Policy or Guideline	Specific Application Comment
<ul style="list-style-type: none"> <li>The predominant historical style on the street should be considered when selecting a style for new houses.</li> </ul>	
<b>9.2.2 Overall Scale</b> - While new construction may vary in scale from the surrounding development, it should fit in with existing streetscape in terms of rhythm, alignment and spacing. - The scale of larger buildings can be reduced by breaking up the façade and overall massing into elements that reflect adjacent building forms.	
<b>9.2.4 Building Form: Height</b> - Compatible with traditional height pattern in the District (1 ½ - 2 storeys), regard for the heights of adjoining buildings. - Submission of scaled streetscape with adjoining structures, two on corner lots.	
<b>9.2.5 Location and Setbacks</b> - Accessory buildings should not form part of the front façade, but be located towards the rear of the property.	<ul style="list-style-type: none"> <li>Detached garage complies with setback guideline</li> </ul>
<b>9.2.6.1 Roofs – Historic Types</b> - Roof types for new buildings should be compatible with historic roof forms in the area and the selected building style.	
<b>9.2.6.6 &amp; 9.2.6.7 Dormers</b> - Dormers in new construction should be consistent with the style of the building and follow traditional scale and proportions.	
<b>9.2.7.1 Windows</b> - Windows in new construction should reflect the historic windows styles in the District, and be consistent with the architectural style of the building.	
<b>9.2.7.4 Windows – Muntin Bars</b> - Where divided windows are proposed, they should either be true divided panes or exterior adhered muntin bars. - The pane divisions should be compatible with the style of the house.	
<b>9.2.7.8 Window and Door Placement</b> - On facades visible from the street, windows should maintain historic proportions and placement patterns. - A door should be visible on the front façade and placed in a traditional manner.	

Plan Policy or Guideline	Specific Application Comment
<b>9.2.7.10 Doors – Historic Styles</b> - The style of door should be consistent with the architectural style of the house and reflect local historic styles. - Wood doors are preferred.	
<b>9.2.9 Cladding Materials</b> - Materials used in new construction should be compatible with the historic materials used in the District. - Avoid modern materials that do not reflect the historical architecture of the District, such as vinyl, aluminum, stone and smooth stucco.	
<b>9.2.13.1 &amp; 9.2.13.2 Garages</b> - Garages should be set back from the street and preferably separate from the building face. - Garages should be located toward the rear or at the side towards the rear of a building. - Detached garages are encouraged.	<ul style="list-style-type: none"> <li>• Garage complies with guidelines</li> </ul>