



MEMORANDUM

TO: Heritage Markham Committee

FROM: Peter Wokral, Senior Heritage Planner

DATE: April 13, 2022

SUBJECT: Site Plan Control Applications
Proposed New Detached Dwellings
50 and 52 Nelson St. Markham Village
SPC 21 140 & SPC 21 142835

Property/Building Description: Existing modern singled detached dwelling originally constructed in the 1950's and altered and expanded in the following decades

Use: Residential

Heritage Status: Property is located within the Markham Village Heritage Conservation District - identified as a Type C building that does not contribute to the heritage character of the district.

Application/Proposal

The owner of the property proposes to demolish the existing detached two-storey dwelling which occupies and straddles two building lots addressed as 50 and 52 Nelson St. in order to construct two, new, two-storey detached dwellings on each lot.

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Background

- The properties are located at a dead end of the western portion of Nelson St. and are remote from any cultural heritage resource;
- The proposed new dwellings will necessitate the extension and possible connection of the east and west portions of Nelson St. to make it a through street;
- At the February 9th meeting of Heritage Markham, the committee did not support the architectural designs of the proposed new dwellings and recommended that the applicant work with Heritage Section Staff to achieve greater conformity with the policies and guidelines of the Markham Village District Plan as it applies to new buildings;
- The applicant has consulted Heritage Section staff to produce the revised designs for the April 13th 2022 meeting

in the hopes of having the committee delegate final review of the applications to Planning staff.

Staff Comment

50 Nelson Street

Despite proposing a metal roof, the revised architectural design of 50 Nelson St. generally complies with the District Plan policies and guidelines regarding new dwellings, but Staff recommends the following revisions to the proposed design:

- That stucco be limited to the north elevation so that it is not visible from the public realm;
- That the proposed ledge rock foundation treatment be revised to a reflect traditional stonework in terms of coursing, dimensions and stone type;
- That the proposed metal roof be a standing seam metal roof or other historically appropriate sheet type of metal;
- That the windows of the street facing façade be single or double hung in operation;
- That the proposed window opening surrounds be replaced by window details reflective of historic brick homes of Markham Village;
- That the porch details be more reflective of historic Markham porches and verandas

Heritage Staff recommends that final review of the site plan application be delegated to City Planning staff provided the above revision are incorporated into the design;

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52 Nelson Street

In the opinion of staff, the revised architectural design of 52 Nelson St. generally complies with the District Plan policies and guidelines regarding new dwellings, and the former rooftop deck has been deleted as recommended by the Committee in February 2022. However, Heritage Staff recommends the following revisions to the proposed design:

- That stucco be limited to the north elevation so that it is not visible from the public realm;
- That the proposed ledge rock foundation treatment be revised to a reflect traditional stonework in terms of coursing, dimensions and stone type;
- That the hipped roof be revised to have east and west facing gables;
- That the window facing the street be single or double hung in operation and the proposed stucco window surrounds be replaced with detailing replicating historic Markham brick work and window treatments;
- That the front porch details be more reflective of historic Markham porches and verandas.

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Heritage Staff recommends that final review of the site plan application be delegated to City Planning Staff provided the above revisions are incorporated into the design.

Suggested Recommendation for Heritage Markham

THAT Heritage Markham has no objection to the general design of the proposed new dwelling at 50 Nelson St. from a heritage perspective and delegates final review of any required development application to Heritage Section Staff subject to the implementation of the following revisions:

- 2 That stucco be limited to the north elevation so that it is not visible from the public realm;
That the proposed ledge rock foundation treatment be revised
- 2 to a reflect traditional stonework in terms of coursing, dimensions and stone type;
- 2 That the hipped roof be replaced with east and west facing gables;
- 2 That the proposed metal roof be a standing seam metal roof or other historically appropriate sheet type of metal;
- 2 That the windows of the street facing façade be single or double hung in operation;
That the proposed window opening surrounds be replaced by
- 2 window details reflective of historic brick homes of Markham Village;
- 2 That the porch details be more reflective of historic Markham porches and verandas;
That all windows and railings comply with the City's Bird Friendly Guidelines

THAT Heritage Markham has no objection to the general design of the proposed new dwelling at 52 Nelson St. from a heritage perspective, and delegates final review of any required development application to Heritage Section Staff, subject to the implementation of the following revisions:

- 2 That stucco be limited to the north elevation so that it is not visible from the public realm;
That the proposed ledge rock foundation treatment be revised
- 2 to a reflect traditional stonework in terms of coursing, dimensions and stone type;
- 2 That the hipped roof be revised to have east and west facing gables;
That the window facing the street be single or double hung in operation and the proposed stucco window surrounds be
- 2 replaced with detailing replicating historic Markham brick work and window treatments;
- 2 That the front porch details be more reflective of historic Markham porches and verandas.
That all windows and glass railings comply with the City of Markham Bird Friendly Guidelines.

ATTACHMENTS

Attachment "A" - Location Map and Photograph

Attachment "B" - Proposed Site Plan and Elevations for 50 Nelson St.

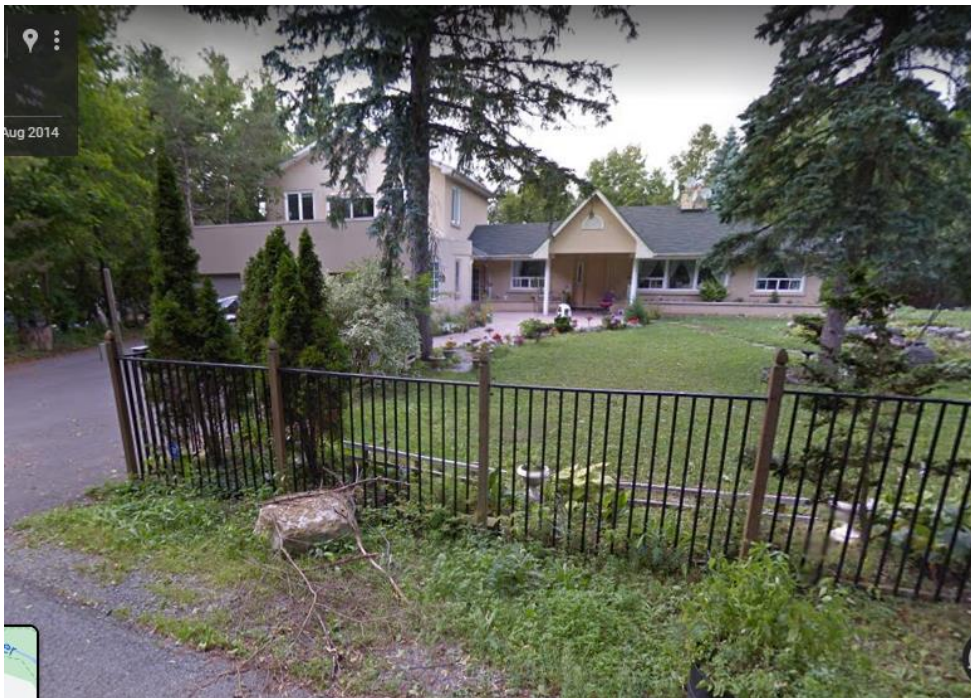
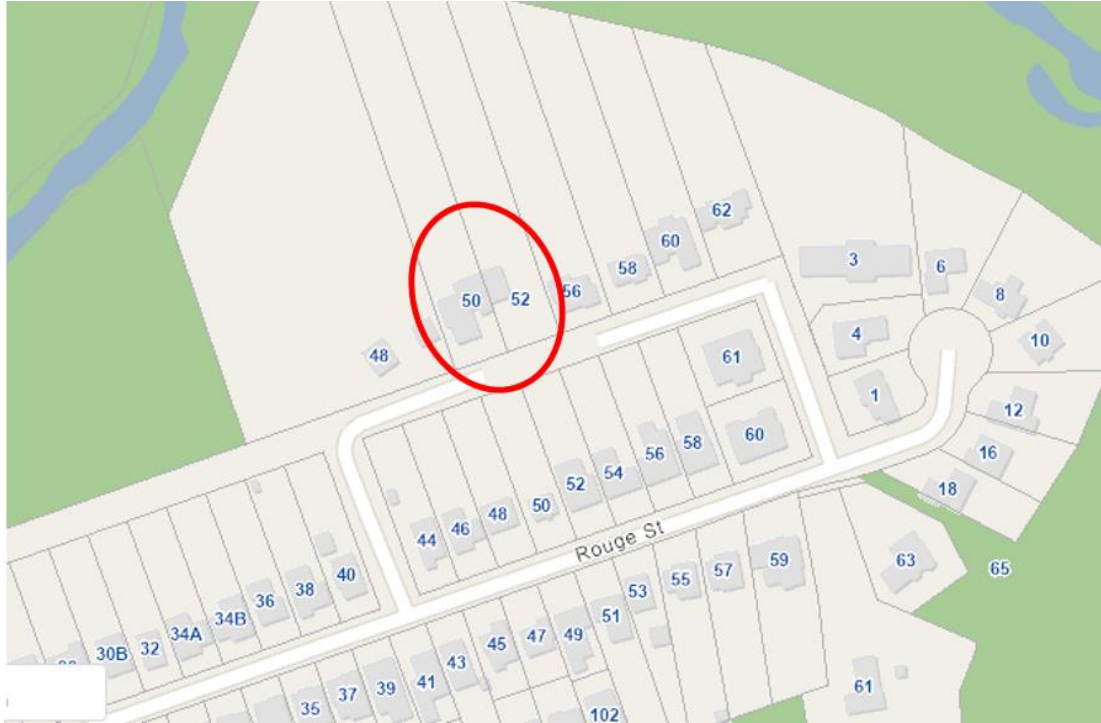
Attachment "C" - Proposed Site Plan and Elevations for 52 Nelson St.

File: 50 & 52 Nelson Street

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ATTACHMENT "A" - Location Map and Photograph

50 and 52 Nelson Street, Markham Village Heritage Conservation District

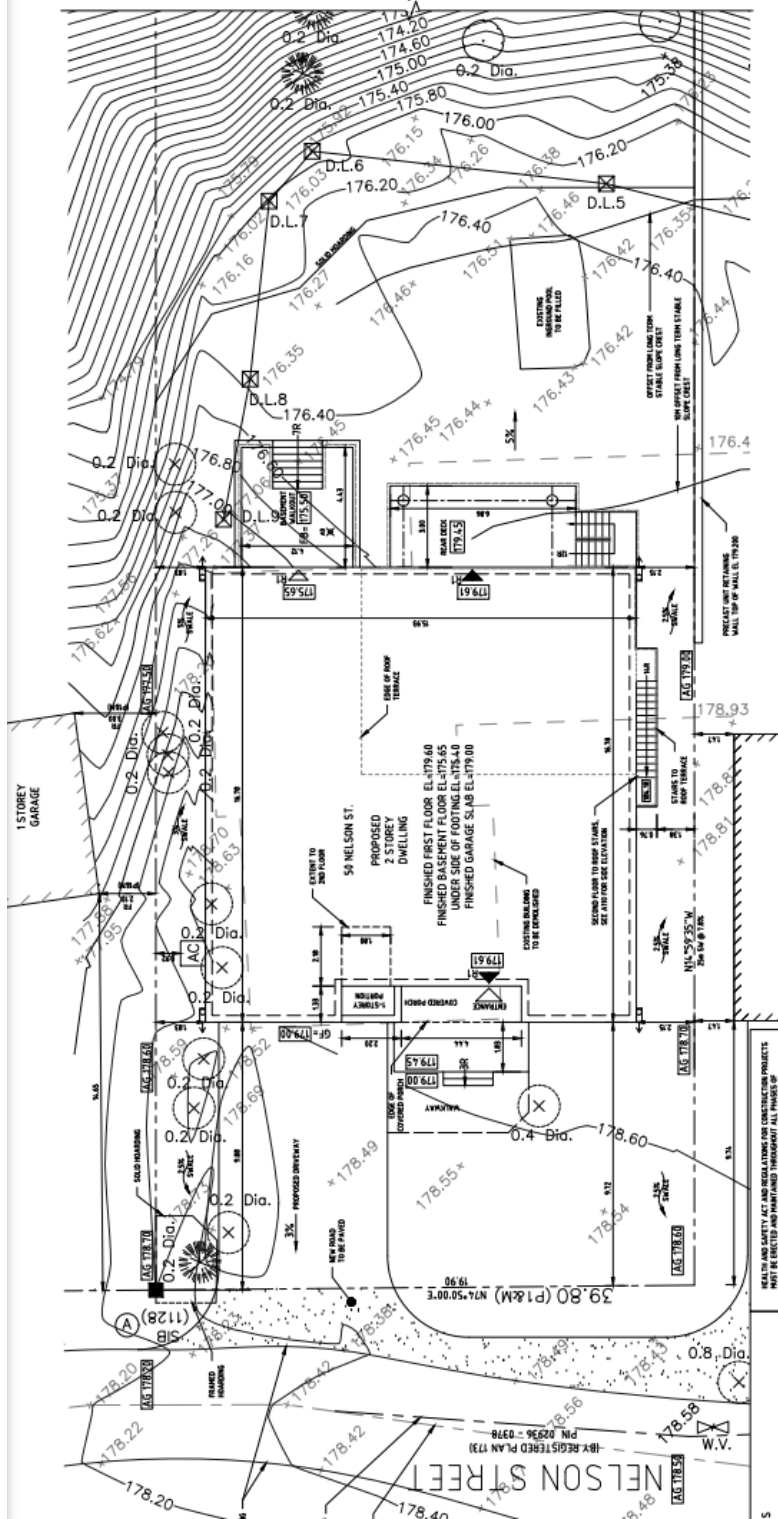


Existing non-heritage dwelling occupying lots at 50 & 52 Nelson St.

ATTACHMENT "B"

Proposed Site Plan and Elevations for 50 Nelson St.

Site Plan



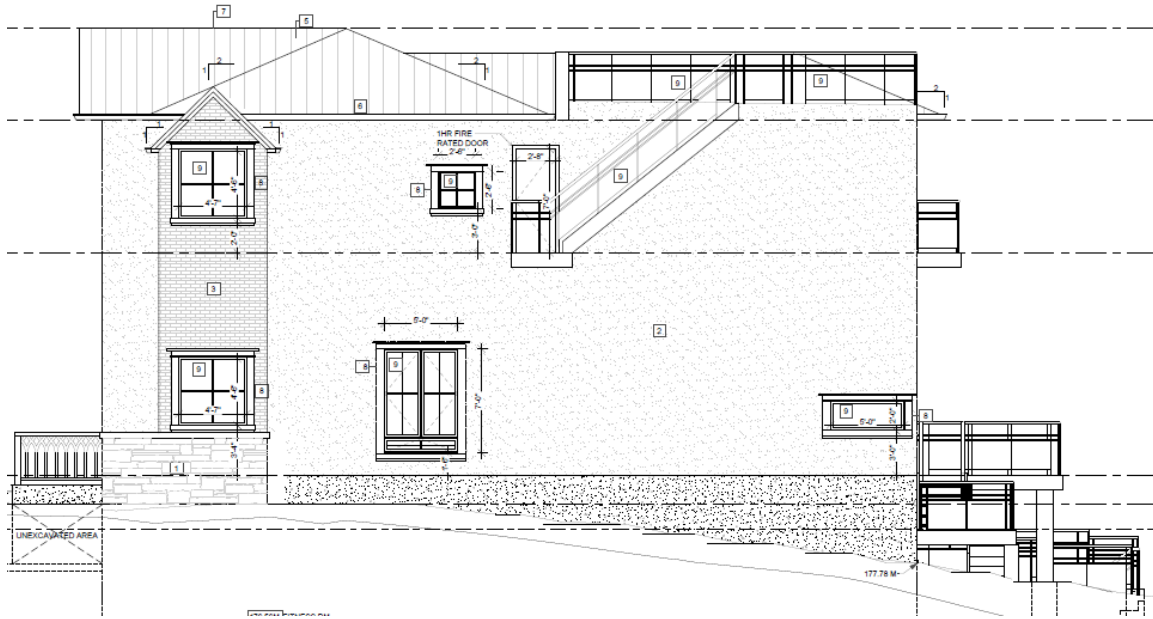
South Street facing Elevation



Previously Proposed South Elevation



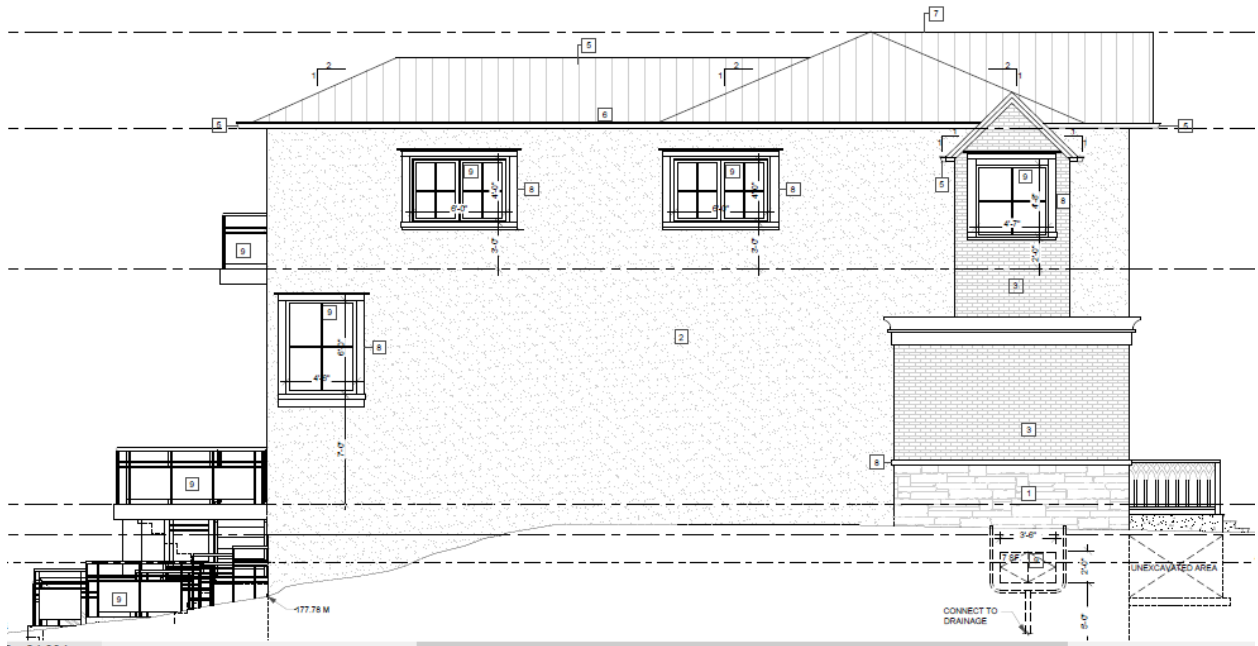
East (right) Elevation



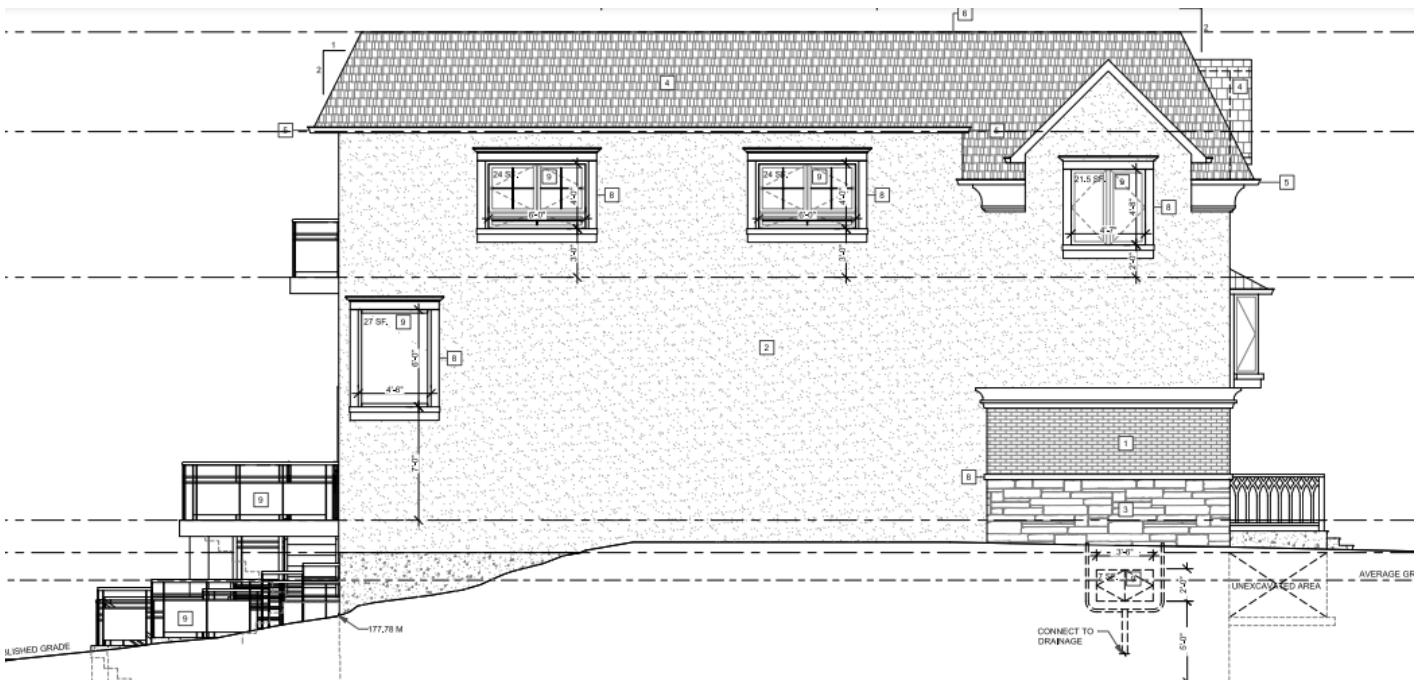
Previously Proposed East Elevation



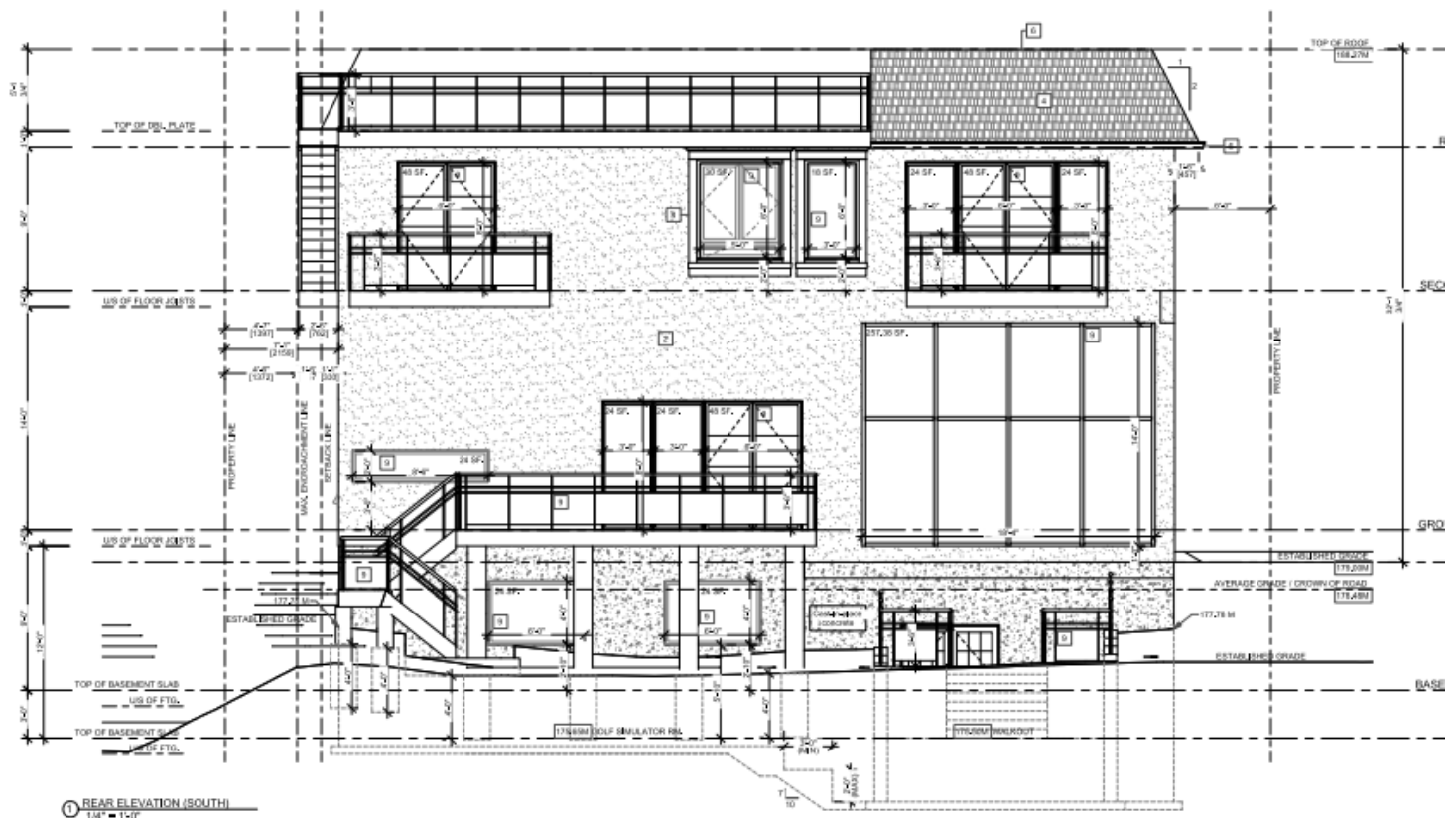
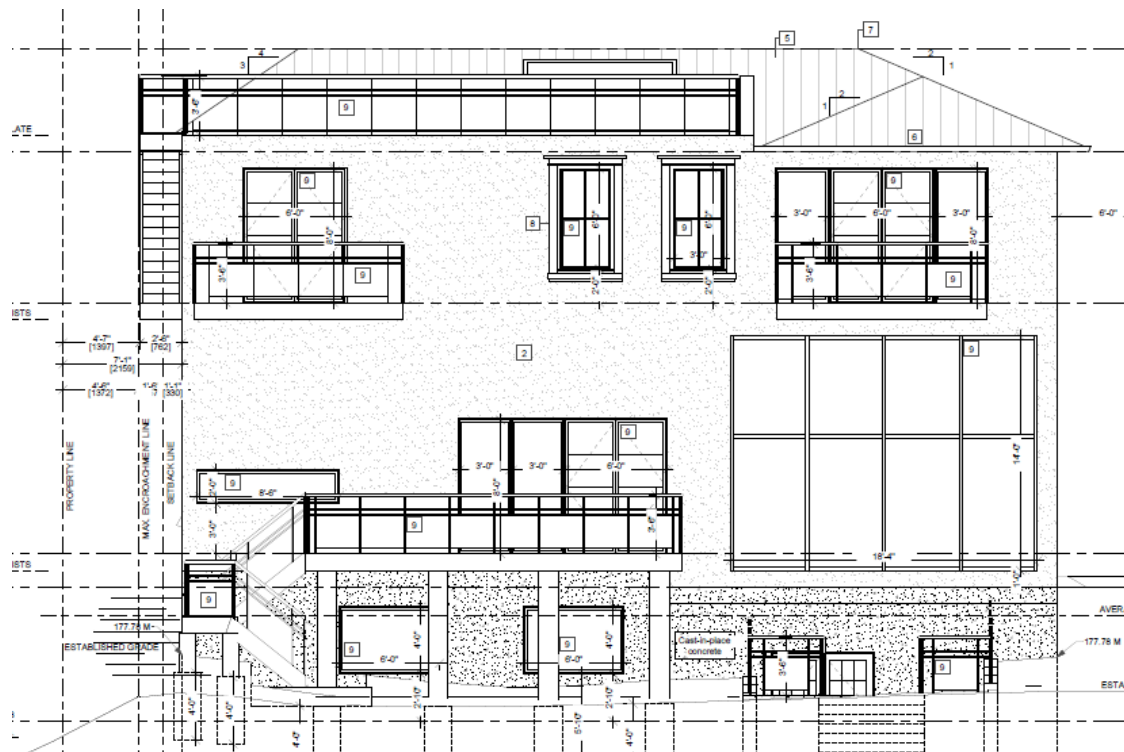
West (left) Elevation



Previously Proposed West Elevation

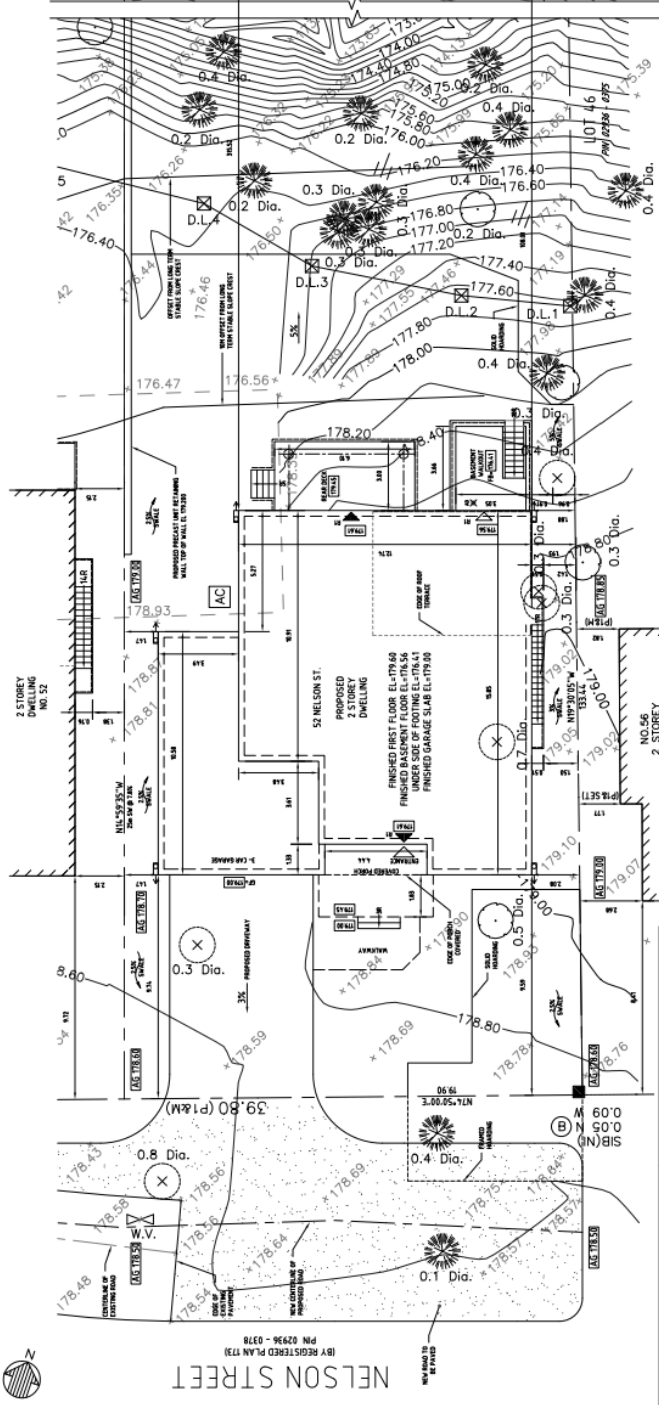


Rear (north) Elevation



ATTACHMENT "C"

Proposed Site Plan and Elevations for 52 Nelson St



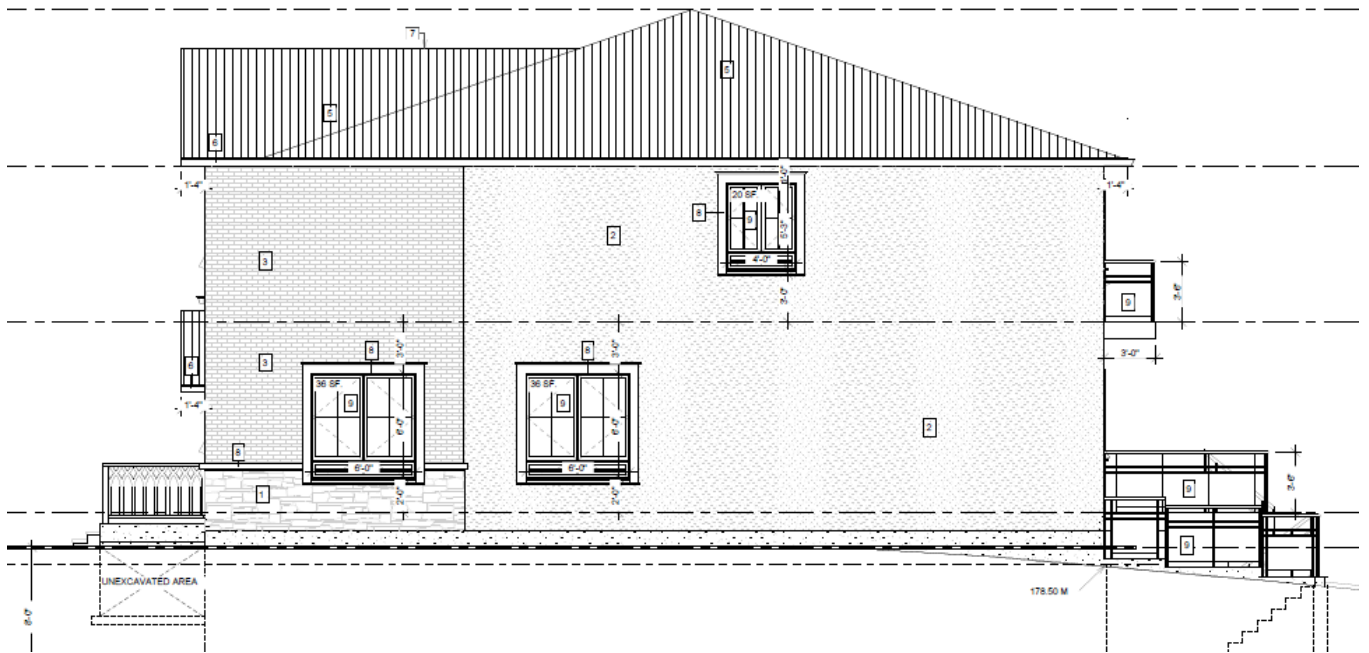
Proposed South Street facing Elevation



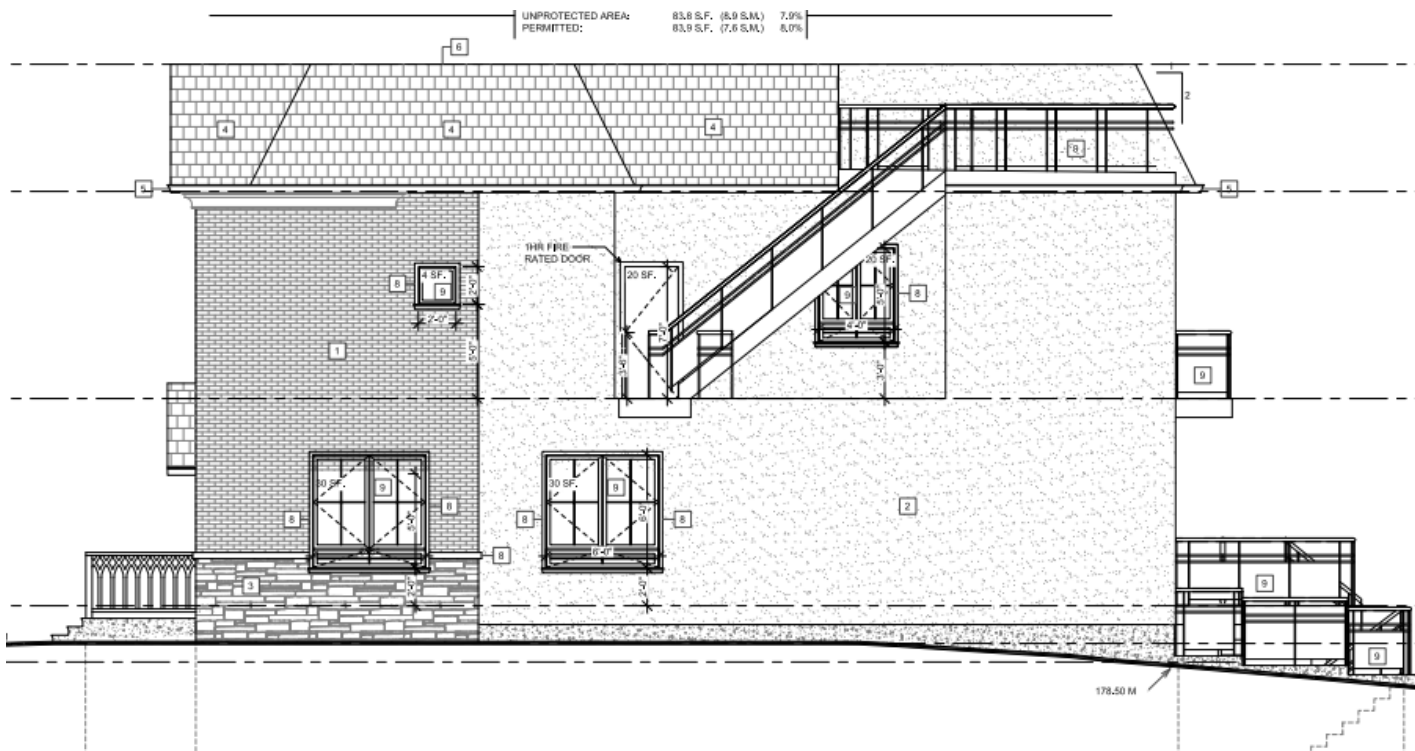
Previously Proposed South Elevation



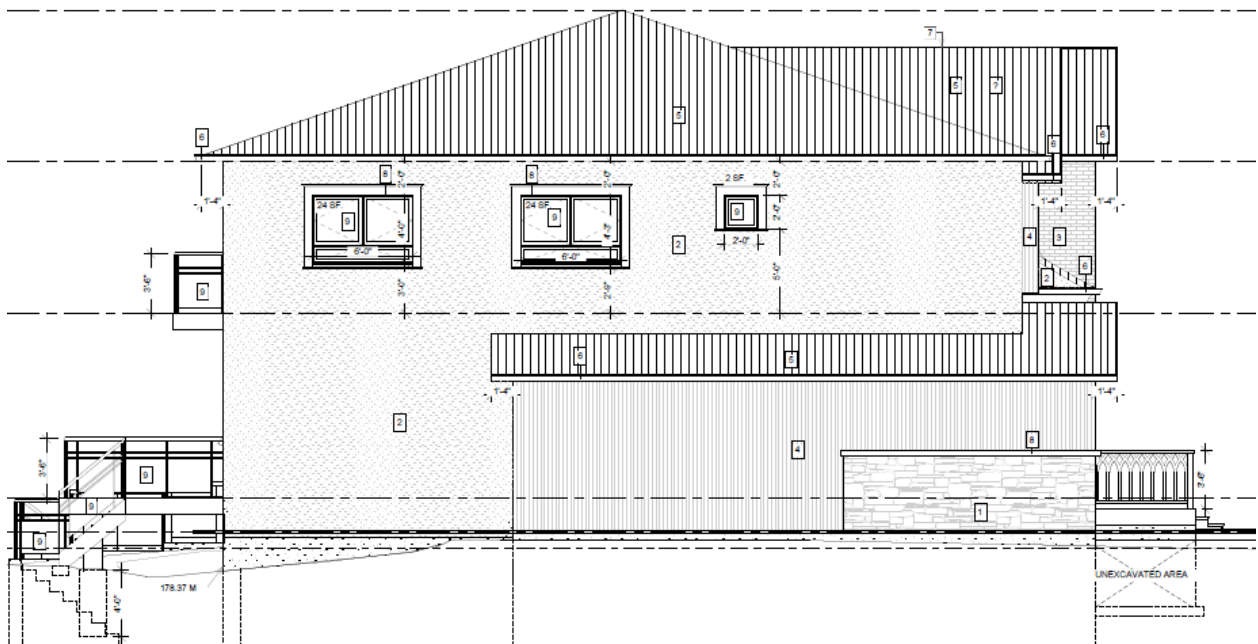
East (right) Elevation



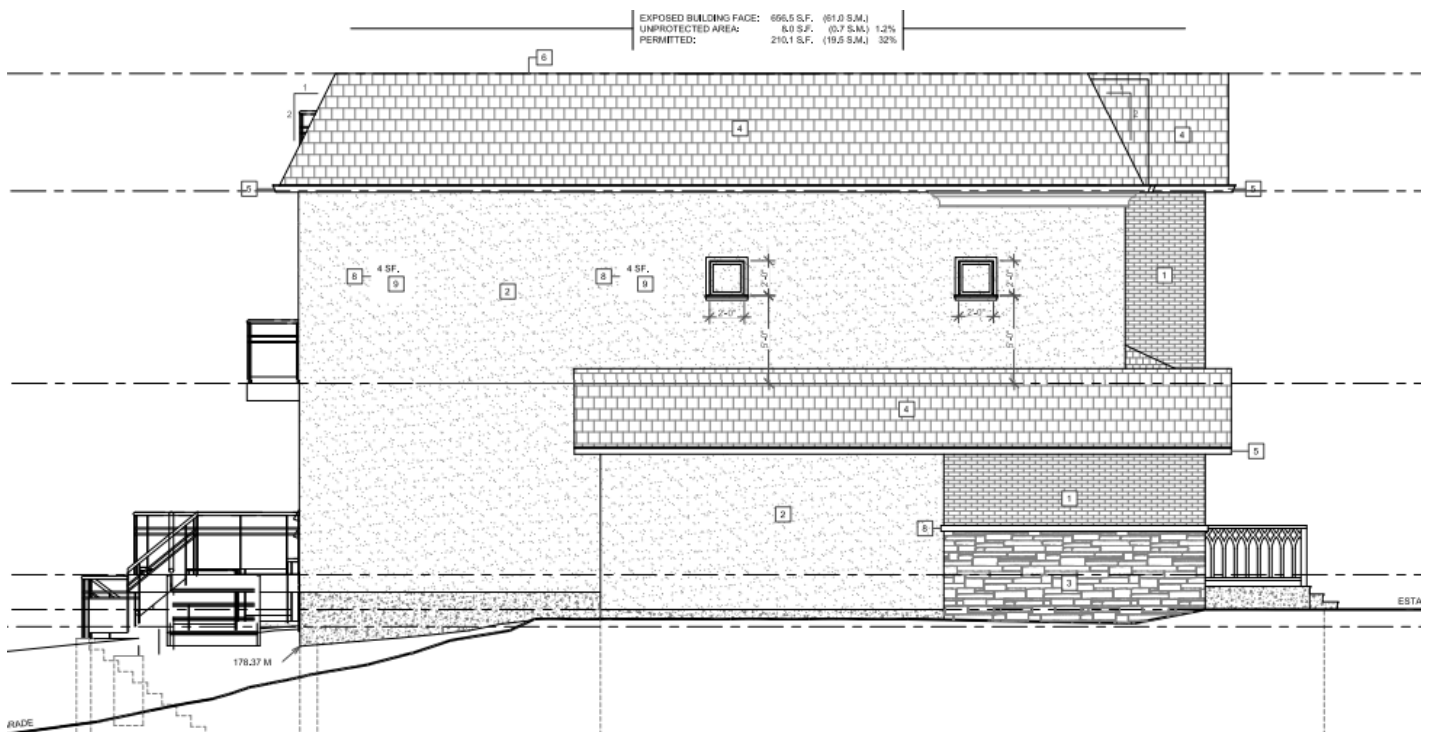
Previously Proposed East Elevation



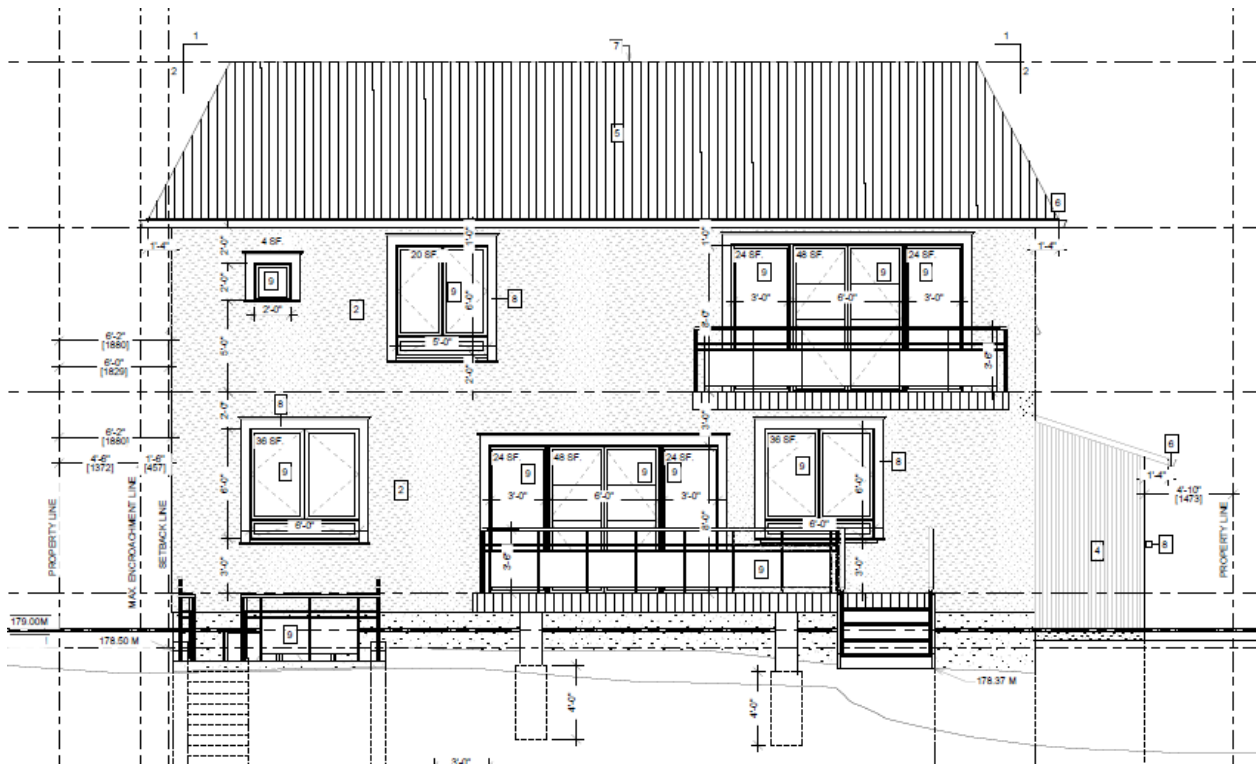
West (left) Elevation



Previously Proposed West Elevation



North (rear) Elevation



Previously Proposed North Elevation

