



MEMORANDUM

TO: Heritage Markham Committee

FROM: Peter Wokral, Senior Heritage Planner

DATE: April 13, 2022

SUBJECT: Site Plan Control Application
Proposed Addition to an Existing Heritage Dwelling
27 Victoria Ave., Unionville Heritage Conservation District
SPC 22 111838

Property/Building Description: Vernacular 1 ½ storey frame dwelling, c. 1871 with a modern one storey addition

Use: Residence

Heritage Status: Designated under Part V of the Ontario Heritage Act and identified as a Type 'A' building or buildings that define the heritage character of the district.

Application/Proposal

- The owners of the property have submitted a Site Plan Control application to the City proposing to demolish the existing rear one storey modern addition in order to construct a new two storey, rear addition that would create an additional 118.1m² (1,271 ft²) of floor area.

Staff Comment

- Staff has no objection to the demolition of the existing one storey rear addition to the heritage dwelling as it has no heritage significance;
- Staff also has no concerns regarding the general form, massing, materials and architectural details of the proposed addition. See Appendix "A" for detailed comments.
- However, staff recommends that the height of the proposed addition be lowered by at least 2 ft. to make it more in scale with the existing heritage dwelling, and that volume of the second floor rooms be captured within the proposed roof structure, as per the guidelines contained in the Unionville Heritage Conservation District Plan regarding addition to heritage buildings; (See attached guidelines);
- Given that there is an existing, historic second floor door on the west facing gable of the rear tail of the heritage portion of the house, Staff supports the creation of a small balcony within the slope of the existing veranda, rather than a full balcony on new posts (as proposed), in order to limit the amount of railing visible looking east on Victoria Ave., Railings conforming to the standards of the current Ontario Building Code are not

considered to be aesthetically compatible with historic homes, and this view of the dwelling is the most significant public view. The proposed veranda treatment would also see the removal of the historic veranda posts and replaced with a non-traditional post- this should not be supported;

- Staff also notes that a skylight has been proposed for the east slope of the tail of the heritage portion of the house. Although skylights are not considered appropriate for historic roofs or roofs visible from the public realm, staff acknowledges that this may be the preferred solution to provide some daylight to a bedroom that will have its original southward facing window(s) blocked by the proposed new addition. A flat profile skylight with glazing in a dark colour would likely be preferable to the construction of a more traditional dormer, as a new dormer would be a more significant alteration of an original roofline which would create visual clutter given the form of the proposed addition.
- A non-traditional entrance treatment has been introduced on the west elevation (new addition) with a single sidelight. However, given its location (setback) and visibility, staff had not requested revision.

Suggested Recommendation for Heritage Markham

THAT Heritage Markham has no objection from a heritage perspective to the proposed demolition of the existing one storey rear addition at 27 Victoria Avenue;

THAT Heritage Markham has no objection to the general form, massing, materials and architectural details of the proposed two storey rear addition from a heritage perspective subject to the revisions identified below;

- THAT the height of the proposed two storey addition be reduced by a minimum of 2 ft. to make the addition more in scale with the existing heritage dwelling and that the volumes of the proposed second floor rooms be contained within the roof structure;
- THAT notwithstanding the policies contained in the Unionville Heritage Conservation District Plan regarding skylights, Heritage Markham has no objection to the proposed skylight on the east facing slope of the rear tail of the heritage portion of the house provided it is flat in profile and of a glazing that closely matches the colour of the roof;
- THAT Heritage Markham does not support the proposed new veranda and balcony on the west side of the rear tail of the heritage portion of the house, but would support a smaller balcony within the existing veranda roof utilizing the existing turned porch posts;

AND THAT final review of the site plan application be referred to Heritage Section staff, provided that the revisions recommended by the Committee are incorporated into the proposal.

27 Victoria Avenue, Unionville Heritage Conservation District

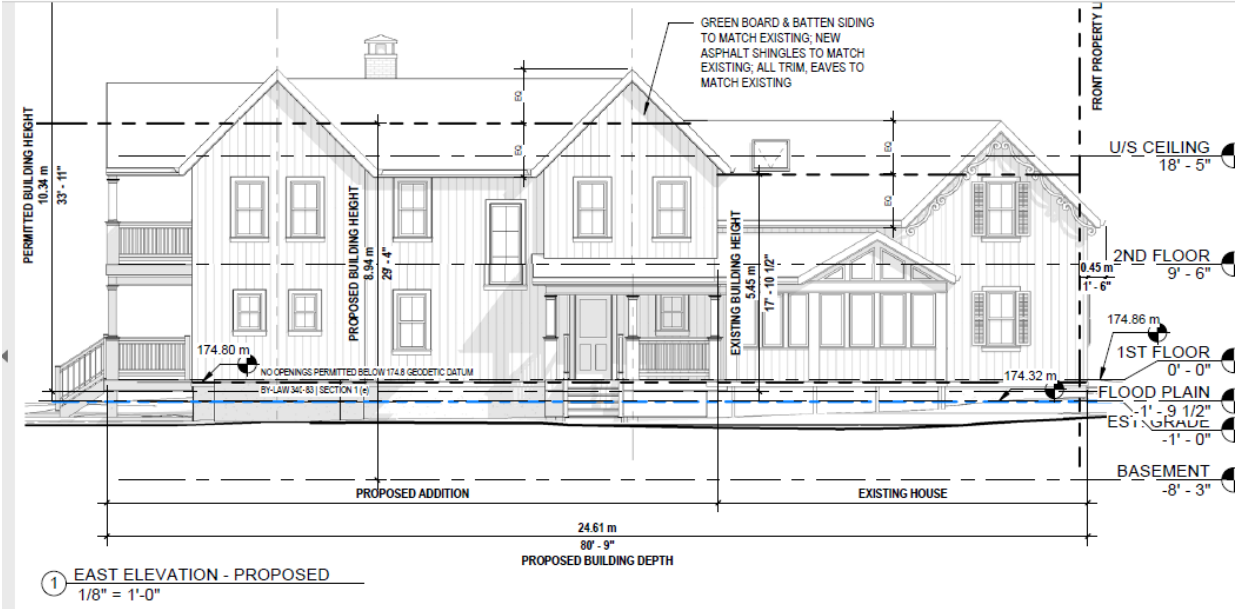


27 Victoria Avenue, Unionville Heritage Conservation District

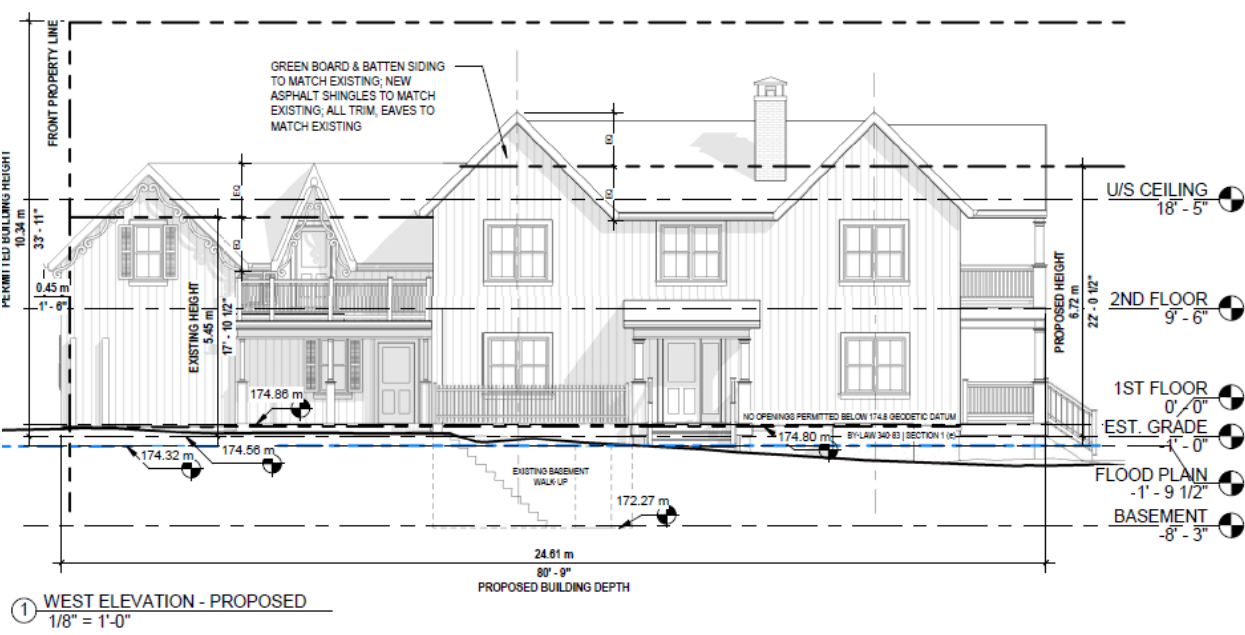


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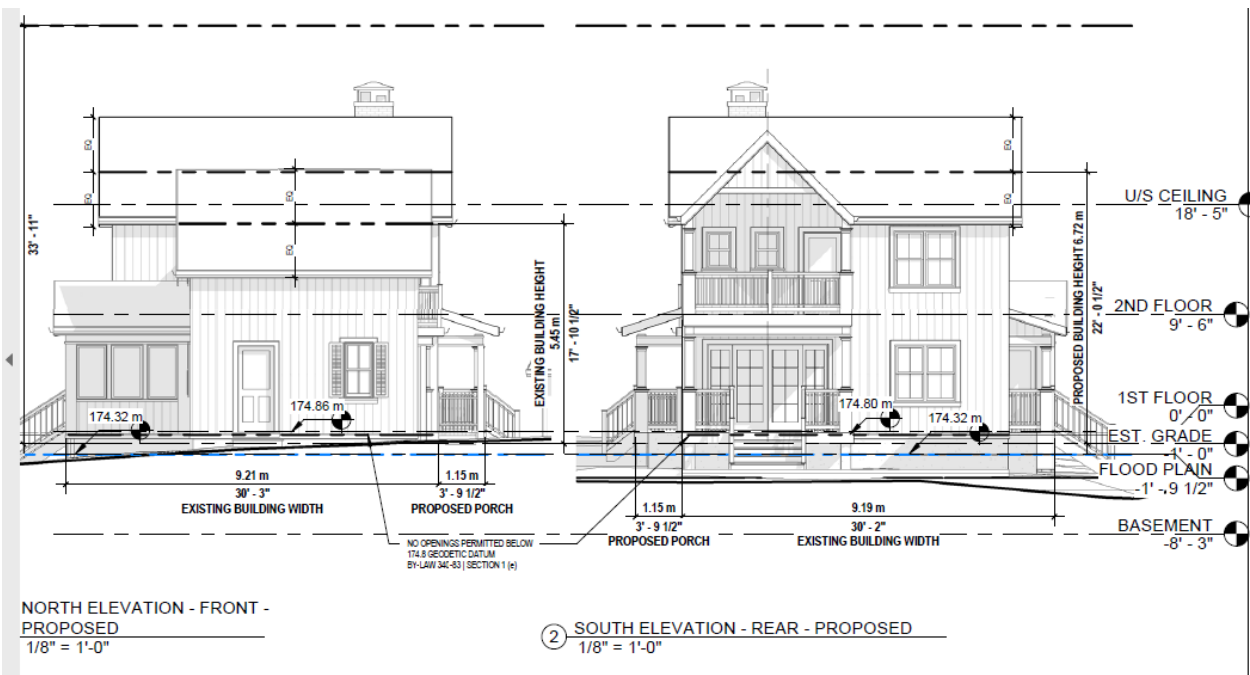
Proposed Elevations



Proposed Elevations



Proposed Elevations



Renderings of Proposed Addition



VICTORIA AVE - FRONT / SIDE YARD VIEW



AT VICTORIA AVE & VICTORIA LANE



FROM VICTORIA AVE

9.3 Additions to Heritage Buildings

9.3.3. design - scale

The overall design of an addition encompasses scale, proportion, articulation, composition, and detail. Only a balance of these elements results in a successful and compatible design. Drawing from the design of the existing building will make a complementary addition more easily achievable.

Although in some cases large additions are necessary, it is encouraged that additions be modest in scale compared to the existing buildings. It is often possible for large additions to be reconfigured into smaller structures and create a significant improvement to the overall presence.

Guidelines

1. The design of additions should reflect the scale of the existing heritage buildings.
2. An addition should not be greater in scale than the existing building.



Existing building before addition



Encouraged: modest rear addition of compatible design and scale



Appropriate: rear addition of compatible design, although scale is large



Not Appropriate: scale of addition overwhelms original house

APPENDIX A

Unionville Heritage Conservation District Plan

Design Checklist – Additions to Heritage Buildings

27 Victoria Avenue

* Unionville Heritage Conservation District Plan should be consulted for specific wording, if necessary

Policy (P) or guideline (G)	Review/ Comments on Specific Application
<p>District Principles</p> <p>3.1 Overall Goal</p> <p>To ensure the retention and conservation of the District's heritage resources and to guide change so that it contributes to and does not detract from the District's architectural, historical and contextual character.</p> <p>3.2.3 New Development Objective</p> <p>-to encourage compatible infill construction that will enhance the District's heritage character and complement to area's village-like, human scale of development.</p> <p>- to guide the design of new development to be sympathetic and compatible with the heritage resources and character of the District while providing for contemporary needs.</p>	<p>Existing heritage resource is conserved.</p>
<p>4.2.2 Additions to Heritage Buildings (P)</p> <p>Additions should be consistent with the guidelines found in Section 9.3</p>	<ul style="list-style-type: none"> • Although the proposed addition is compatible with the heritage dwelling in terms of its form, massing, materials and architectural detailing, the proposed height is out of scale with the existing heritage house, so it is recommended that the overall height be reduced by at least 2 ft. to improve its relationship with the existing house. • Although skylights are not supported on heritage roofs, the skylight proposed on the east facing slope of the rear tail of the heritage building is necessary to provide light to an existing bedroom and is a better option to adding a dormer provided the skylight is selected has a flat profile and colour similar to the existing roof; • The proposed flat roof veranda with balcony is not considered compatible with the heritage house given the railing requirements of the current Ontario Building Code. It is recommended that the proposed balcony be reduced in size and

	<p>incorporated within the slope of the existing veranda roof, using the existing turned porch posts in order to reduce the amount of railing required.</p> <ul style="list-style-type: none"> • The entrance feature on the west elevation has one sidelight which is not a typical element as per the District Plan. However, given its location, we have not recommended revision.
<p>9.1 Streetscapes (G)</p> <p>Streetscape elevations should be provided for each street that will be impacted by new development.</p> <p>New development is not to overwhelm the streetscape but blend in/ re-enforce character</p>	<p>Given the proposed location of the addition and the surrounding context, a streetscape elevation is not deemed necessary to help determine the appropriateness of the proposed alterations.</p>
9.1.X Streetscapes – Victoria Avenue (G)	Design of proposed addition reflects vernacular architecture of Victoria Avenue in terms of form, materials and simple architectural detailing.
9.3 Addition to Heritage Buildings (G)	
<p>9.3.1 Location</p> <ul style="list-style-type: none"> - attached exterior additions should be located at the rear or on an inconspicuous side - additions to be limited in size and scale in relationship to the historic building 	<p>The proposed addition is attached in the most appropriate location, but the proposed height appears out of scale with the existing heritage dwelling.</p>
<p>9.3.2 Design – Building Form</p> <ul style="list-style-type: none"> - form of original building should be considered - attached addition should not dominate the street presence nor detract from any important historical features 	<p>The proposed addition reflects the form of the existing heritage dwelling and does not detract from any important heritage features.</p>
<p>9.3.3 Design – Scale</p> <ul style="list-style-type: none"> - additions should reflect the scale of the existing heritage buildings - an addition should not be greater in scale than the existing building - larger additions can be reconfigured into smaller components 	<p>The proposed addition appears out of scale with the existing heritage dwelling due to its height.</p>
<p>9.3.4 Design- Overall</p> <ul style="list-style-type: none"> - additions should be constructed to have the least possible loss of historic materials/ and character defining features are not obscured - additions should be clearly differentiated from the historic building, but be compatible in terms of mass, materials, composition and colour 	<p>The proposed addition is easily distinguished from the heritage portion of the house.</p>

<p>match the original in form, style, dimensions, profile, texture and method of installation.</p> <ul style="list-style-type: none"> - only replace specific components that are deteriorated rather than the entire board or wall. - don't apply new surfaces or coatings that alter the appearance and character or the original cladding. - metal and synthetic sidings are not supported - remove unsympathetic sidings (i.e. aluminium and vinyl, tile, anglestone, etc) and restore to original state using physical/ archival evidence. If unknown, use a traditional siding material appropriate to the building and commonly used in the District. <p><u>Existing Wood</u></p> <ul style="list-style-type: none"> - only replace when it has lost its material integrity/ ability to hold a surface coating. - keep wood painted/ don't strip bare. <p><u>Existing Brick</u></p> <ul style="list-style-type: none"> - only repoint masonry when it is badly deteriorated or if water penetration is an issue. Normal for older mortar to be weathered back - don't disturb old mortar in good condition. - use those skilled and experienced in historic mortar if repointing is necessary - use hand tools to cut out masonry and mortar to minimize risk of damage - match new mortar in terms of colour, composition (such as soft lime rich variety for pre-1920), and pointing method. - don't paint unpainted brick surfaces - if painted, ensure that the brick is not a soft brick that was meant to be painted. - don't seal brick surfaces with silicones or waterproof coatings as these can trap moisture. <p><u>Cleaning Claddings</u></p> <ul style="list-style-type: none"> - always use the gentlest method - avoid abrasive cleaning methods that strip wood of existing finishes or impact historic masonry (sandblasting, waterblasting, harsh chemical cleaners. - test cleaning methods in an inconspicuous sample area 	
<p>9.4.3 Windows and Doors</p> <ul style="list-style-type: none"> - original windows and doors to be conserved and well maintained - if a component is deteriorated beyond repair, the component should be replicated in the same 	<p>Existing original window and door openings are retained.</p>

<p>material, style and proportion- not the entire unit</p> <ul style="list-style-type: none"> - encourage replacement of newer windows and doors that are unsympathetic to the building. Replacements should reflect the original condition using physical/archival evidence. If original design is unknown, use a design appropriate to the building style. <p><u>Openings (Altering/New)</u></p> <ul style="list-style-type: none"> - avoid altering original door and window openings – not appropriate - if necessary, new window or doors should only be introduced on the rear or other inconspicuous elevations – Respect the size and placement of traditional openings elsewhere on the building. <p><u>Shutters</u></p> <ul style="list-style-type: none"> - conserve and maintain original shutters. Repair rather than replace. If replacement is needed, match the original materials, form, style, dimensions, profile, texture, method of installation. - base the introduction of shutters on the style of the building, and available physical/archival evidence. <p><u>Storm Windows/Doors</u></p> <ul style="list-style-type: none"> - encourage the use of traditional ext. storm windows. Pane division should match underlying window or be simpler. - encourage the use of traditional, simple, wood screen/storm door <p><u>Thermopane Windows</u></p> <ul style="list-style-type: none"> - original windows in good condition should not be replaced with thermopane units - if completely deteriorated original windows or newer windows require replacement and restoration in a traditional manner is not to be pursued, the use of a thermopane replacement window is an option. The thermopane windows unit to be the same size, proportion and possess the correct pane division- true divided lites with real externally perceivable muntin bars 	<p>Existing shutters are retained.</p> <p>Existing storm windows are retained.</p> <p>Original windows are retained</p>
<p>9.4.4 Foundation</p> <ul style="list-style-type: none"> - conserve and maintain original foundation materials. Repair as opposed to replacement. - only replace specific components that are deteriorated rather than the entire wall. 	<p>No changes to existing foundation</p>

<ul style="list-style-type: none"> - don't apply new surfaces or coatings that alter the foundation's appearance and character (i.e. parging) <p><u>Repair to Fieldstone</u></p> <ul style="list-style-type: none"> - only undertake repointing when it is badly deteriorated or when water penetration is an issue. Don't disturb old mortar in good condition. - use those skilled and experienced in historic mortar if repointing is necessary - use hand tools to cut out mortar to minimize risk of damage - match new mortar in terms of colour, composition (such as soft lime rich variety for pre-1920), and pointing method. 	
<p>9.4.5 Architectural Details</p> <ul style="list-style-type: none"> - conserve and maintain original architectural details. Repair is preferred over replacement. - If replacement is necessary, material should match the original in form, style, dimensions, profile, texture and method of installation. - only replace specific deteriorated materials rather than the entire feature. - introducing specific architectural details should be based on the style of the building and any physical/ archival evidence - if shutters are used- traditional louvered wood variety, fit the window shape, be ½ of the width of the window, and attached at the frame. 	<p>Surviving heritage features are retained</p>
<p>9.4.6 Porches</p> <ul style="list-style-type: none"> - conserve and maintain original porches - an integral part of heritage building - if a component such as bracket, post or railing has deteriorated, the feature should be replicated in the same material, style or proportion - encourage the replacement of newer, unsympathetic porches. Use archival/physical evidence. If original design is unknown, use a design appropriate to the style of the building - filling in or removal of porches to be avoided 	<p>The west elevation veranda is altered with the introduction of an upper deck with railings, and the porch posts are replaced with a treatment not compatible. This should be revised.</p>
<p>9.4.7 Paint Colour</p> <ul style="list-style-type: none"> - retain original exterior paint finish/colour if still intact. Repaint using original colours. - encourage researching colour used on the structure or used in the period of construction. - select colours suitable and appropriate to the 	

<p>period and style of the building and compatible with surrounding heritage buildings.</p> <ul style="list-style-type: none"> - don't paint unpainted barns and driving sheds - keep historically painted surfaces painted (don't strip to bare wood) - don't paint brick surfaces 	
<p>9.4.8 Energy Conservation</p> <ul style="list-style-type: none"> - ensure alterations related to energy conservation measures are sensitive to the original heritage features. - encourage the use of insulation (basement and attic) - encourage proper maintenance such as caulking and sealing - interior or exterior storms to improve thermal efficiency. 	
<p>9.4.9 Accessibility Considerations</p> <ul style="list-style-type: none"> - highest level of access for those with disabilities with the lowest level of impact on heritage features - introduce barrier free access requirements so that character defining spaces, features, details and finishes are preserved. 	
<p>9.4.10 Landscape and Building Features</p> <ul style="list-style-type: none"> - conserve and maintain existing features that are considered to be significant (fences, walkways, gardens, driveways, sheds, walls - encourage restoration of heritage gardens - new parking areas should be introduced in a manner that has minimal impact on lawns, gardens, mature vegetation. 	
<p>9.4.11 Restoration</p> <ul style="list-style-type: none"> - recommend undertaking historical and architectural research to formulate a restoration plan. - retain as much of the original building fabric as possible when restoration occurs 	

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