



MEMORANDUM

TO: Heritage Markham Committee

FROM: Peter Wokral, Senior Heritage Planner

DATE: March 10, 2021

SUBJECT: Site Plan Control Application
14 George Street, Markham Village Heritage Conservation District
Proposed Addition to an Existing Heritage Dwelling and Detached
Garage/Accessory Building
SPC 21 104346 & A/021/21

Property/Building Description: 1 storey board and batten detached dwelling constructed c. 1855

Use: Residential

Heritage Status: Designated under Part V of the Ontario Heritage Act and identified as a Type 'A' building or buildings that define the heritage character of the district.

Application/Proposal

- The owner has submitted site plan control and variance applications to the City seeking permission to slightly re-position the existing heritage house in order to construct a new foundation, as well as a 260.1m² (2,800 ft²) two storey addition to the existing heritage dwelling and a 71.5m² (770 ft²) detached garage with an uninhabitable loft in the rear yard;
- The variances required to permit the proposed alterations are to permit:
 - A maximum building depth of 22.5m whereas the By-law permits 16.8m;
 - A maximum net floor area ratio of 53.8% whereas the By-law permits a maximum net ratio of 45%;
 - A minimum side yard setback of 4.92 ft. for a two storey portion, whereas the OMB has already approved a minimum side yard setback of 5'2";
 - An accessory building to be located 3.28 ft. from the rear lot line, whereas the By-law requires a minimum of 4 ft.;

Background

- The newly proposed addition is a scaled down version of an earlier proposal by the same designer. The previous design sought variances to permit a maximum lot coverage of

36%, maximum net floor area ratio of 55%, a maximum building depth of 23m and an accessory building to have a setback of 2 ft. from the property line;

- The earlier proposal was appealed to the O.M.B. and following negotiations between the applicant and parties to the appeal, the O.M.B. approved the following variances:
 - A front yard setback of 8.85 ft.
 - A minimum side yard setback of 5'-2" for the two storey portion of the dwelling; and,
 - A maximum building height of 18 ft. for an accessory building.
- After the O.M.B. decision, the owners decided not to pursue the project, and they later sold the property;

Staff Comment

- The design of the current proposed addition to the existing heritage dwelling and detached accessory building appear to generally comply with the policies and guidelines contained in the Markham Village Heritage Conservation District Plan as they pertain to additions and new construction;
- However, staff has noted some issues when the existing elevations of the heritage dwelling are compared to the proposed elevations (**see attached staff notes for each specific elevation**). These include:
 - The absence of the existing original two over two windows on the south wall of the front portion of the heritage dwelling. These should be retained as they are original features;
 - The elimination of an existing original two over two window on the north elevation and the introduction of new windows. Normally, new features such as doors and windows are not to be introduced on historic walls;
 - A new roof dormer and window is introduced in the historic roof of the house near where the old house meets the new addition;
 - The replacement of existing windows on the south elevation of the south portion of the dwelling and the removal of an upper window on the same elevation. It is unclear why this has occurred;
- A streetscape elevation was not required by Staff for review, as the immediately adjacent homes are significantly taller than the existing house and proposed addition to 14 George St. and sufficiently removed as to not be negatively impacted by the proposed height of the addition;
- Staff recommends that existing original windows be retained on the heritage portion of the house and that newly proposed windows and the veranda be more historically authentic;
- The larger window treatments on the west elevation (rear of new addition) should ensure that they comply with bird friendly guidelines adopted by the City (not greater than 2m²)
- The requested variances appear to be reasonable, and have no apparent negative impacts on neighbouring property owners;
- No trees are indicated for removal on the proposed site plan. The City's Urban Design Section recommends the following:
 - That the existing parking pad in the front of the house be eliminated and replaced with soft landscaping;
 - That two high branching native deciduous trees be planted in the front yard;

- That the applicant provide an updated arbourist report and tree preservation plan;
- That the owner take the steps necessary determined by a certified arbourist to protect and retain the large Walnut tree located on the property to the north;
- Therefore Staff recommends that Heritage Markham delegate final review of the site plan and variance application to Heritage Section staff provided there are no significant deviations from the plans reviewed by the Committee;

Suggested Recommendation for Heritage Markham

THAT Heritage Markham has no objection from a heritage perspective to the proposed relocation of the existing heritage building, the new foundation, the removal of the existing rear tail addition and the new addition to 14 George St., the detached garage/accessory building and the requested variances, subject to the following revisions being made to the proposed design:

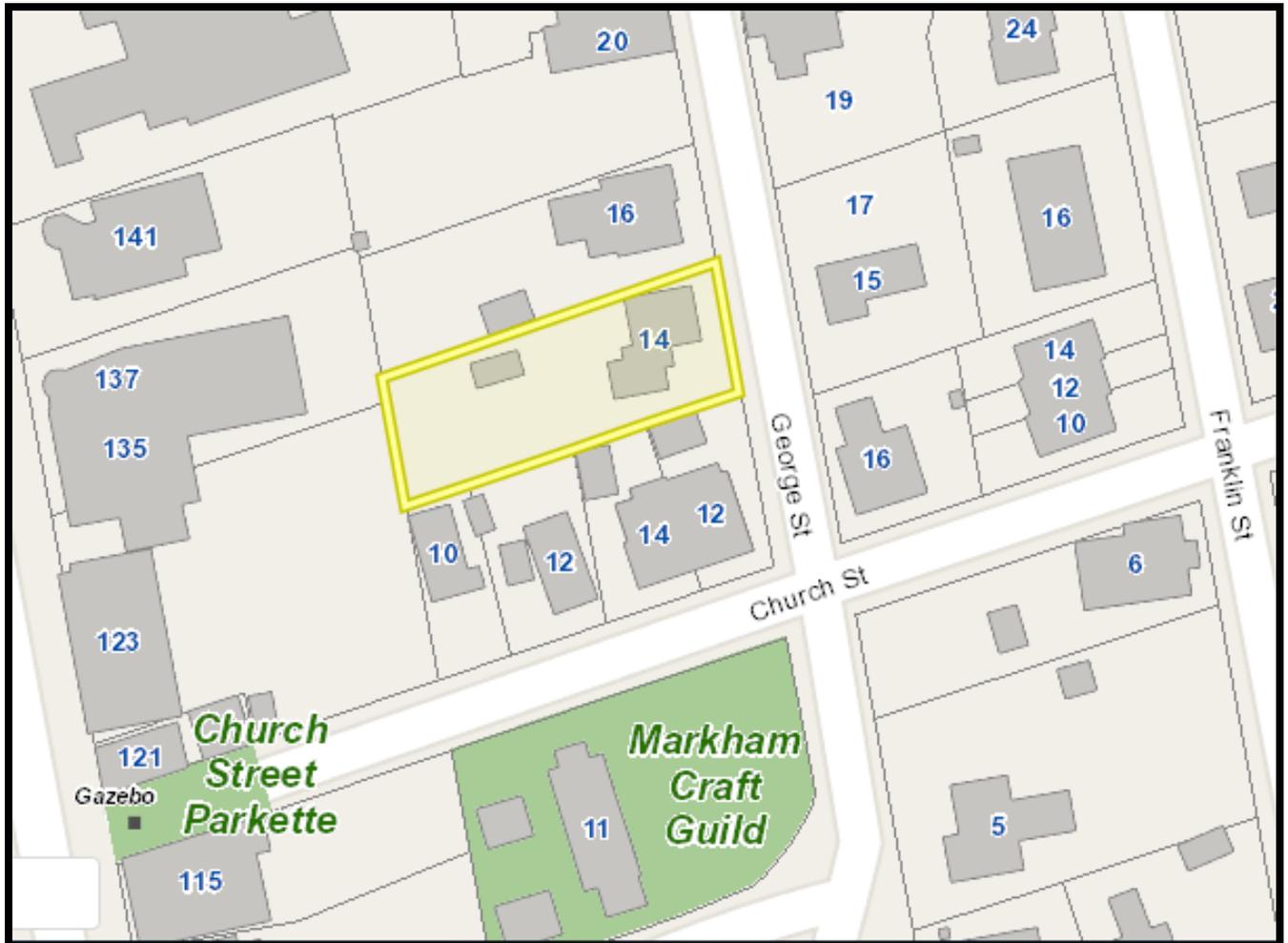
- That original existing two over two windows on the north and south elevations of the heritage portion of the house are retained and labelled on the drawings as existing and that clarification be provided as to why the existing windows on the south portion of the original house need to be removed;
- That the plans are properly labelled to indicate the original features to be retained and to identify the materials that will be used on all other elevations;
- That the design of the veranda be based on local historic examples of verandas of the same period as the construction of the house;
- That larger window treatments comply with bird friendly guidelines;
- That applicant provide an updated arbourist report and that the large Walnut tree located on the property to the north be retained and preserved through whatever measures necessary as recommended by a certified arbourist;
- That the existing parking pad in the front yard be replaced with soft landscaping and indicated on the site plan;
- That the front yard indicate the planting of two native, high branching, deciduous, trees

THAT Heritage Markham recommends that final review of the site plan control and variance applications be delegated to Heritage Section staff provided there are no significant deviations from the plans reviewed by the Committee;

AND THAT the applicant enter into a Site Plan Agreement with the City containing standard conditions regarding materials, colours, windows etc.

File: 14 George Street, Markham Village

14 George Street, Markham Village Heritage Conservation District



14 George Street, Markham Village Heritage Conservation District



Google Maps – Streetview Oct 2020



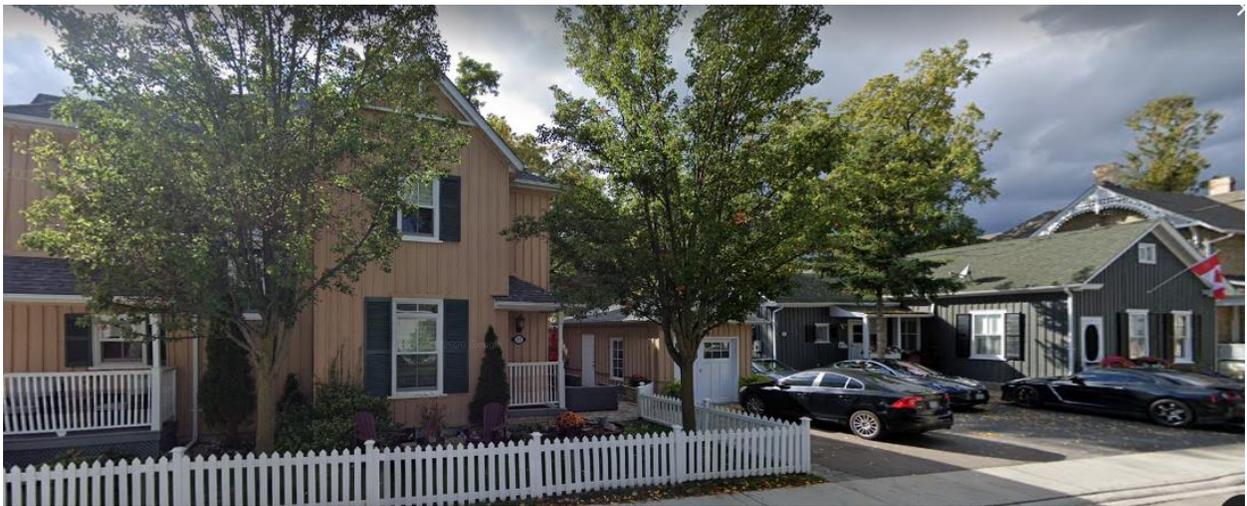
Adjacent Properties

To the North – two storey brick dwelling (heritage)

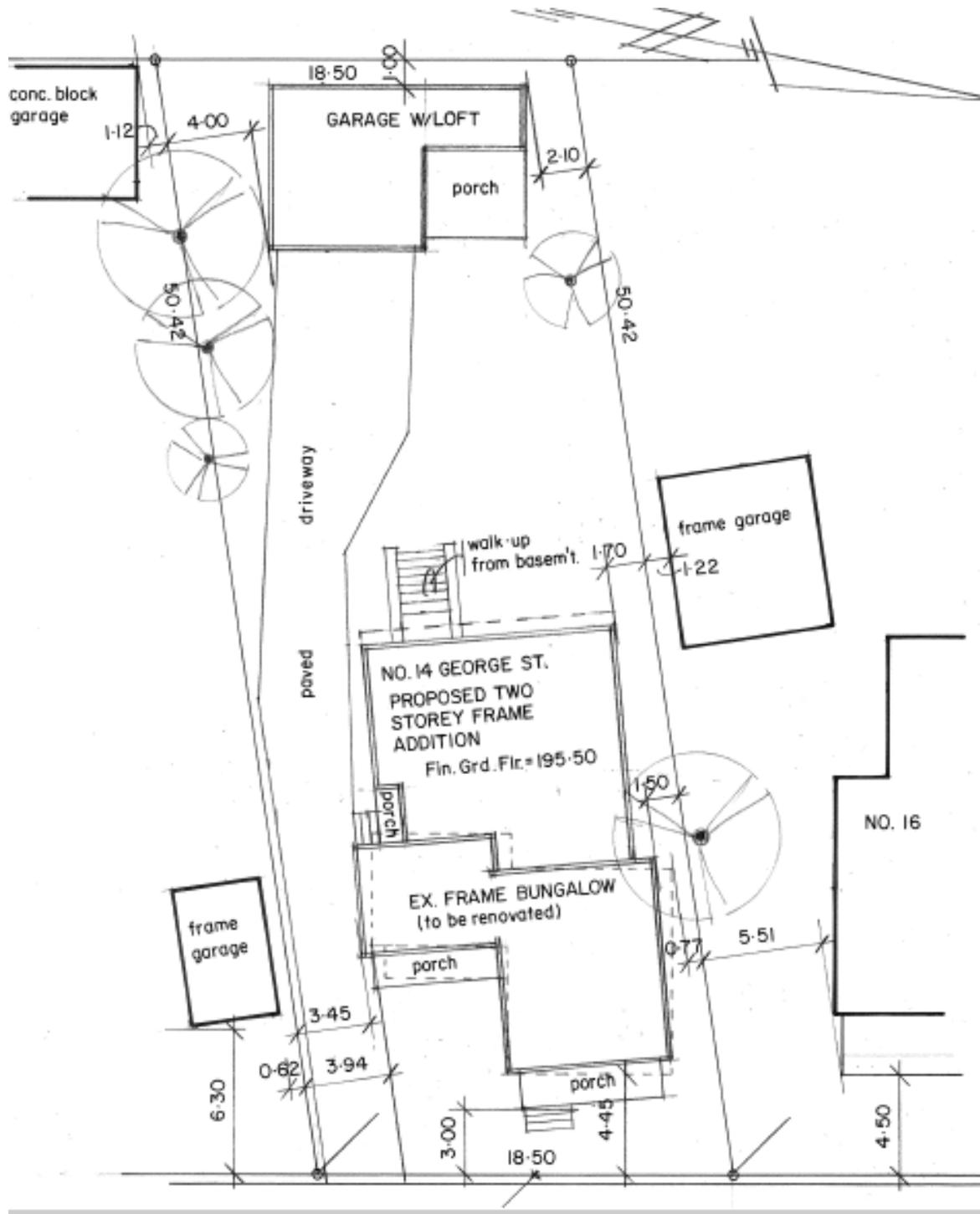


Google Maps- Streetview October 2020

To the South – two storey wood frame dwellings (modern infill in a heritage design)



Proposed Site Plan



Existing Front (East) Elevation



Staff Comment: the two new 4 pane windows above the main windows appear larger than the existing opening. Two new verandas are proposed – need further detail on column design and should be more reflective of a traditional veranda. Also notes are required on elevation drawings indicating original windows to remain and original siding/returned eaves to remain



FRONT ELEVATION - EAST

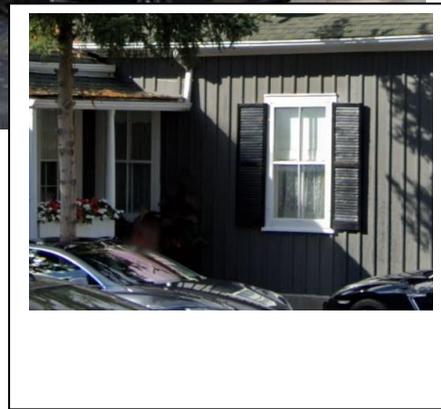
PROJECT:
PROPOSED RENOVATIONS

Existing South Elevation



Staff Comment: two original windows on the heritage dwelling appears to be missing or removed. See inset. The windows on the most southerly wing are different- the first storey double window has been replaced with three larger windows placed together; and the small upper window under the roof has been removed.

Also notes are required on elevation drawings indicating original materials that are to remain as



Proposed Elevation



Existing North Elevation



Staff Comment: two new square windows are introduced near the front elevation; and a new window near the rear elevation. Also the original window is not drawn accurately. **New window openings are discouraged in historic fabric. A new roof/window dormer is introduced in the existing heritage roof.**

Also notes are required on elevation drawings indicating original materials that are to remain as well as new materials.

Proposed Elevation



West (Rear) Elevation



Staff Comment: All new construction. Not visible from public realm. Proposed basement walkout. Large glass expanses may be a bird friendly issue. Also notes are required on elevation drawings indicating materials

Proposed Elevations of Garage/Accessory Building



PROJECT		GARAGE WITH LOFT	
OWNER		[Redacted]	
ARCHITECT		[Redacted]	
DATE		[Redacted]	
SCALE		[Redacted]	
GENERAL NOTES		[Redacted]	
THE GREGORY DESIGN GROUP			
16 CHURCH STREET			
WARRAMONG, OKLAHOMA 73080			
(418) 725-4867			
info@gregorydesigngroup.net			

Staff Comments: Notes are required on elevation drawings indicating materials.