



## MEMORANDUM

**TO:** Heritage Markham Committee

**FROM:** Peter Wokral, Senior Heritage Planner

**DATE:** April 14, 2021

**SUBJECT:** Site Plan Control and Variance Applications  
Proposed Reconstruction of Fire Damaged Dwelling  
32 Colborne St., Thornhill Heritage Conservation District  
SPC 20 131842

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**Property/Building Description:** 1 storey single detached dwelling constructed in 1956 with 1980's renovation. The Doris Fitzgerald House

**Use:** Residential

**Heritage Status:** Designated under Part V of the Ontario Heritage Act and identified as a Class 'C' building or a non-heritage building within the district.

### **Application/Proposal**

- The owner has submitted a site plan application to the City seeking permission to construct a 313.04 (3,369.5 ft<sup>2</sup>) 2 storey home with an attached garage on top of the existing foundation and first floor structure to replace the existing home which was heavily damaged by fire;
- The proposed new dwelling would require the following variances to permit:
  - A maximum floor area of 3,369.5 ft<sup>2</sup>, whereas the By-law permits a maximum floor area of 2,998.8 ft<sup>2</sup> in the "Core" area of the Thornhill Heritage Conservation District;
  - A minimum east side yard setback of 0.99m (3.2 ft.) for a two storey portion of the building, whereas the By-law requires a minimum east side yard setback of 1.8m (6.0 ft.) for a two storey portion of the building;
  - A minimum west side yard setback of 1.12m (3.7 ft.) for a one storey portion of the building, whereas the By-law requires a minimum west side yard setback of 1.2m (4.0 ft.) for a one storey portion of the building;

## Background

- The former 1 ½ storey building did not comply with the Zoning By-law and would have required variances to permit a floor area of 313.34m<sup>2</sup> (3,372.8 ft<sup>2</sup>), an east side yard setback of 0.89m (2.9 ft.) and a west side yard setback of 1.12m (3.7 ft.) if it were not considered to be grandfathered because it was constructed prior to the implementation of the current development standards of the By-law;
- The architect for the owner has had several preliminary discussions with Planning staff and has twice significantly revised the proposal to comply with Heritage District guidelines and policies, urban design comments regarding tree preservation and the Zoning By-law.

## Staff Comment

- Additions and alterations to Class C buildings are addressed in the Thornhill Heritage Conservation District Plan in Section 9.3.2. where two distinct design approaches are identified. One approach is the **Contemporary Alteration Approach** which respects and continues the original design of the dwelling. The second is the **Historical Conversion Approach** where a more modern type building is altered in a way to resemble an older style of building. The existing 1949 structure at 32 Colborne St was already altered a number of years ago from its original appearance to that of a more traditional style building with the introduction of 6/6 windows, traditional colours and a full veranda across the front of the building (see photo).
- The proposed construction of the new dwelling continues the **Historical Conversion Approach**. As per the guidelines, it is not an exact replica of the design of a heritage building, but through its features and design elements, reflects an older style of building. The proposal includes:
  - The use of traditional style windows with 6/6 pane division on visible facades
  - The use of wood siding for wall claddings, and
  - The introduction of a front veranda
- Staff has no objection to the proposed design for the rebuilding of 32 Colborne Street from a heritage perspective as it generally complies with the policies of the Thornhill Heritage Conservation District Plan. However staff recommends the following:
  - that the front veranda not be extended across the eastern bay of the proposed house in order to produce a more authentic historic building form;
  - that all traditional 6/6 windows have a sill treatment (a few are missing)
  - that the 6/6/window panes/divisions treatment on the visible elevations be consistent and reflect traditional shapes – see below



- Staff notes that the re-designed dwelling has a floor area that is 0.3m<sup>2</sup> (3.2 ft<sup>2</sup>) less than the former house, and an east side yard setback that is 0.1m (4 inches) greater, whereas earlier preliminary designs reviewed by staff sought to construct a house with a greater floor area than the former dwelling;
- Staff also notes that the proposed new dwelling proposes more modern glazing styles on the rear elevation and on the northern portions of the proposed east and west elevations. Heritage Staff has no objections to these proposed windows from a heritage perspective as they are not readily visible from the public realm based on the proposed setback of the dwelling, confirmed by perspective views provided, but recommends they address the City's Bird Friendly Guidelines.

### **Suggested Recommendation for Heritage Markham**

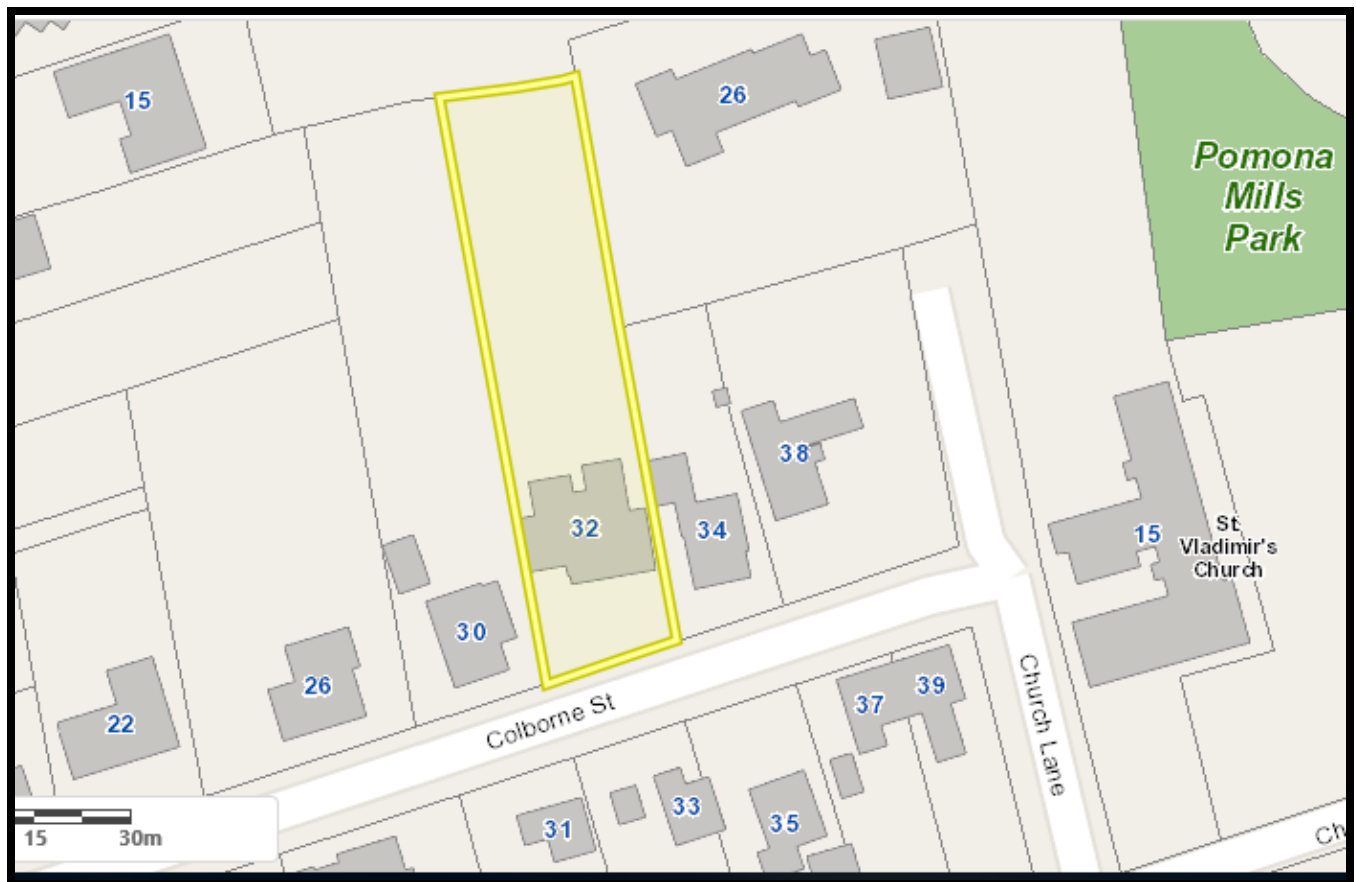
THAT Heritage Markham has no objection to the design of the proposed rebuilding of 32 Colborne St. from a heritage perspective and the identified variances, subject to the following:

- that the front veranda is deleted in front of the eastern bay of the proposed dwelling;
- that any modern glazing addresses the City of Markham's Bird Friendly Guidelines; and
- that the 6/6/window panes/divisions treatment on the visible elevations be consistent and reflect traditional shapes, and include a sill.

THAT the applicant enter into a Site Plan Agreement with the City containing the standard conditions regarding colours, material, windows etc.

AND THAT final review of the site plan and any variance application in support of the proposed design reviewed by the Committee be delegated to Heritage Section staff.

**LOCATION MAP - 32 Colborne Street, Thornhill Heritage Conservation District**





**Photograph – Fire Damage**

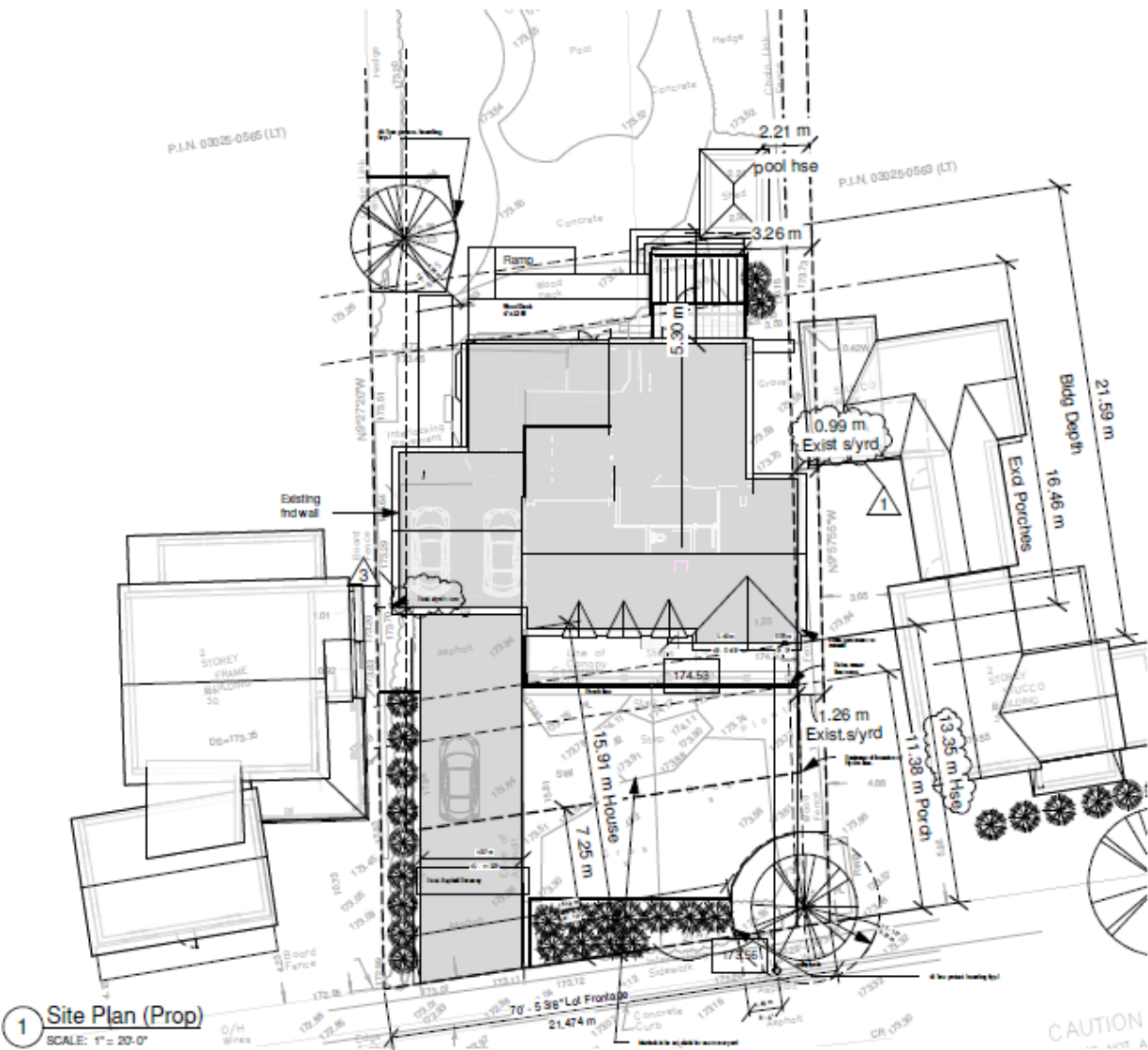


Photograph of former fire damaged home July 2020

**Photograph - Former Dwelling Prior to Fire**



Proposed Site Plan



1 Site Plan (Prop)  
SCALE: 1" = 20'-0"

The site plan illustrates the layout of existing structures and proposed developments. Key features include:

- Existing Buildings:** An "Existing 1 Storey Garage" and an "Existing 2 Storey House".
- Proposed Additions:** A "Rear Addition" and a "Side Addition".
- Setbacks:** A "REAR YARD SETBACK 50m" is indicated.
- Dimensions:** Various dimensions are noted, such as 2.21 m, 18.26 m, 12.60 m, and 21.47 m.
- Materials and Landscaping:** Areas are labeled with materials like "Concrete", "Gravel", "Asphalt", and "Patio". Landscaping elements like trees and shrubs are also shown.
- Orientation:** A north arrow points towards the top left of the page.
- Adjacent Properties:** Neighboring lots and their boundaries are shown, including a "2 Storey House" to the west and another "2 STOREY HOUSE BUILDING" to the east.



## Site Statistics Comparing the Former Dwelling to the Proposed Dwelling

Total Site Area: 1 893.86 sqm (20 385.39 SF)

	EXISTING	PROPOSED	DIFFERENCE
Building Area:	(45.67sqm)	(48.1 sqm)	(2.43sqm)
GARAGE:	(148.8 sqm)	(152.5sqm)	(3.7 sqm)
BASEMENT:	178.29sqm	172.41sqm	-5.88 sqm
MAIN FLOOR:	135.05sqm	140.63sqm	5.58sqm
SECOND FLOOR:			
FLOOR AREA:	313.34 sqm	313.04 sqm	-0.3sqm

MAX. PERMITTED FLR AREA 278.7sqm (2998.82sf)  
GARAGE: 41.8 sqm

ACC. STRUC: Shed + Pool Hse = 19.41 sqm existing unchanged

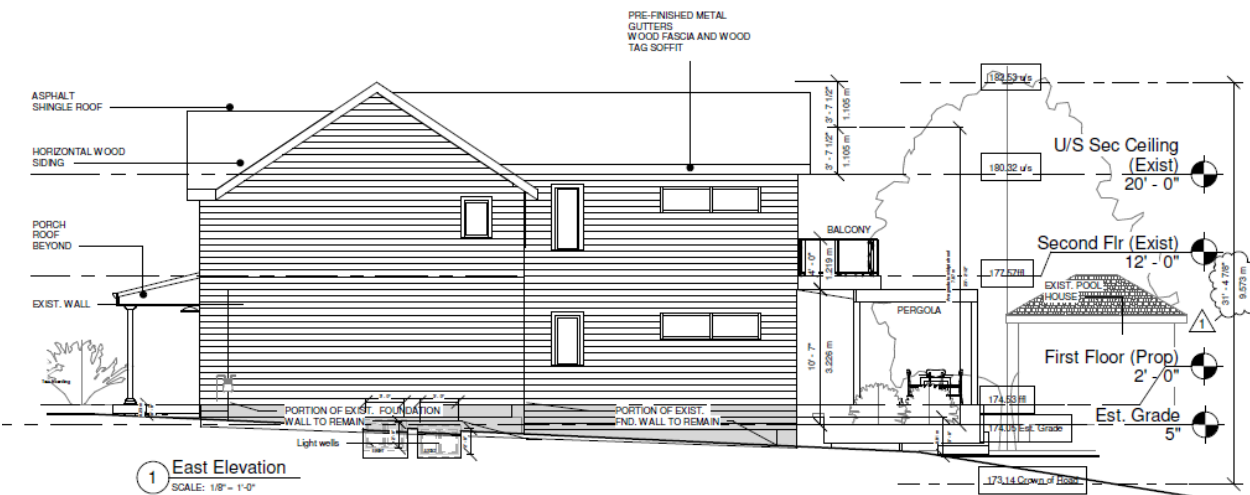
	EXISTING	PROPOSED	Permitted/Required
LOT COVERAGE:	240.5 (12.7%)	272.14 (14.3%)	630.65 (33.3%)
BUILDING DEPTH:	18.28m	16.46m	16.8m
LOT FRONTAGE:	21.47m	no change	no change
LOT AREA	1893.86 sqm	no change	325 sqm (min)
BUILDING HEIGHT	7.82 m	9.546m	9.8m (max)

### SETBACKS:

FRONT YARD:	12.6m	11.38m	8.23m (min)
REAR YARD:	59m	60.85m (Hse)	7.62m (min)
WEST SIDE YARD:	1.12m	1.12m	1.2m (1 storey - min)
EAST SIDE YARD:	0.89m	0.99m	1.8m (min)



# Proposed Elevations



Architectural drawing of the North Elevation of a two-story house. The drawing includes the following details:

- Dimensions and Elevations:**
  - 1'-3 1/2" (0.394 m)
  - 182.53 u/s
  - 180.32 u/s
  - 179.57 u/s
  - 174.53 u/s
  - 174.05 Est. Grade
  - 173.14 Crown of Road
- Structural Features:**
  - Balcony railing
  - PERGOLA
  - U/S Sec Ceiling (Prop) 21'-0"
  - Second Flr (Exist) 12'-0"
  - First Floor (Prop) 2'-0"
- Neighboring Structures:**
  - NEIGHBORING HOUSE
  - NEIGHBORS SHED
- Scale and Orientation:**
  - 1 North Elevation
  - SCALE: 1/8" = 1'-0"



## Proposed Dwelling - Streetscape Elevation



## Perspective Views



Front

## Perspective Views

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Front (South Elevation)



Looking West

## Perspective Views



Looking East



Rear Elevation



## Perspective Views



Rear Elevation

## Heritage Markham Agenda Preparation

### Date of Meeting:

- Part I - Administration ☐ (Minutes, administrative matters)  
Part II – Deputations ☐  
Part III - Consent ☐ (Correspondence) ☐  
Part IV - Regular ☒  
Part V – Studies/Projects ☐  
Part VI – New Business ☐

Reviewed  
by Manager  
YES

### Application Identification

- |                          |                                     |  |
|--------------------------|-------------------------------------|--|
| Site Plan Control        | <input checked="" type="checkbox"/> |  |
| Zoning By-law Amendment  | <input type="checkbox"/>            | Official Plan Amendment <input type="checkbox"/> |
| Notice of Public Meeting | <input type="checkbox"/>            | Plan of Subdivision <input type="checkbox"/>     |
| Building or Sign Permit  | <input type="checkbox"/>            | Demolition Permit <input type="checkbox"/>       |
| Heritage Permit          | <input type="checkbox"/>            | Tree Removal <input type="checkbox"/>            |
| C of A Variance          | <input type="checkbox"/>            | Consent <input type="checkbox"/>                 |
| Request for Feedback     | <input type="checkbox"/>            | Information <input type="checkbox"/>             |
| Other Subject            | <input type="checkbox"/>            |  |

**File Number:** SPC 20 131842

**Address:** 32 Colborne Street, Thornhill Heritage Conservation District

**Topic:** Proposed Reconstruction of Fire Damaged Dwelling

**Extract Distribution:** R.Hutcheson; P. Wokral

### Explanatory Text (include with the specific agenda item)

- See attached notes and recommendation from the Architectural Review Sub-Committee held on \_\_\_\_\_ ☐
- See attached staff memorandum ☐
- See attached staff memorandum and material ☒
- Mr/Ms. \_\_\_\_\_ will be in attendance at \_\_\_\_\_ p.m. ☐

### Suggested Recommendation for Heritage Markham

- ☐ THAT the Minutes of the Heritage Markham meeting held on \_\_\_\_\_ be received and adopted.
- ☐ THAT Heritage Markham receive as information.
- ☐ THAT Heritage Markham has no objection from a heritage perspective.



Refer to Staff Memo for Recommendation (see file path for copying purposes)