



MEMORANDUM

TO: Heritage Markham Committee

FROM: Peter Wokral, Senior Heritage Planner

DATE: February, 9 2022

SUBJECT: Site Plan Control Applications
Proposed New Detached Dwellings
50 and 52 Nelson St. Markham Village
SPC 21 140 & SPC 21 142835

Property/Building Description: Existing modern singled detached dwelling originally constructed in the 1950's and altered and expanded in the following decades

Use: Residential

Heritage Status: Property is located within the Markham Village Heritage Conservation District - identified as a Type C building that does not contribute to the heritage character of the district.

Application/Proposal

The owner of the property proposes to demolish the existing detached two-storey dwelling which occupies and straddles two building lots addressed as 50 and 52 Nelson St. in order to construct two, new, two-storey detached dwellings on each lot.

Background

- The properties are located at a dead end of the western portion of Nelson St. and are remote from any cultural heritage resource;
- The proposed new dwellings will necessitate the extension and possible connection of the east and west portions of Nelson St. to make it a through street;

Staff Comment

50 Nelson Street

- The traditional design features of the proposed house for 50 Nelson Street appear to be at odds with, and mismatched to the proposed interior layout and volumes of the house;

- Issues of concern include the overall absence of an architectural style, use of consistent design details reflective of the selected style, garage projection, variety of windows treatment, etc.
- See attached New Residential Infill Design Checklist for further comments.
- The applicant could be asked to re-design the exterior treatment to reflect a more traditional residential design. Or as an alternative approach, given that this site is remote and not located near any heritage resources a “Modern Complementary Design Approach that reconciles the interior with the exterior and possibly reflects the mill history of the area and other small scale historic industrial buildings may be preferable to the “Complementary by Approximation” traditional design that is proposed (see images of historic Markham Township mills and early industrial buildings);

52 Nelson Street

- The interior layout and volumes of the proposed house seem better adapted to traditional house designs, but the design features should better reflect local material and traditions;
- See attached New Residential Infill Design Checklist for further comments.
- The proposed roof deck terrace is not supported as it incongruous with the proposed architectural style of the dwelling, and for its potential negative impacts on the privacy of the neighbouring property owner to the east.

Suggested Recommendation for Heritage Markham

THAT the design of the proposed dwelling at 50 Nelson Street be revised with the assistance of Heritage Section staff better reflect the materials and building traditions of historic Markham buildings, and brought back to Heritage Markham for further review.

OR

THAT the design of the proposed dwelling at 50 Nelson Street be revised with the assistance of Heritage Section staff to better reconcile the floor plan with the exterior, and reflect the materials and building traditions of Markham Township historic mills and other historic industrial buildings, to be brought back to Heritage Markham for further review;

AND THAT the design of the proposed dwelling at 52 Nelson Street be revised with the assistance of Heritage Section staff to delete the proposed roof top terrace and better reflect the materials and building traditions of historic Markham buildings, and brought back to Heritage Markham for further review.

ATTACHMENTS

Attachment “A” – Location Map and Photograph

Attachment “B” – Proposed Site Plan and Elevations for 50 Nelson St.

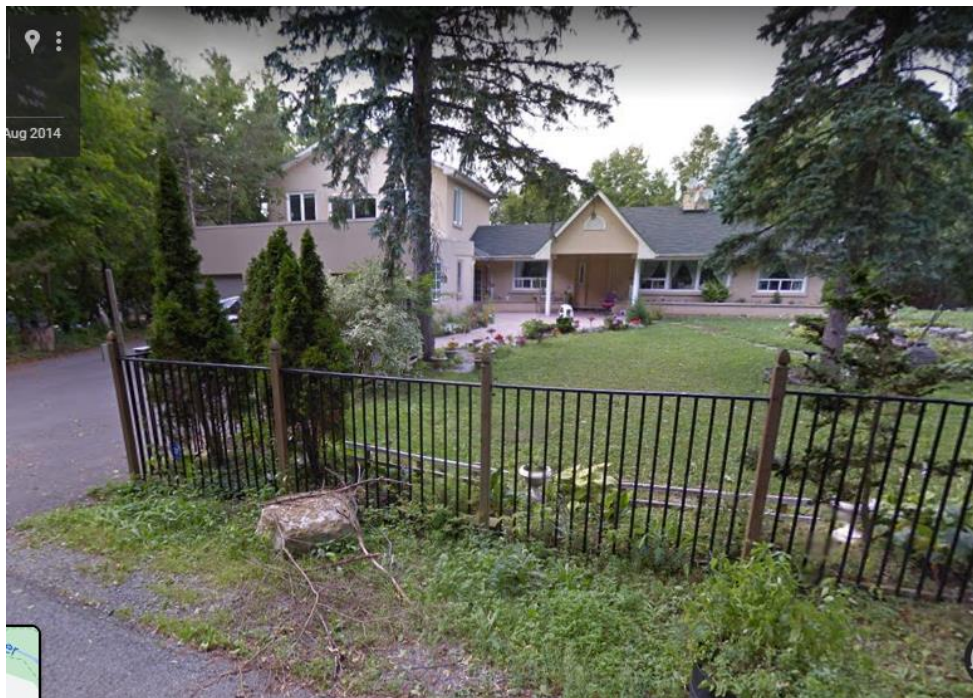
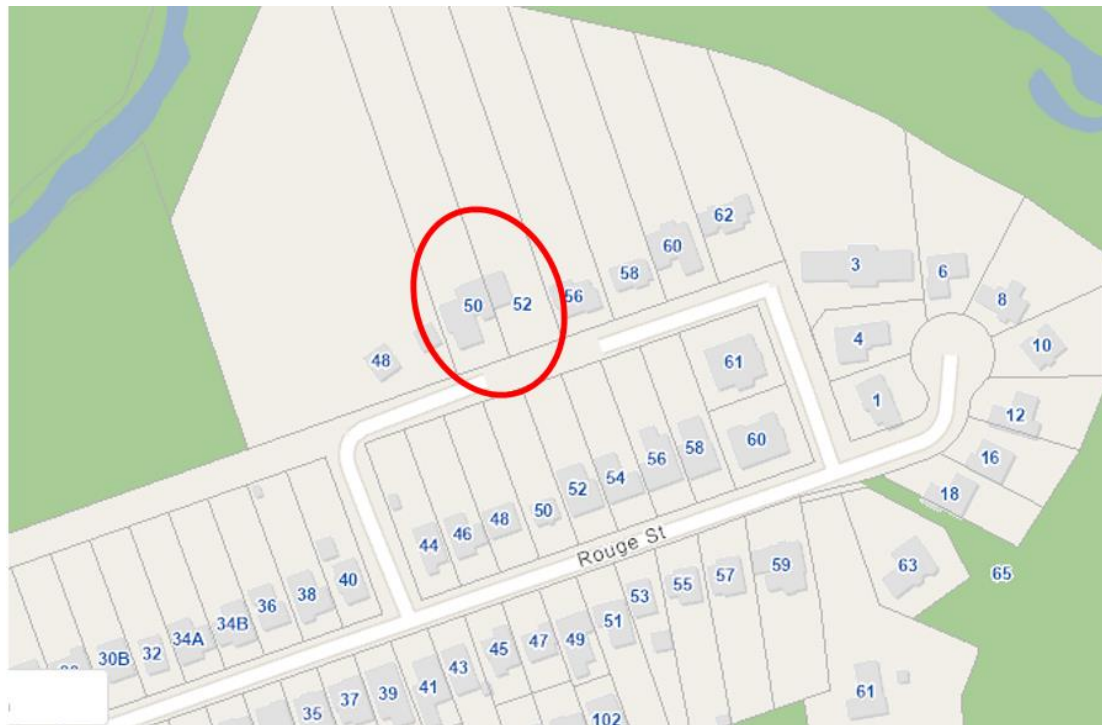
Attachment “C” - Proposed Site Plan and Elevations for 52 Nelson St.

Attachment “D” - Examples of Historic Mills and Industrial Buildings of Markham Township

File: 50 & 52 Nelson Street

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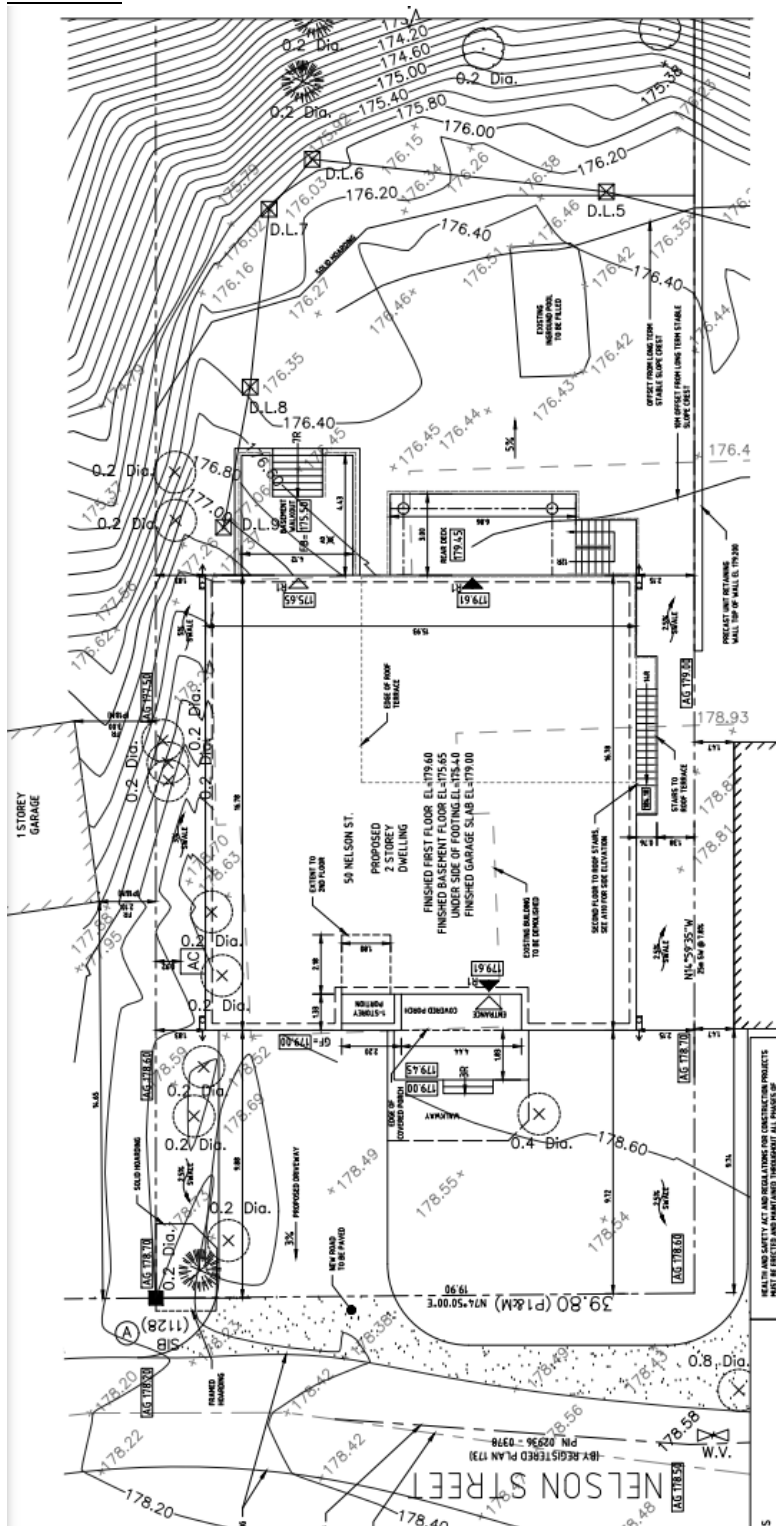
ATTACHMENT “A” - Location Map and Photograph
50 and 52 Nelson Street, Markham Village Heritage Conservation District



Existing non-heritage dwelling occupying lots at 50 & 52 Nelson St.

Proposed Site Plan and Elevations for 50 Nelson St.

Site Plan



Architectural elevation drawing of a two-story house with a garage. The drawing includes the following dimensions and annotations:

- Vertical Dimensions (Left Side):**
 - TOP OF ROOF: 0'-1 3/4"
 - TOP OF DBL. PLATE: 3'-0"
 - US OF HIGHEST LEAVES: 9'-0"
 - US OF FLOOR JOISTS: 1'-0"
 - US OF FLOOR JOISTS: 2'-0"
 - ESTABLISHED GRADE (175.000): 2'-0"
 - AVERAGE GRADE / CROWN OF ROAD (175.484): 1'-0"
- Horizontal Dimensions (Left Side):**
 - 27'-0" (8445)
 - 14'-0"
- Annotations:**
 - PROPERTY LINE
 - UNEXCAVATED AREA
- Numbered Callouts (1-10):**
 - 1: Gable roof sections
 - 2: Main roof section
 - 3: Small roof section over porch
 - 4: Small roof section over porch
 - 5: Small roof section over porch
 - 6: Small roof section over porch
 - 7: Small roof section over porch
 - 8: Small roof section over porch
 - 9: Small roof section over porch
 - 10: Small roof section over porch

Architectural elevation drawing of a building facade. The drawing includes a table of area calculations for the exposed building face and unprotected areas.

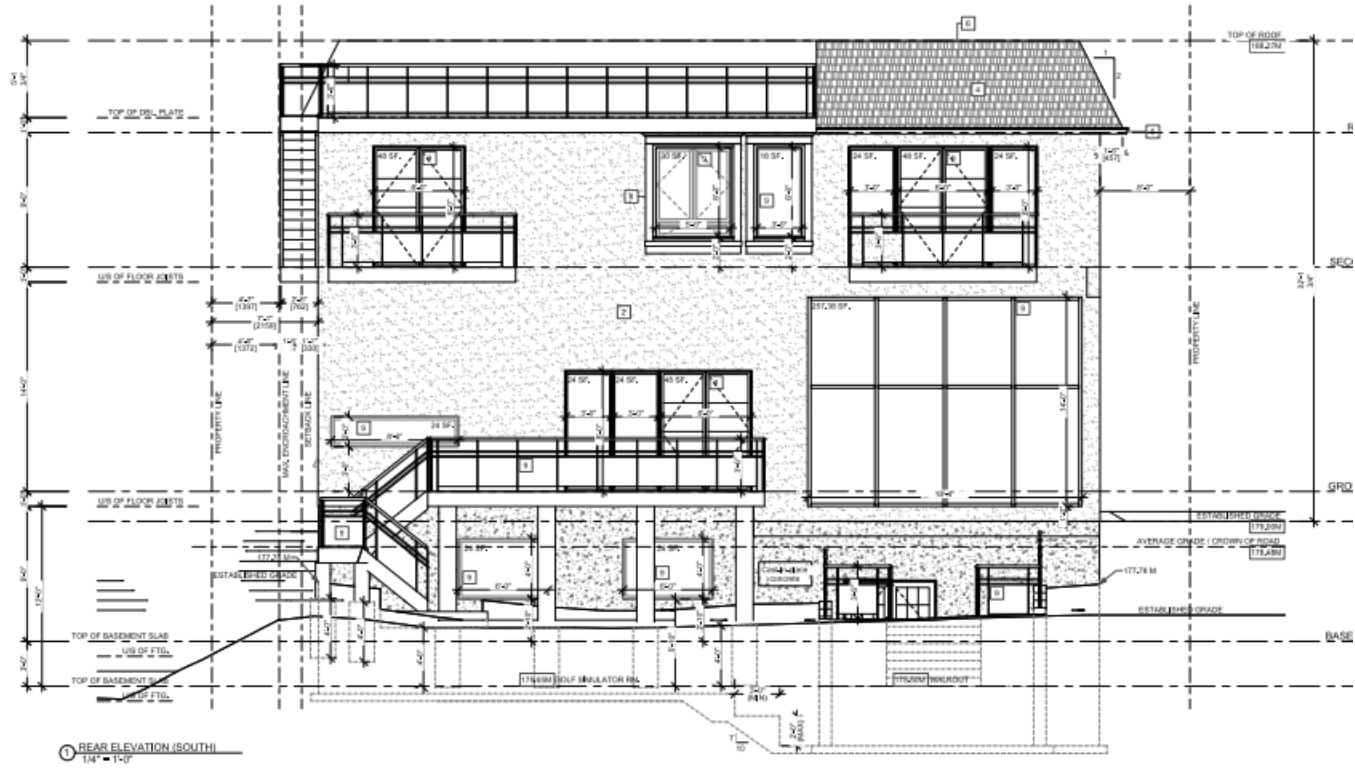
EXPOSED BUILDING FACE:	1200.8 S.F. (111.6 S.M.)	7.8%
UNPROTECTED AREA:	54 S.F. (5.0 S.M.)	0.0%
PERMITTED:	96.1 S.F. (8.9 S.M.)	0.0%

The drawing shows a two-story building with a brick facade, a gabled roof, and a stone base. It includes a fire-rated door, a fire escape, and a fire alarm pull station. The drawing is labeled with various dimensions and area calculations.

West (left) Elevation



Rear (north) Elevation



Markham Village Heritage Conservation District
New Residential Infill

* Markham Village Heritage Conservation District Plan should be consulted for specific wording, if necessary

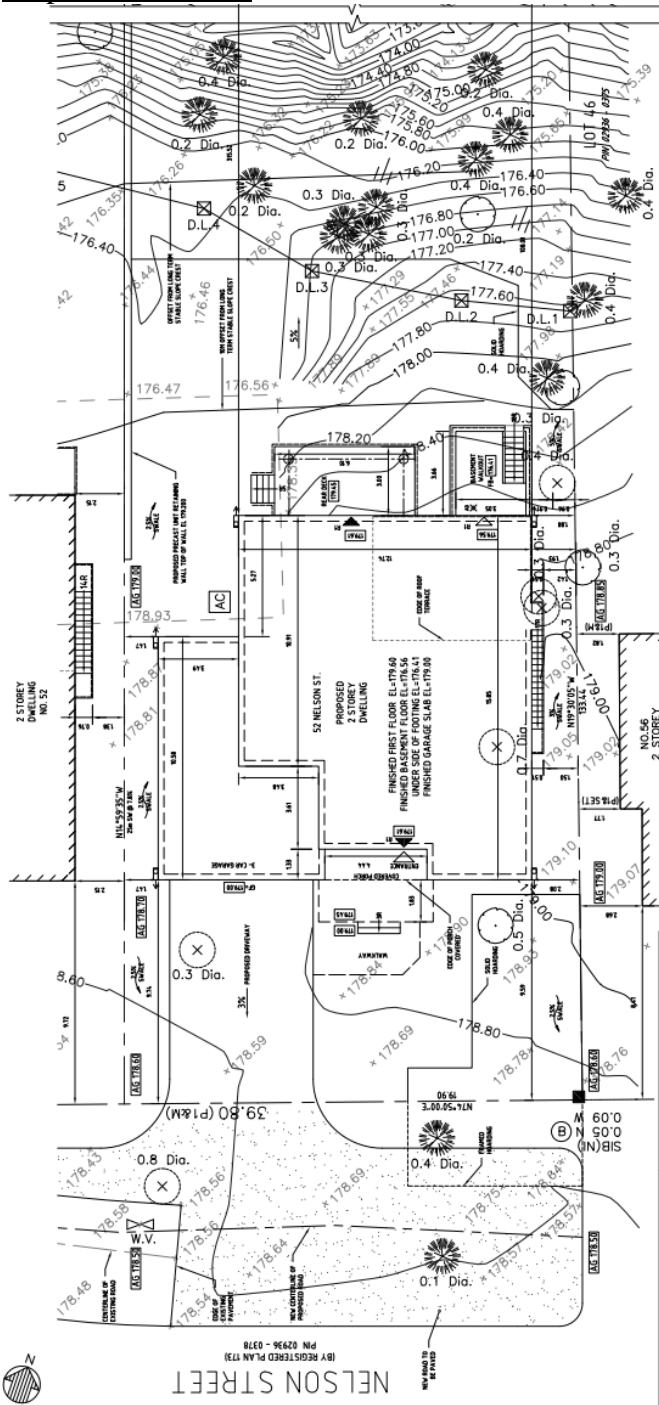
Address: 50 Nelson St.

Plan Policy or Guideline	Specific Application Comment
3.1 Heritage Approach a) <u>Restoration</u> – care needed to ensure that the reproduction of an entire building is typical of the period without pretending to be original. b) <u>Complementary by Approximation</u> - understanding overall designs, patterns, urban form with reference to heritage buildings c) <u>Modern Complementary</u> - more modern approach for architectural style – maintain scale, massing, proportions of heritage buildings	Design appears to be Complementary by Approximation using diverse features of traditional architecture applied to a modern interior layout and volume in an inconsistent and superficial fashion. A Modern Complementary approach taking inspiration from the former mills and industrial uses of the Vinegar Dip area may be preferable to better reconcile the interior with the exterior, and reflect the unique history of the area.
4.2 Residential Building Guidelines - approach will differ according to sub-area, and adjacent buildings characteristics - assess each situation on individual basis	This remote site not adjacent to any heritage resources would seem to offer an opportunity for architectural flexibility and experimentation, but design elements should still be logical and true to their function.
4.2.1 Residential Proportions/Height - be compatible in terms of height, massing and proportions with adjacent heritage buildings - size of new structures –neither dominate adjacent heritage buildings nor be diminutive.	This site is not adjacent to any heritage buildings and existing adjacent buildings are likely to be replaced given their type ‘C’ status.
4.2.2 Residential Setbacks and Siting - new infill not to obscure adjacent heritage buildings. - new infill and garages, fences etc to correspond and complements adjacent buildings unless adjacent is con-conforming - garages, parking should be inconspicuous and separate from public face- rear and side yards.	Existing dwelling to the west is non-conforming and located a good distance from proposed location of new house, proposed new house to the east is architecturally similar. Garage is very prominent and is not recessed.
3.6 Policies – New Buildings Policy - not required to look like a restoration - judged on compatibility with adjacent bldgs. - in terms of massing, proportions and size	The proposed house does not look like restoration and is not compatible with adjacent type ‘C’ buildings.
3.6 Roof Policy (New Construction) <u>Roof shape</u> - complement dominant roof forms of adjacent buildings (gable roofs)	The proposed roof is designed to appear as the dominant gabled roof form, but is actually more flat to not intrude in the volume of

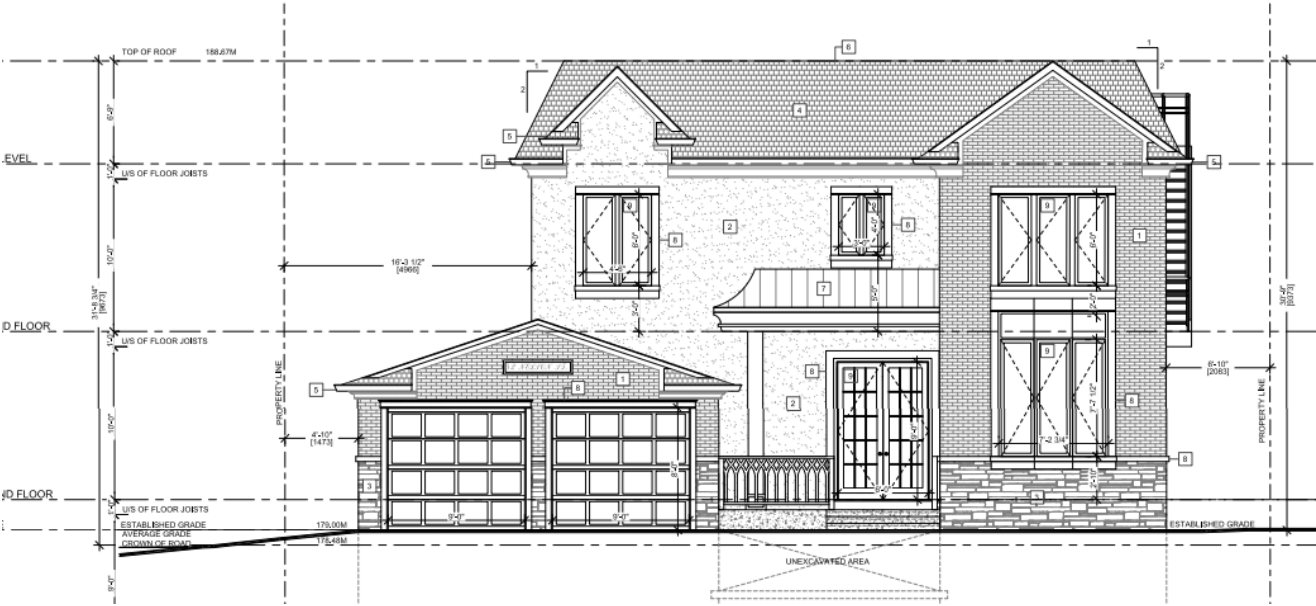
Materials- asphalt, wood shingles	second floor rooms
4.3.1 Roofs Guidelines - complement established pattern of adjacent historical buildings – pitched gable in single or multiple forms - do not use: tile, plastic, other synthetics - roof vents, skylights away from public views	Proposed roof designed to look like a pitched roof with dormers and gables while disguising a flat roof. Roofing material appears to be asphalt shingles, no sky-lights or vents are shown
3.6 Window Policy (New Construction) <u>Shape</u> – follow proportions of heritage type buildings – no picture windows	Proposed windows lack unity in style, proportions, logical placement, method of operation or appropriateness Larger windows on rear elevation would appear to have Bird Friendly implications
4.3.3 Window and Doors Guidelines - no specific guidelines for new construction	
3.6 Materials Policy (New Construction) - brick masonry or wood siding - stucco or stone may be acceptable if it complements the surroundings	Proposed exterior materials are permitted, but appear arbitrary chosen to break up massing rather than making logical sense. Although stucco may be a permitted material, clapboard siding would seem to be superior choice to reference the history of mills in Vinegar Dip
4.3.2 Exterior Finish Guidelines - materials and type of finish should complement heritage structures in district - wood cladding –horizontal clapboard or vertical board and batten as per historical methods	
3.6 Colour Policy (New Construction) -brick colour- red or yellow in harmony with other buildings - paint colour- appropriate to historical period of district	Proposed Colours are unknown but will be reviewed to ensure they are compatible with the Heritage Conservation District.
4.3.4 Paint and Colour Guidelines - paint surfaces that are historically painted - do not strip wood or leave unpainted - do not paint brick surfaces -colour selection- compatible with surrounding heritage buildings and preferred colours for walls and trim are identified (for walls: historical white, beige, light grey, sandy yellow and terra cotta.	

Proposed Site Plan and Elevations for 52 Nelson St

Proposed Site Plan



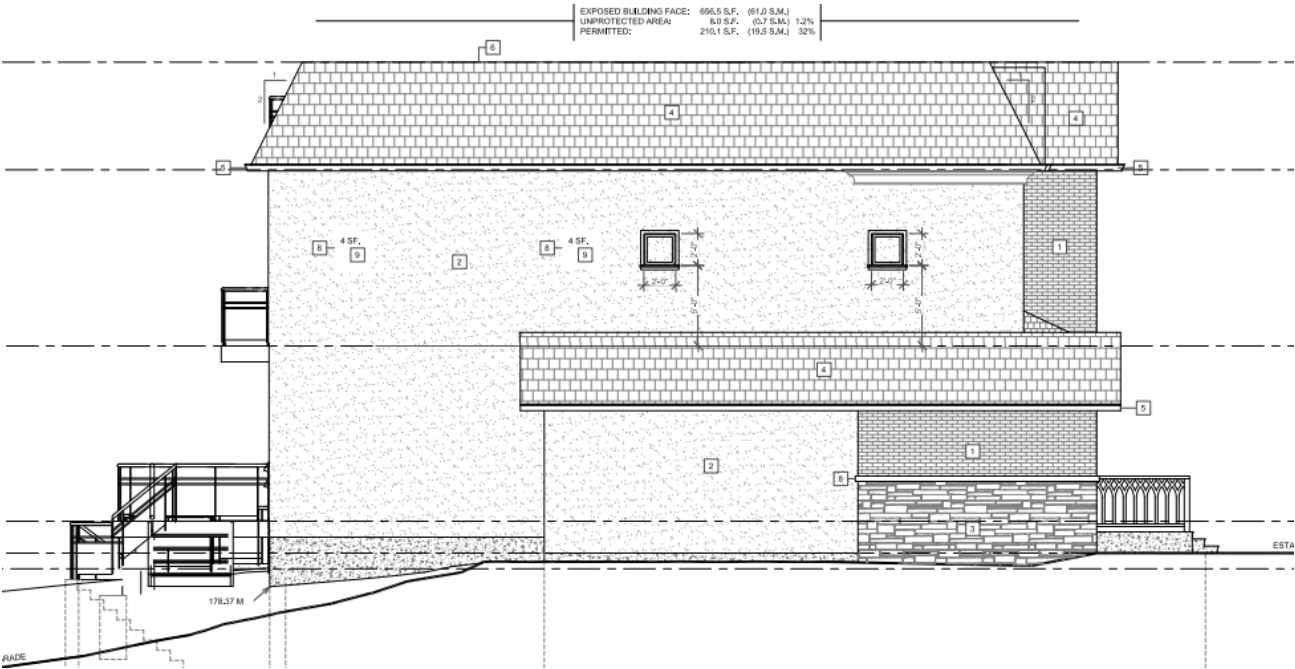
Proposed South Street facing Elevation



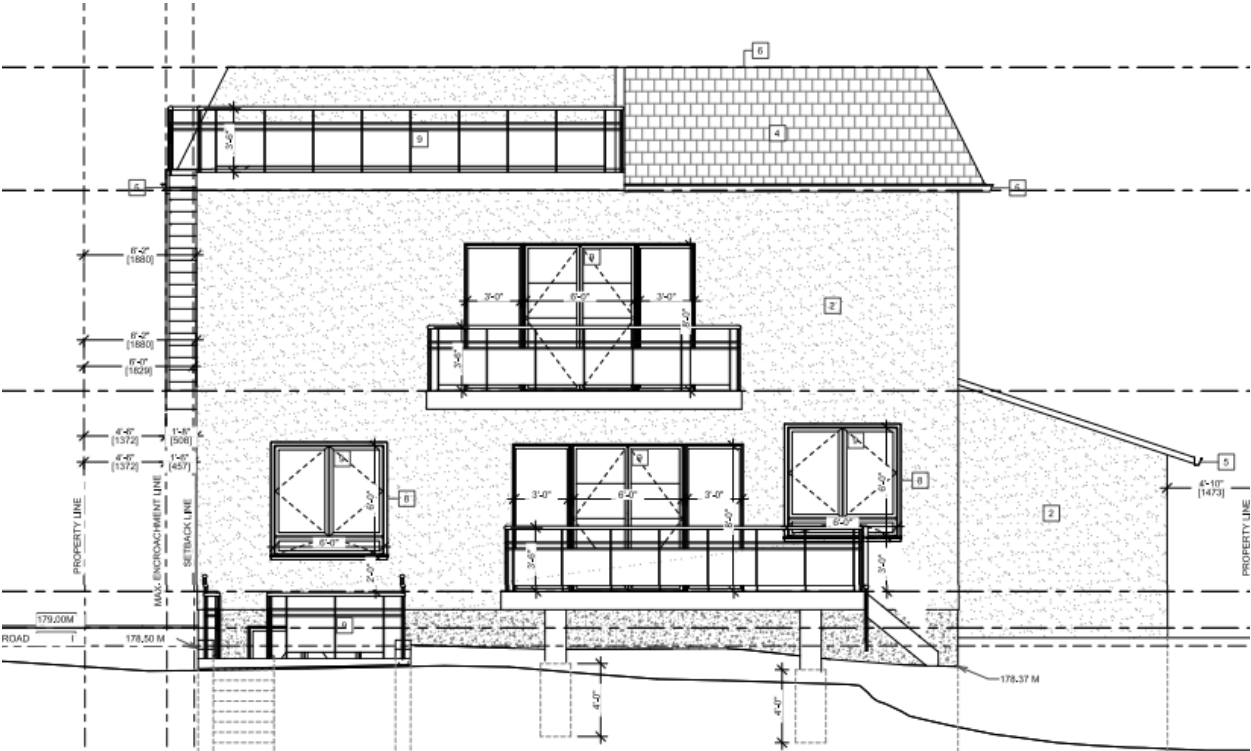
East (right) Elevation



West (left) Elevation



North (rear) Elevation



Markham Village Heritage Conservation District
New Residential Infill

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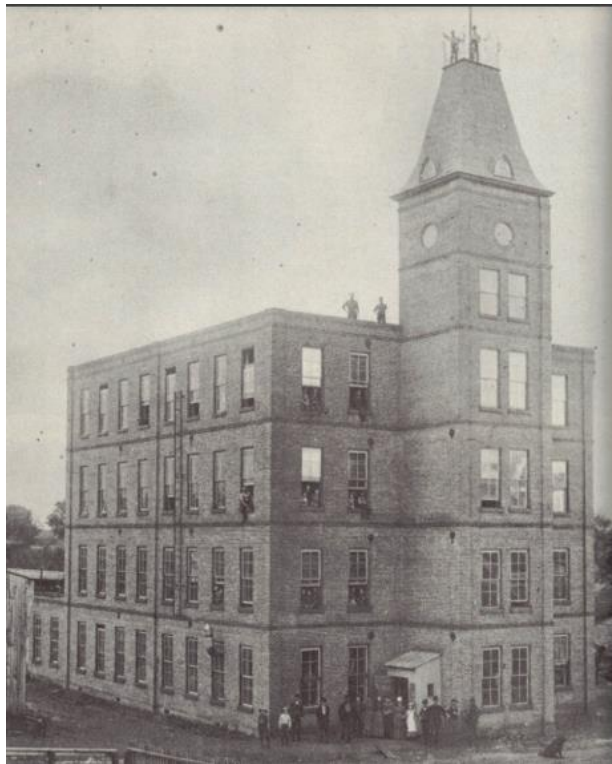
Address: 52 Nelson St.

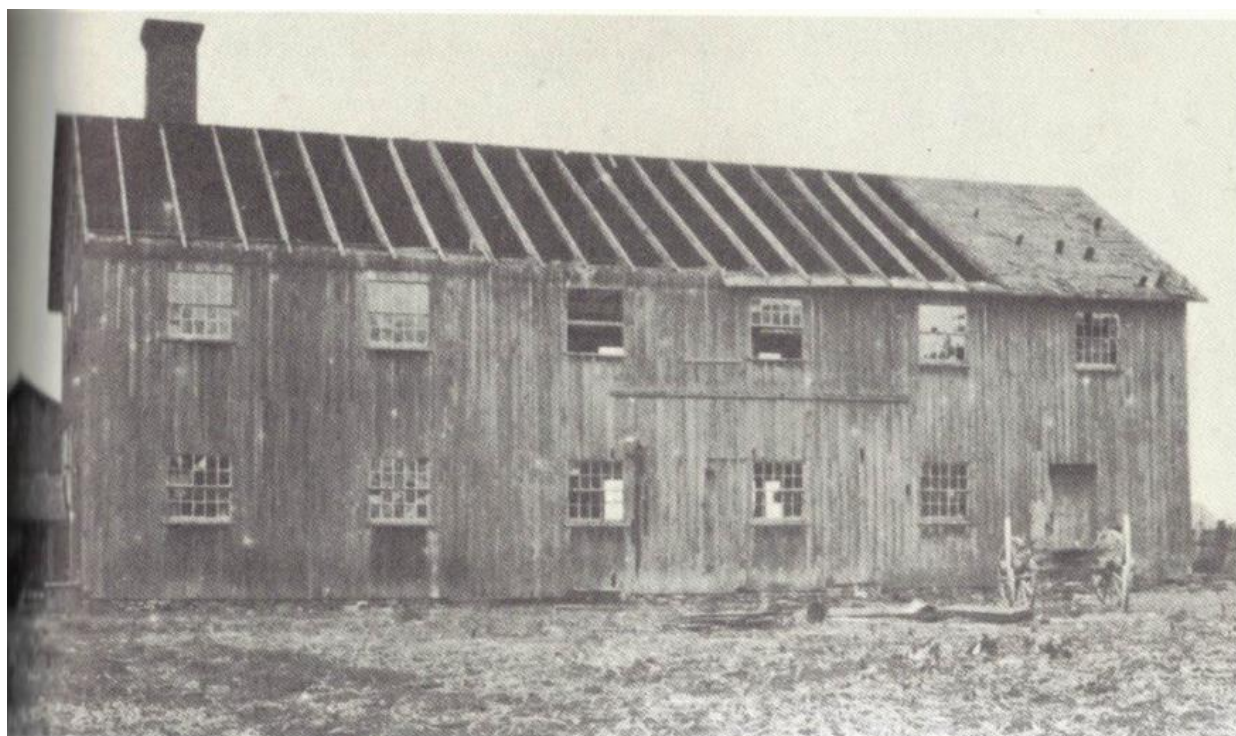
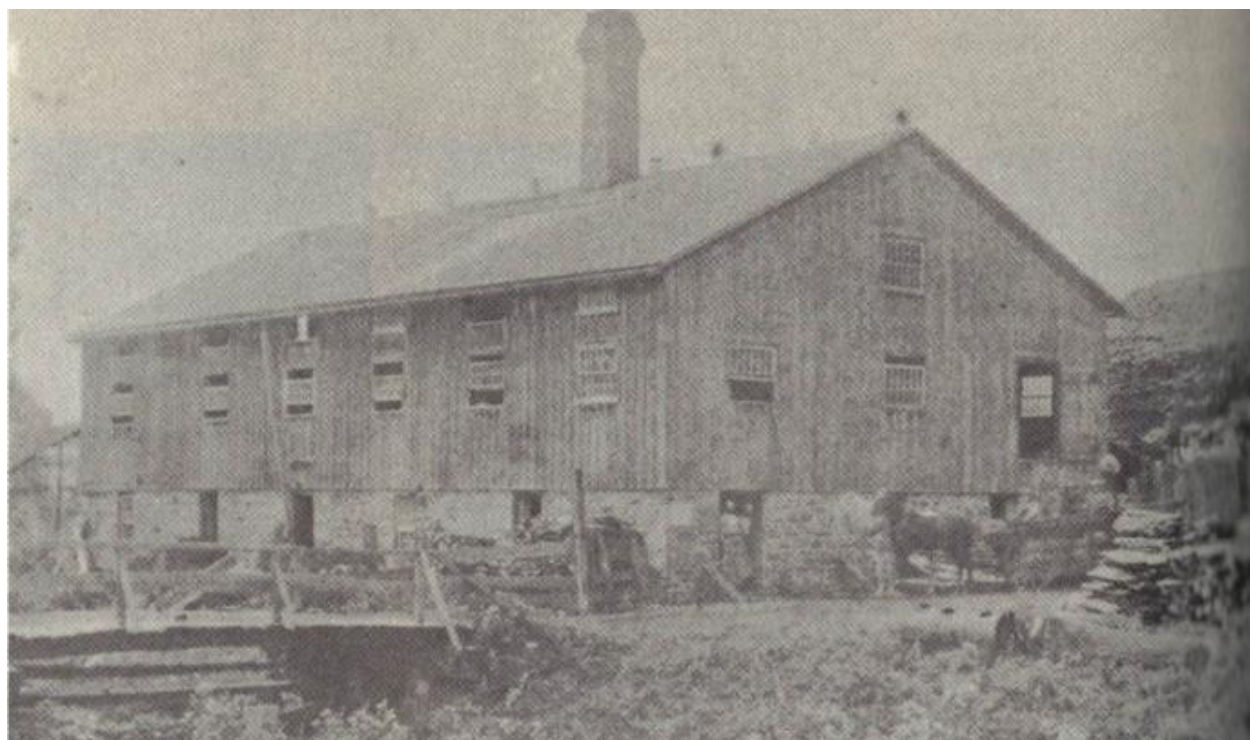
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4.2 Residential Building Guidelines - approach will differ according to sub-area, and adjacent buildings characteristics - assess each situation on individual basis	This remote site not adjacent to any heritage resources would seem to offer a unique opportunity for architectural flexibility and experimentation, while reflecting materials and building traditions of Markham.
4.2.1 Residential Proportions/Height - be compatible in terms of height, massing and proportions with adjacent heritage buildings - size of new structures –neither dominate adjacent heritage buildings nor be diminutive.	This site is not adjacent to any heritage buildings and existing adjacent buildings are likely to be replaced given their type ‘C’ status.
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3.6 Policies – New Buildings Policy - not required to look like a restoration - judged on compatibility with adjacent bldgs. - in terms of massing, proportions and size	The proposed house does not look like restoration but could be considered to be compatible in terms of size, massing and proportions to adjacent buildings.
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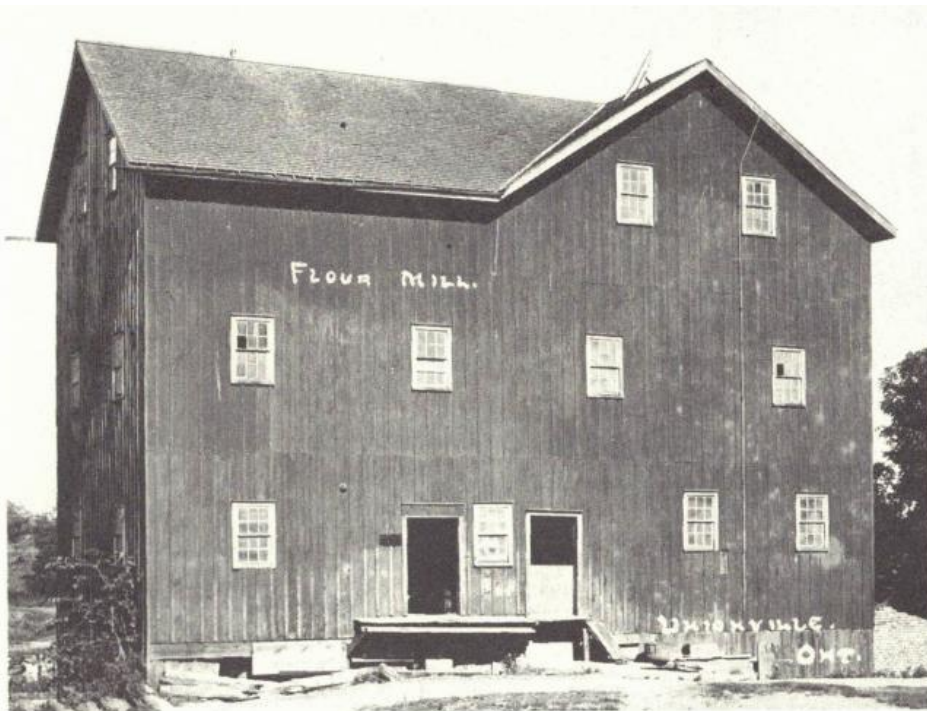
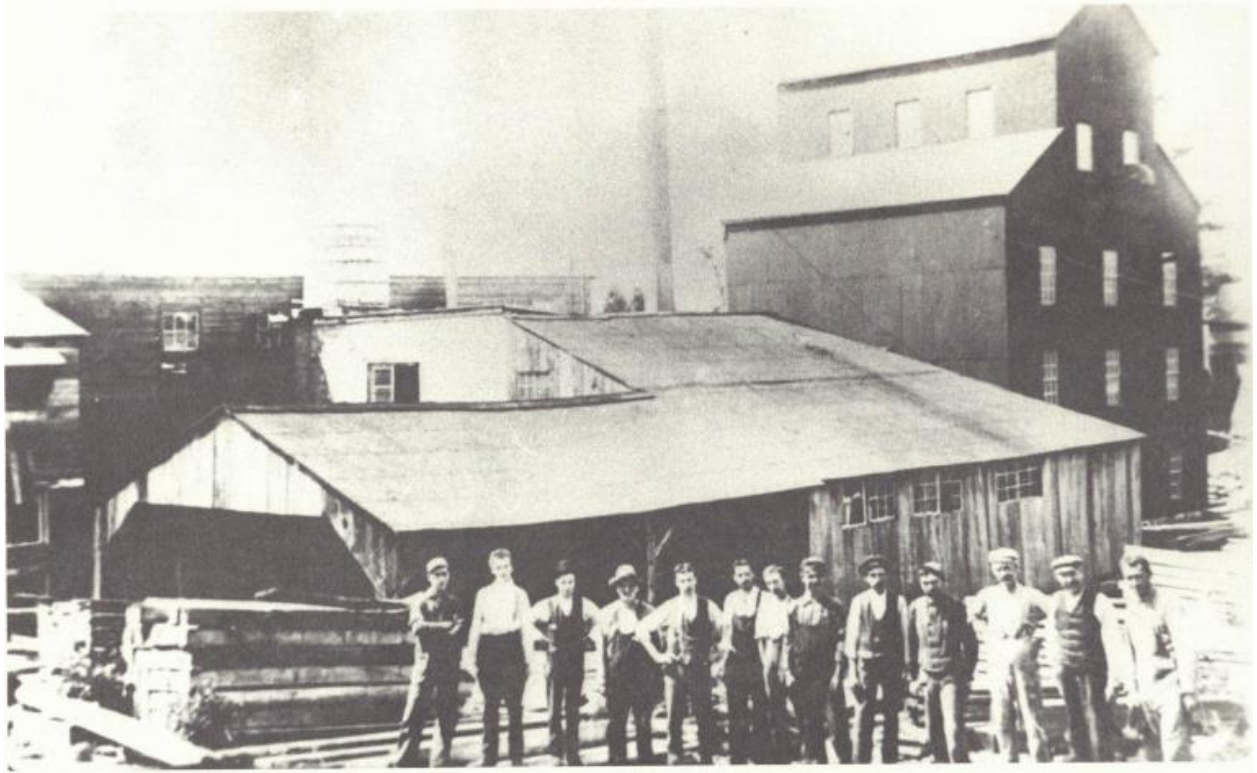
ATTACHMENT "D"

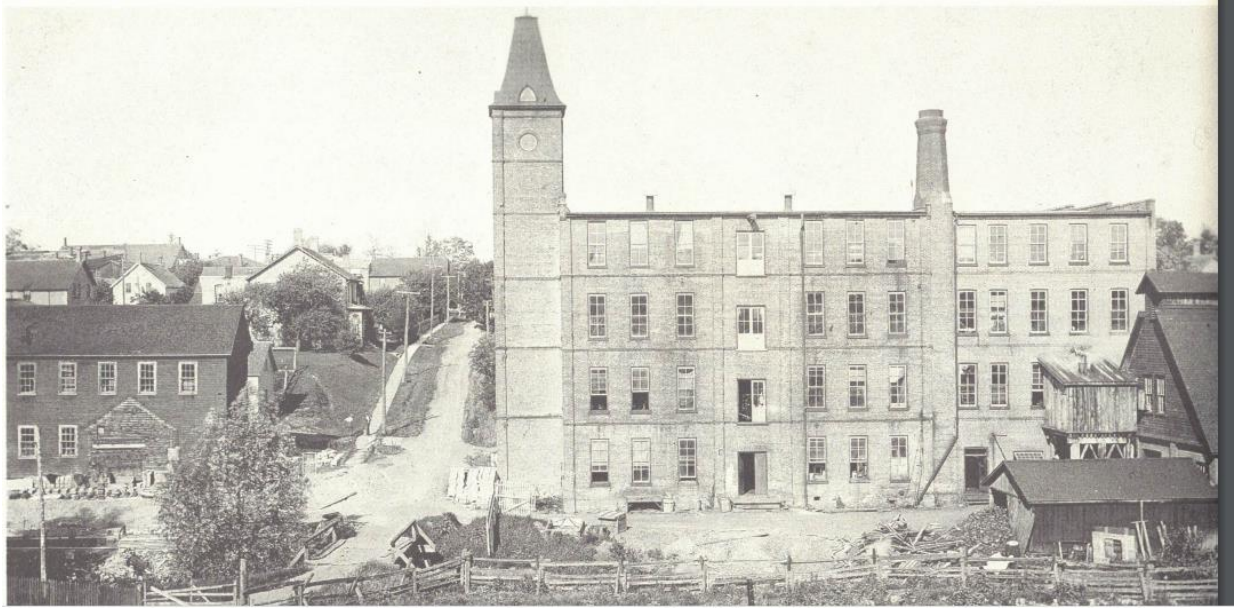
Examples of Historic Mills and Industrial Buildings of Markham Township











Hydro Transformer Building Port Hope Ontario