

SHEET LIST	
SHEET NUMBER	SHEET NAME
AO-01	COVER PAGE
AO-02	SURVEY PLAN
AO-03	SITE PLAN-EXISTING
AO-04	SITE PLAN-PROPOSED
A1-01	FOUNDATION PLAN-EXISTING
A1-02	1st FLOOR PLAN-EXISTING
A1-03	ROOF PLAN-EXISTING
A1-04	FOUNDATION PLAN-DEMOLISHING
A1-05	1st FLOOR PLAN-DEMOLISHING
A1-06	ROOF PLAN-DEMOLISHING
A1-07	FOUNDATION PLAN-PROPOSED
A1-08	1st FLOOR PLAN-PROPOSED
A1-09	2nd FLOOR PLAN-PROPOSED
A1-10	ROOF PLAN-PROPOSED
A1-11	MAIN BUILDING FLOOR PLAN-EXISTING
A1-12	SHED - EXISTING
A2-01	WEST (FRONT) ELEVATION
A2-02	EAST (REAR) ELEVATION
A2-03	NORTH (LEFT) ELEVATION
A2-04	SOUTH (RIGHT) ELEVATION
A3-01	SECTION 1
A3-02	SECTION 2
A3-03	SECTION 3
A4-01	WALL ASSEMBLY & LEGEND

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

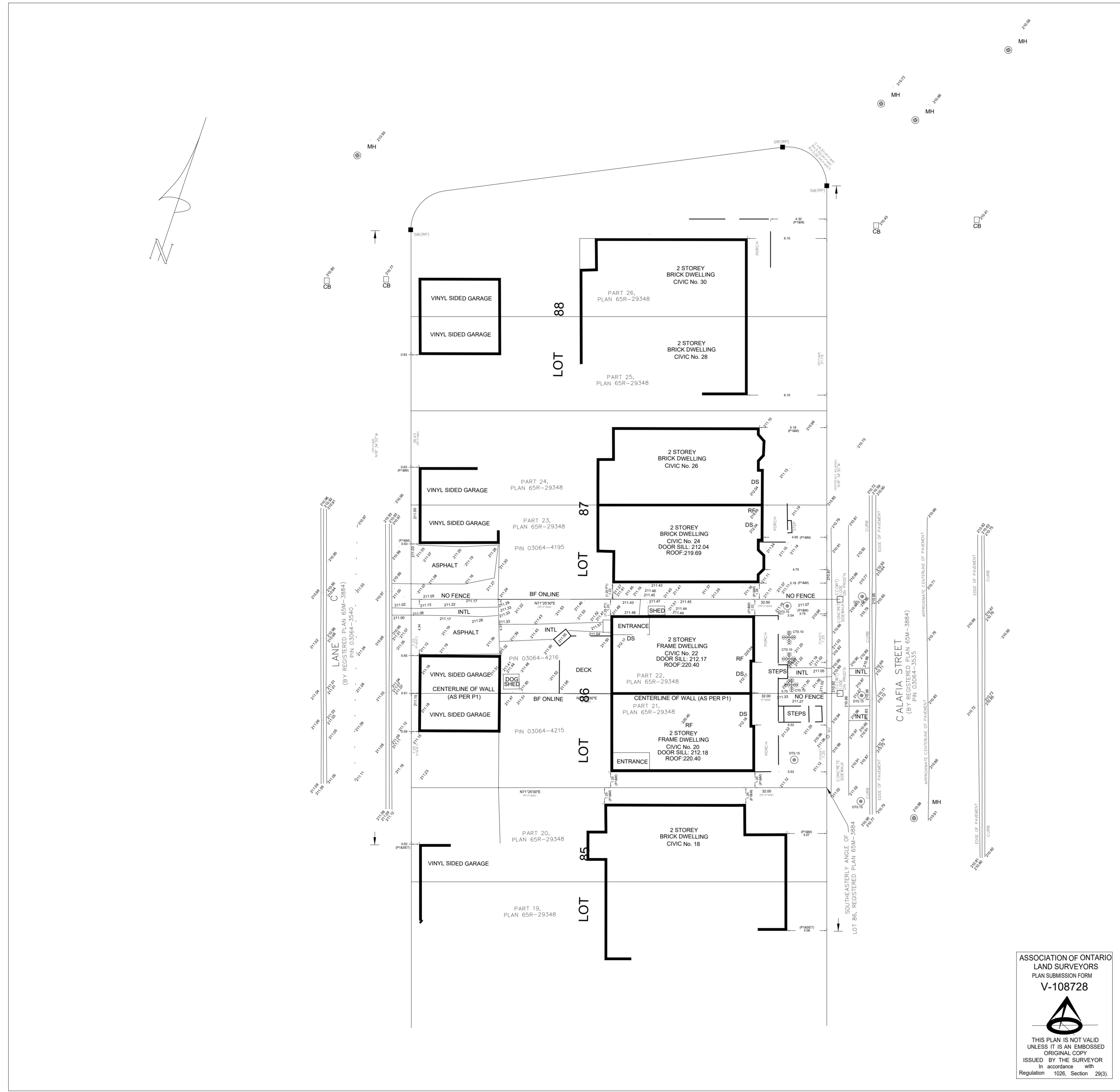
SASHA SLAVISAG

PROJECT NAME:
NEW COACH HOUSE & CARPORT

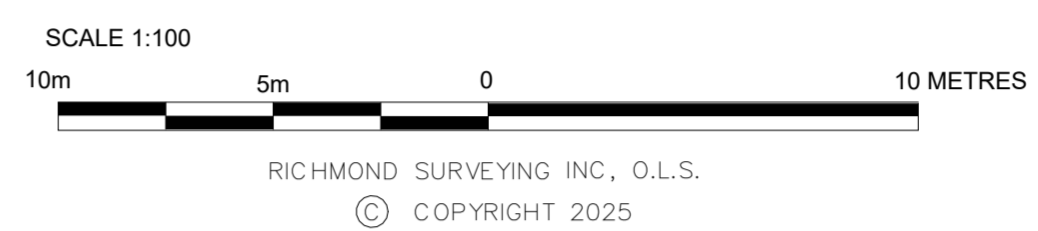
PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
COVER PAGE

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE:	
DESIGNER: ELISA RAD	SHEET No: A0-01
CHECKER:	



SURVEYOR'S REAL PROPERTY REPORT
 WITH TOPOGRAPHIC DETAILS
 PART 1 – PLAN OF SURVEY OF
 PART OF LOT 86
 REGISTERED PLAN 65M-3884
 CITY OF MARKHAM
 (REGIONAL MUNICIPALITY OF YORK)



METRIC
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

OWNER'S NOTE:

THIS REPORT WAS PREPARED FOR HAYTHAM EL-SALHAT,
 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY
 FOR ITS USE BY OTHER PARTIES.

ELEVATION NOTES:

ELEVATION SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM GPS OBSERVATION
 REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM CANNET (2010).

BEARING NOTE:

BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE WESTERLY LIMIT
 OF CALAFIA STREET AS SHOWN ON REGISTERED PLAN 65M-3884
 HAVING A BEARING OF N18°34'30"W.

PART 2 (SURVEY REPORT)

- REGISTERED EASEMENTS AND/OR RIGHT OF WAYS: PART OF LOT 86 REGISTERED PLAN 65M-3884 IS SUBJECT TO AN EASEMENT AS IN INST. No. YR1038142
- THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.
- ALL PINS ARE (LT) UNLESS NOTED (R).
- ALL DIMENSIONS ARE MEASURED UNLESS QUALIFIED.
- ALL FENCES ARE "ON LINE" UNLESS TIES TO THE PROPERTY LINE ARE SHOWN.

LEGEND

- DENOTES MONUMENT FOUND
- DENOTES MONUMENT PLANNED
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- CC DENOTES CUT CROSS
- RP DENOTES REGISTERED PLAN 65M-3884
- P1 DENOTES PLAN 65R-29348
- M DENOTES MEASURED
- WIT WITNESS
- DS DOOR SILL
- ☘ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE
- U- OVERHEAD UTILITY LINE
- J- DOOR SILL
- CB CATCH BASIN
- NI NOT IDENTIFIED
- FH FIRE HYDRANT
- INTL INTERLOCKING
- MH MANHOLE

ALL TIES TO CONCRETE FOUNDATION, UNLESS NOTED OTHERWISE.

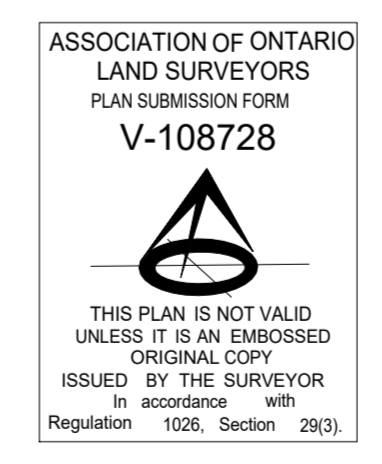
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE DATE OF 7th NOVEMBER 2025.

DATE: NOVEMBER 7TH, 2025 MOE TAVALLAEE
 ONTARIO LAND SURVEYOR

RICHMOND SURVEYING INC.
 ONTARIO LAND SURVEYOR
 70 East Beaver Creek Rd Unit #11, Richmond Hill, ON
 TEL. 647-333-6200 info@richmondsurveyinginc.com

DRAWN BY:	CHECKED BY:	JOB NUMBER:	25-192
-----------	-------------	-------------	--------



GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
 (289) 212-3388, info@smartg.ca

CLIENT:

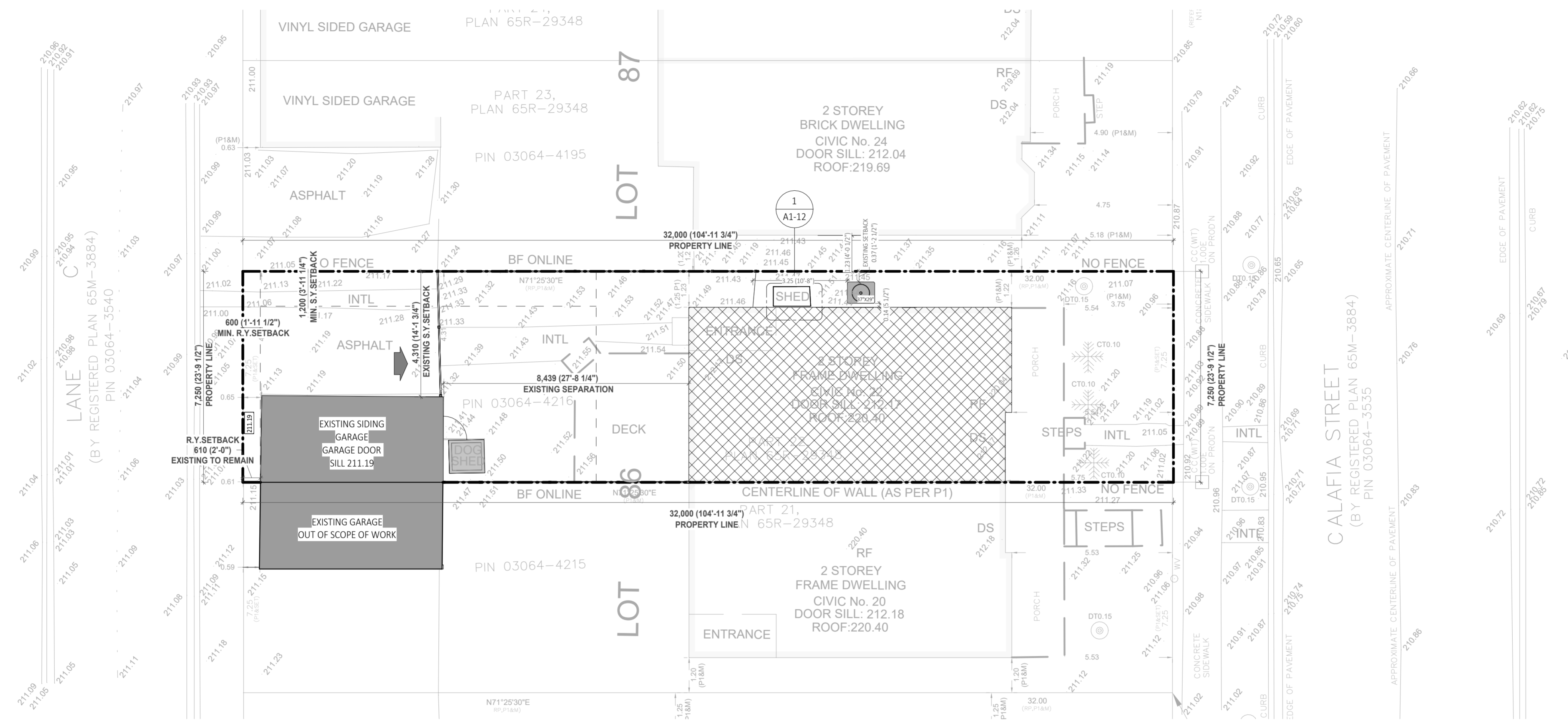
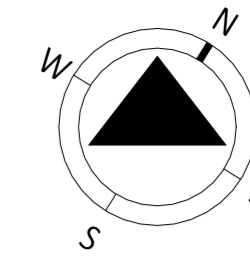
SASHA SLAVISAG

PROJECT NAME:
 NEW COACH HOUSE &
 CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
 SURVEY PLAN

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: 1:250	DESIGNER: ELISA RAD
CHECKER:	SHEET No: A0-02



1 SITE PLAN- EXISTING
1:100

	EXISTING BUILDING
	EXISTING ENTRANCE
	MIN. REQUIRED SETBACK
	PROPERTY LINE

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

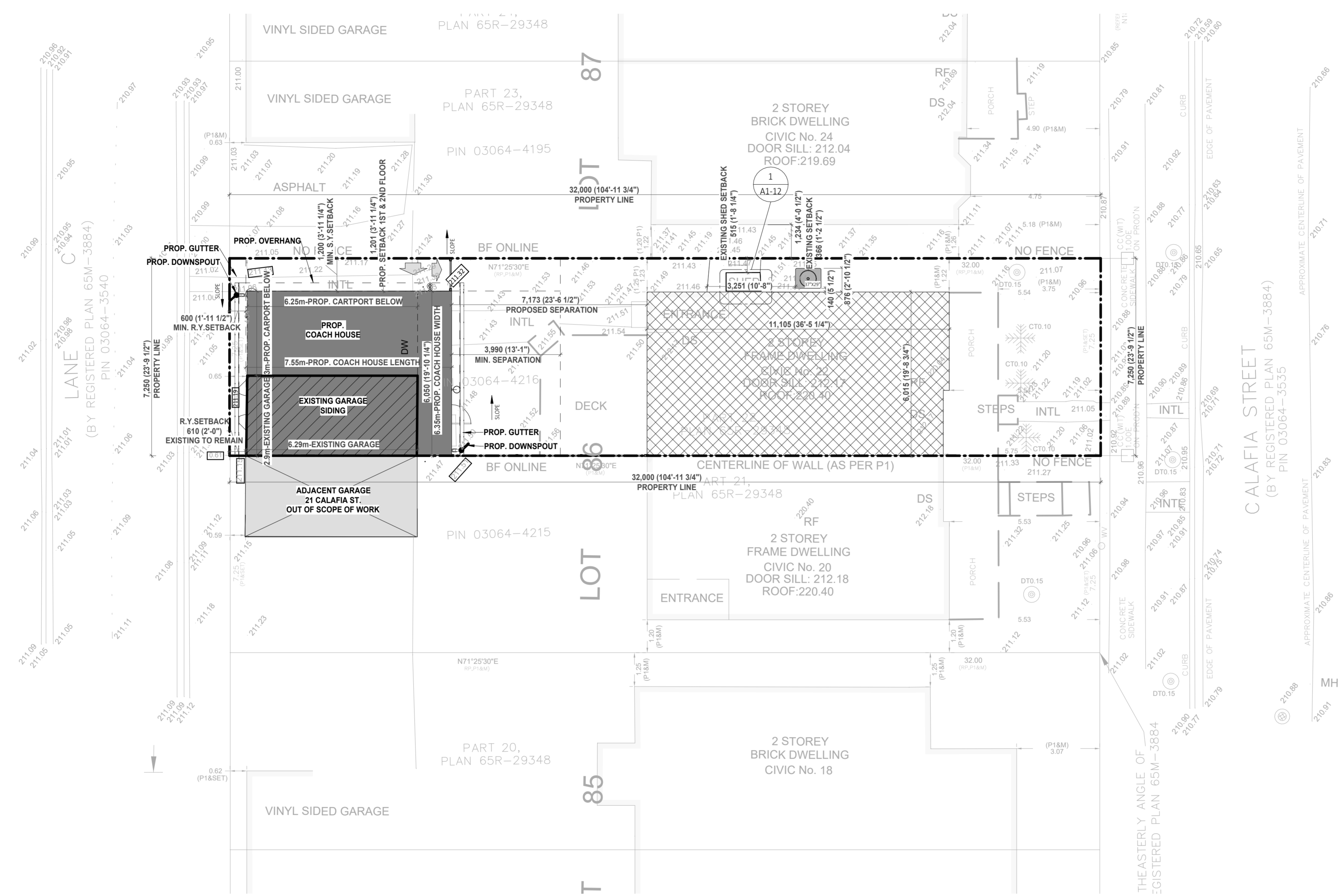
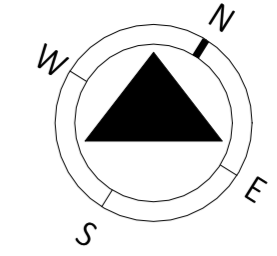
SASHA SLAVISAG

PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
SITE PLAN-EXISTING

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: 1:100	DESIGNER: ELISA RAD
CHECKER:	SHEET No: A0-03



1 SITE - PROPOSED
1:100

SITE STATISTICS

LOT	
ZONE	RES-LR4
EXCEPTION	NONE
LOT NO.	86
LOT AREA (m ²)	232.0 m ²
LOT FRONTAGE	7.25 m
PERMITTED USES	6.3.6.1.

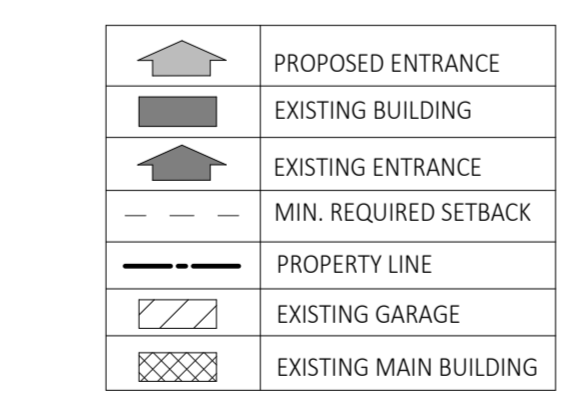
EXISTING 2 STORY SEMI-DETACHED PRINCIPAL HOUSE	
AREA	EXISTING
SECOND FLOOR	66.2 m ²
FIRST FLOOR	66.2 m ²
BASEMENT	m ²
TOTAL	132.4 m ²
FSI	0.57

LOT COVERAGE (%)		
	EXISTING	PROPOSED
PRINCIPAL HOUSE	28.5% (66.2 m ²)	28.5% (66.2 m ²)
COACH HOUSE	7.88% (18.3 m ²)	19.55% (45.36 m ²)
TOTAL	36.38% (84.4 m ²)	48.05% (111.56 m ²)

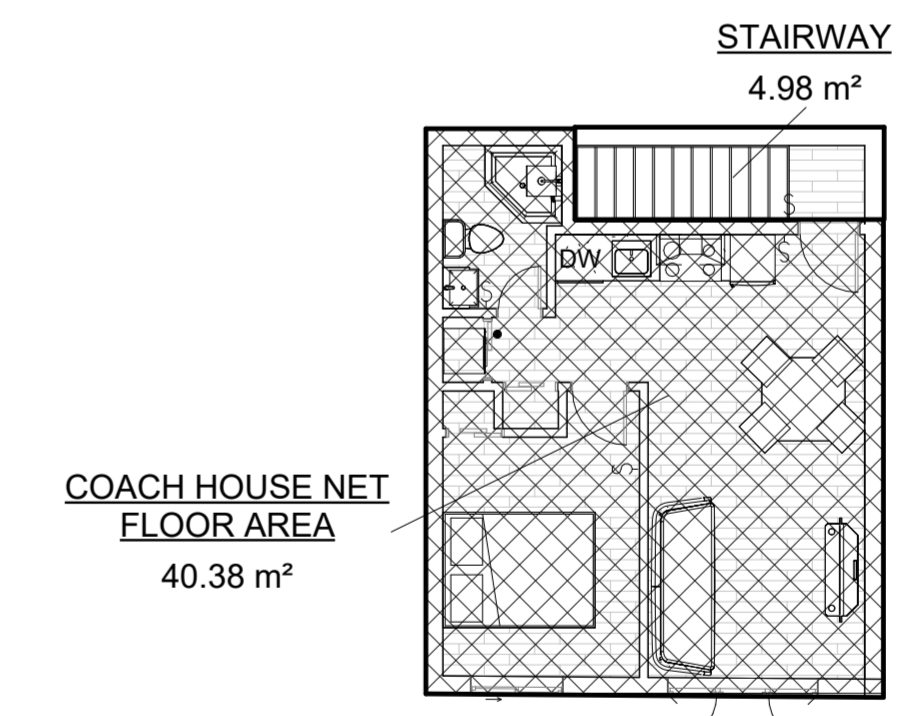
PROPOSED COACH HOUSE			
	EXISTING	PROPOSED	ALLOWED
HEIGHT OF BUILDING (m)	—	7.029 m	8 m
LENGTH OF BUILDING (m)	—	7.50 m	—
SEPARATION (m)	8.44 m	7.18 m	4 m
REAR SETBACK (m)	0.61 m	0.61 m	0.6 m
SIDE SETBACK NORTH (m)	1ST FLOOR	4.31 m	0.9 m / 0.5 m
	2ND FLOOR	—	1.36 m / 0.9 m
SIDE SETBACK-SOUTH (m)	0.0 m	0.0 m	0.0 m
LOT COVERAGE (%)	7.88% (18.3 m ²)	19.55% (45.36 m ²)	18%

AREA	EXISTING	PROPOSED
COACH HOUSE	—	40.38 m ²
GARAGE FLOOR	18.3 m ²	18.3 m ²

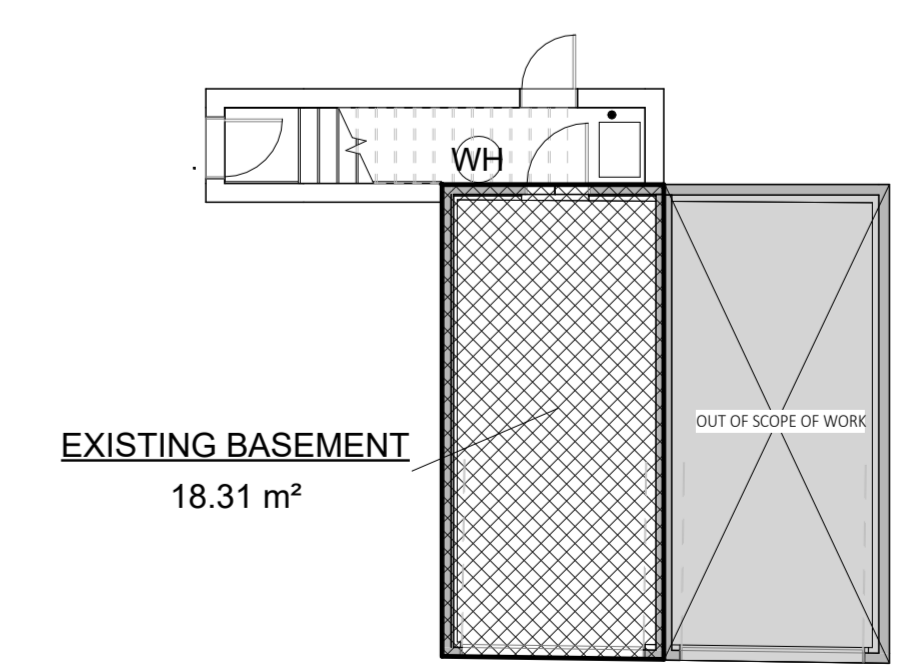
NET FLOOR AREA	PROPOSED
COACH HOUSE	40.38 m ²



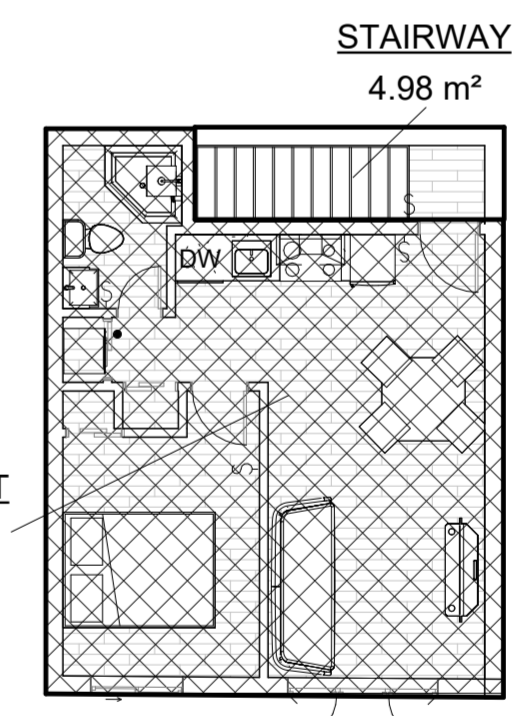
AVERAGE GRADE:
(211.13+211.15+211.51+211.32)/4 = 211.27m



COACH HOUSE NET FLOOR AREA
40.38 m²



EXISTING BASEMENT
18.31 m²



FIN. SECOND FLOOR
4.98 m²

GENERAL NOTES:
1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:

296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smart.ca

CLIENT:

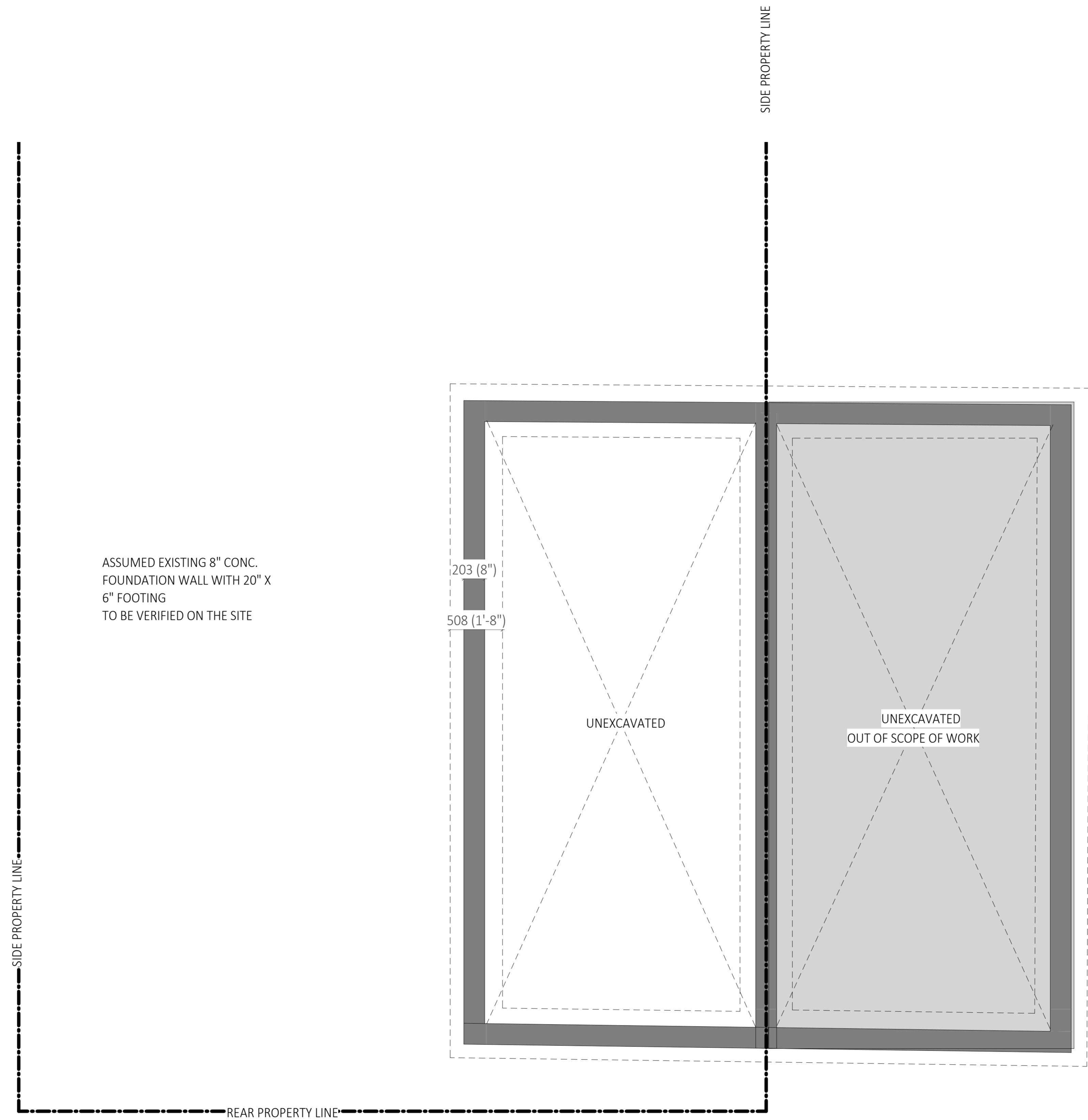
SASHA SLAVISAG

PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
SITE PLAN-PROPOSED

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: As indicated	DRAWING No.: A0-04
DESIGNER: ELISA RAD	CHECKER: A0-04



① FOUNDATION-EXISTING
1:25

WALL LEGEND	
	EXISTING WALL
	DEMOLISHED WALL
	PROPOSED WALL
	FIRE-RATED WALL

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

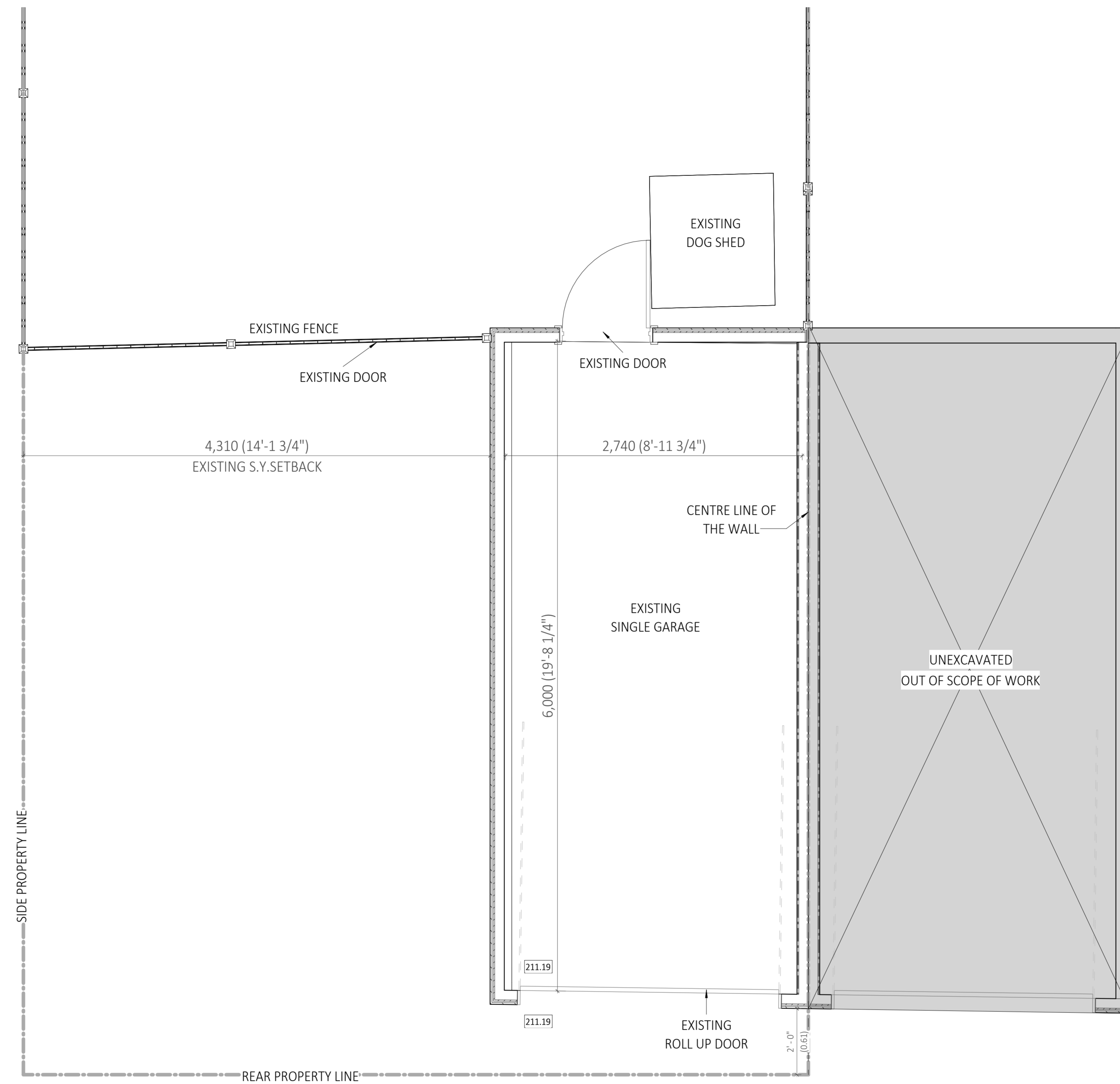
SASHA SLAVISAG

PROJECT NAME:
 NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
 FOUNDATION
 PLAN-EXISTING

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: As indicated	SHEET No: A1-01
DESIGNER: ELISA RAD	CHECKER: 0



① GARAGE FLOOR-EXISTING
1:25

WALL LEGEND	
	EXISTING WALL
	DEMOLISHED WALL
	PROPOSED WALL
	FIRE-RATED WALL

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

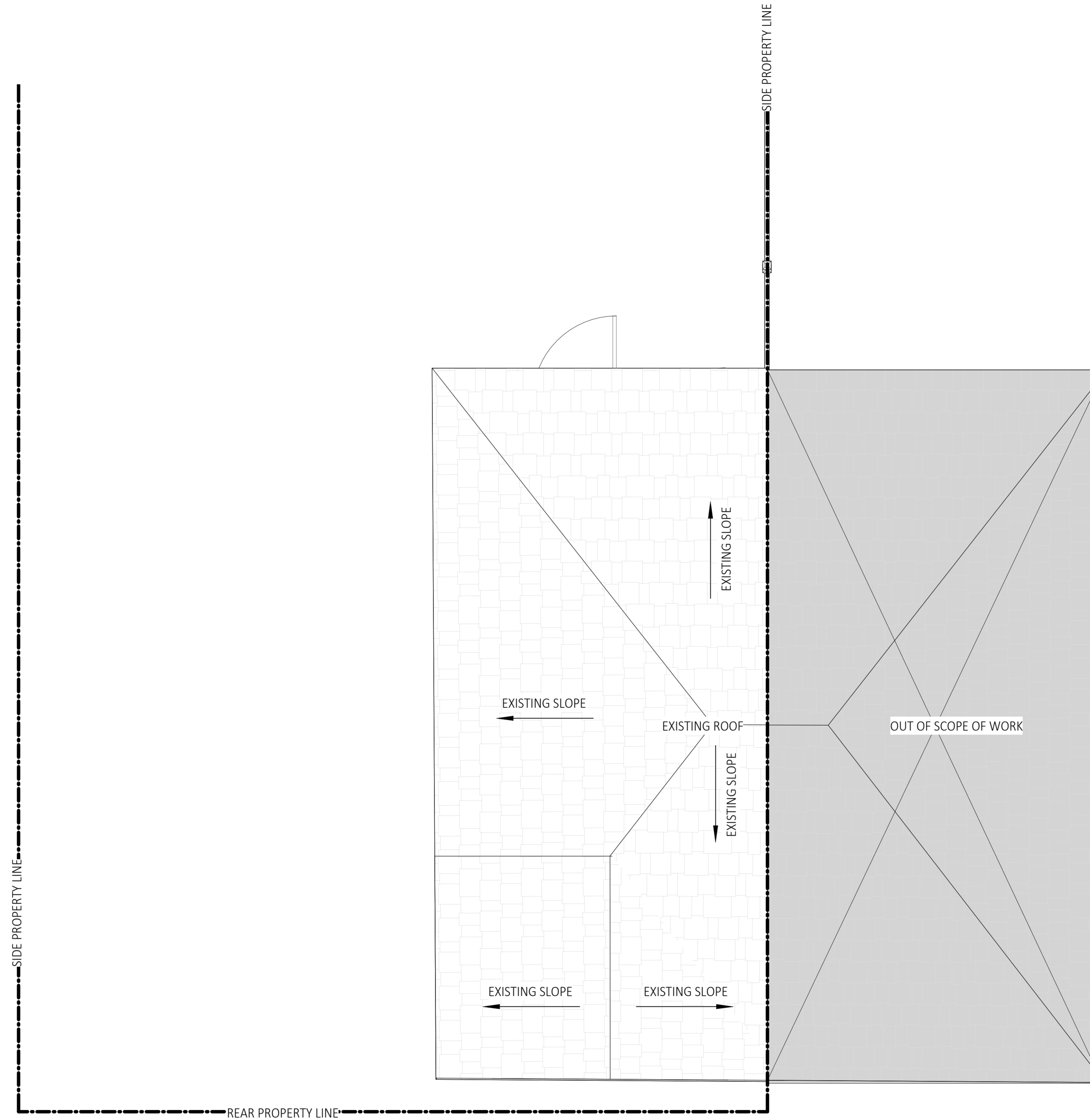
SASHA SLAVISAG

PROJECT NAME:
 NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
 1st FLOOR PLAN-EXISTING

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: As indicated	SHEET No: A1-02
DESIGNER: ELISA RAD	CHECKER: 0



① ROOF PEAK-EXISTING
1:25

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

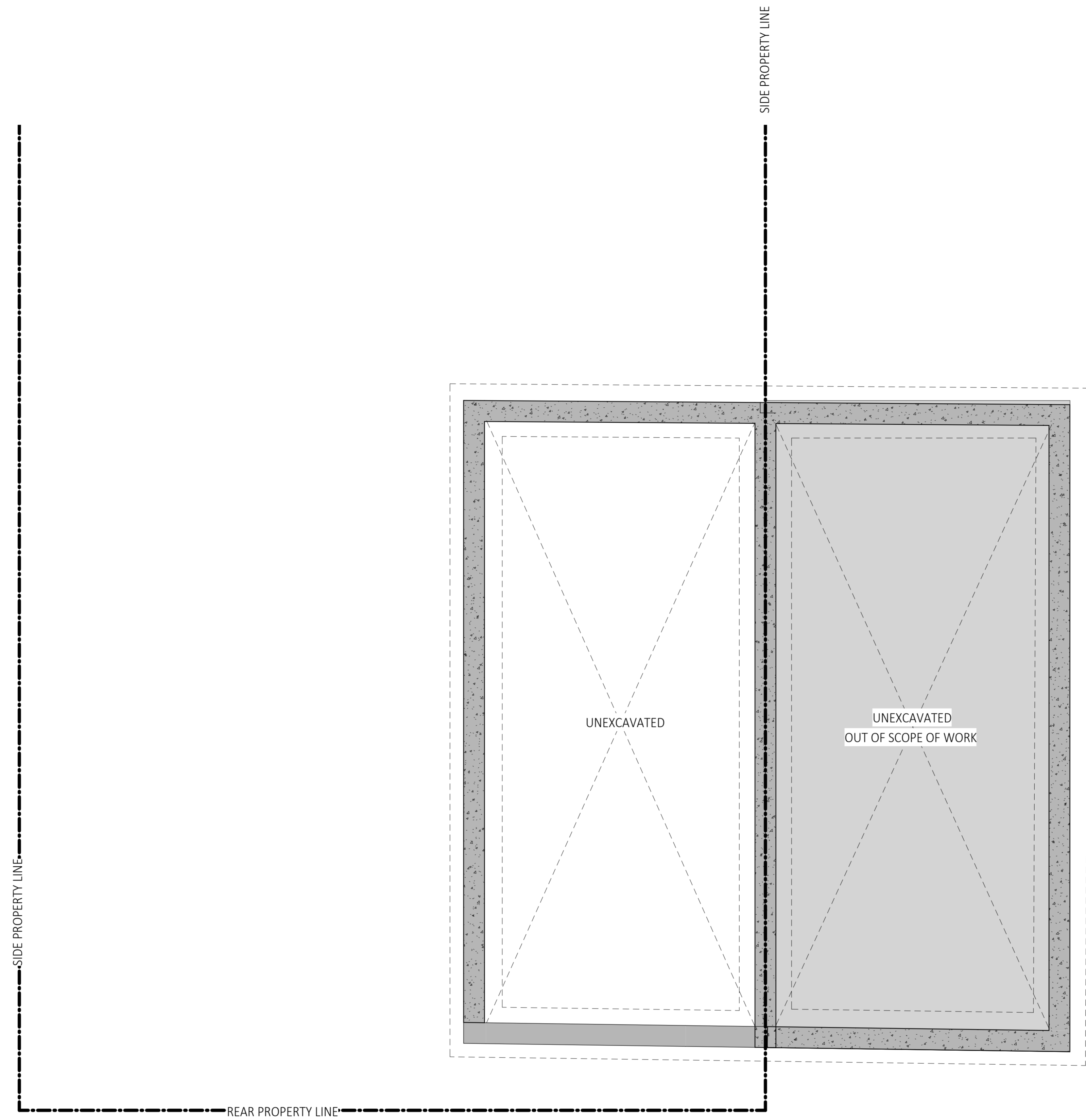
SASHA SLAVISAG

PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
ROOF PLAN-EXISTING

DATE: 2025/12/14	PROJECT No.:
SCALE: 1:25	SSS-005-295
DESIGNER: ELISA RAD	SHEET No.:
CHECKER: 0	A1-03



① FOUNDATION-DEMOLISHING
1:25

WALL LEGEND	
	EXISTING WALL
	DEMOLISHED WALL
	PROPOSED WALL
	FIRE-RATED WALL

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



Smart Group
 296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
 (289) 212-3388, info@smartg.ca

CLIENT:

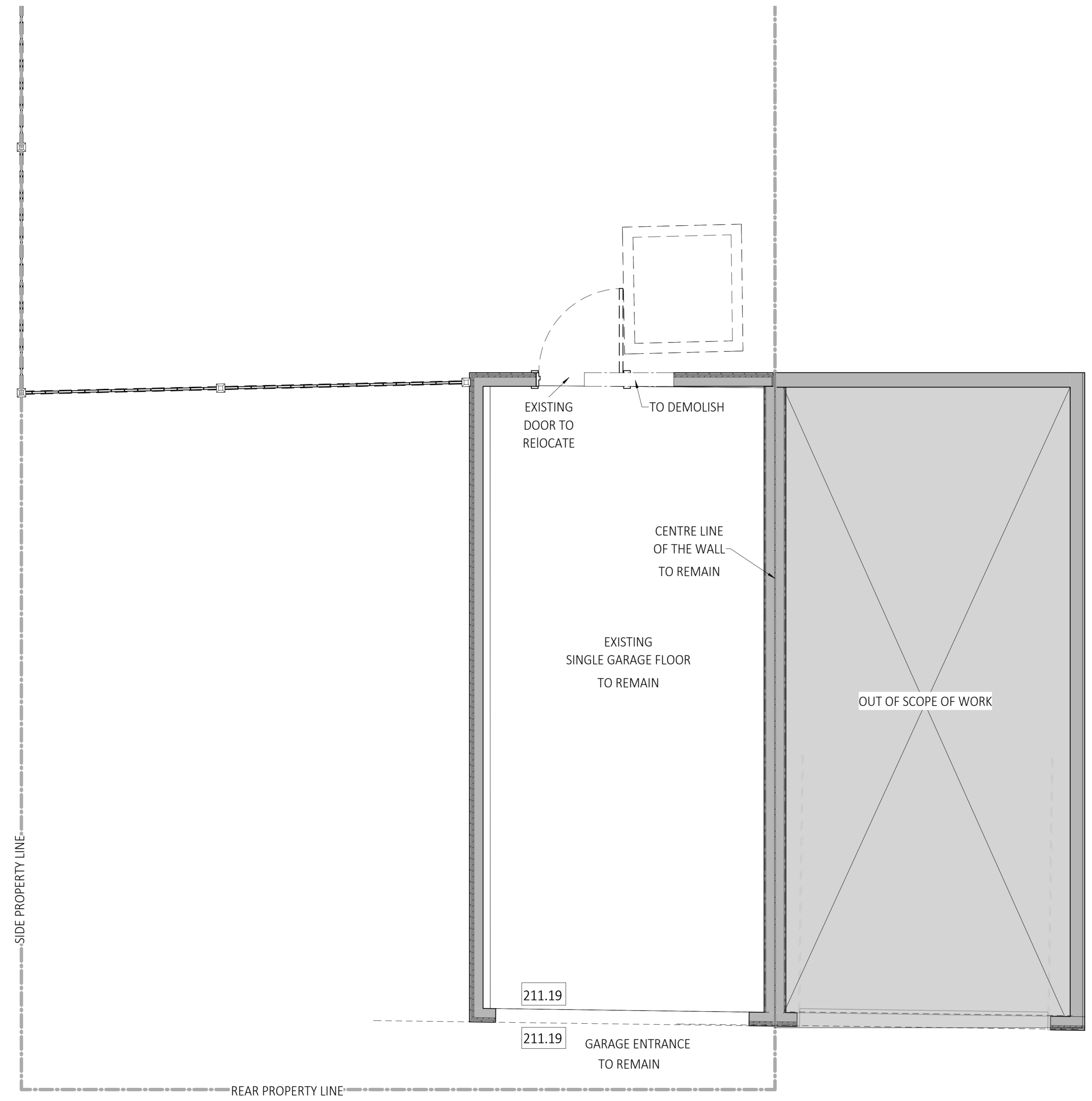
SASHA SLAVISAG

PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
**FOUNDATION
 PLAN-DEMOLISHING**

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: As indicated	SHEET No: A1-04
DESIGNER: ELISA RAD	CHECKER: 0



① GARAGE FLOOR-DEMOLISHING
1:25

WALL LEGEND	
	EXISTING WALL
	DEMOLISHED WALL
	PROPOSED WALL
	FIRE-RATED WALL

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

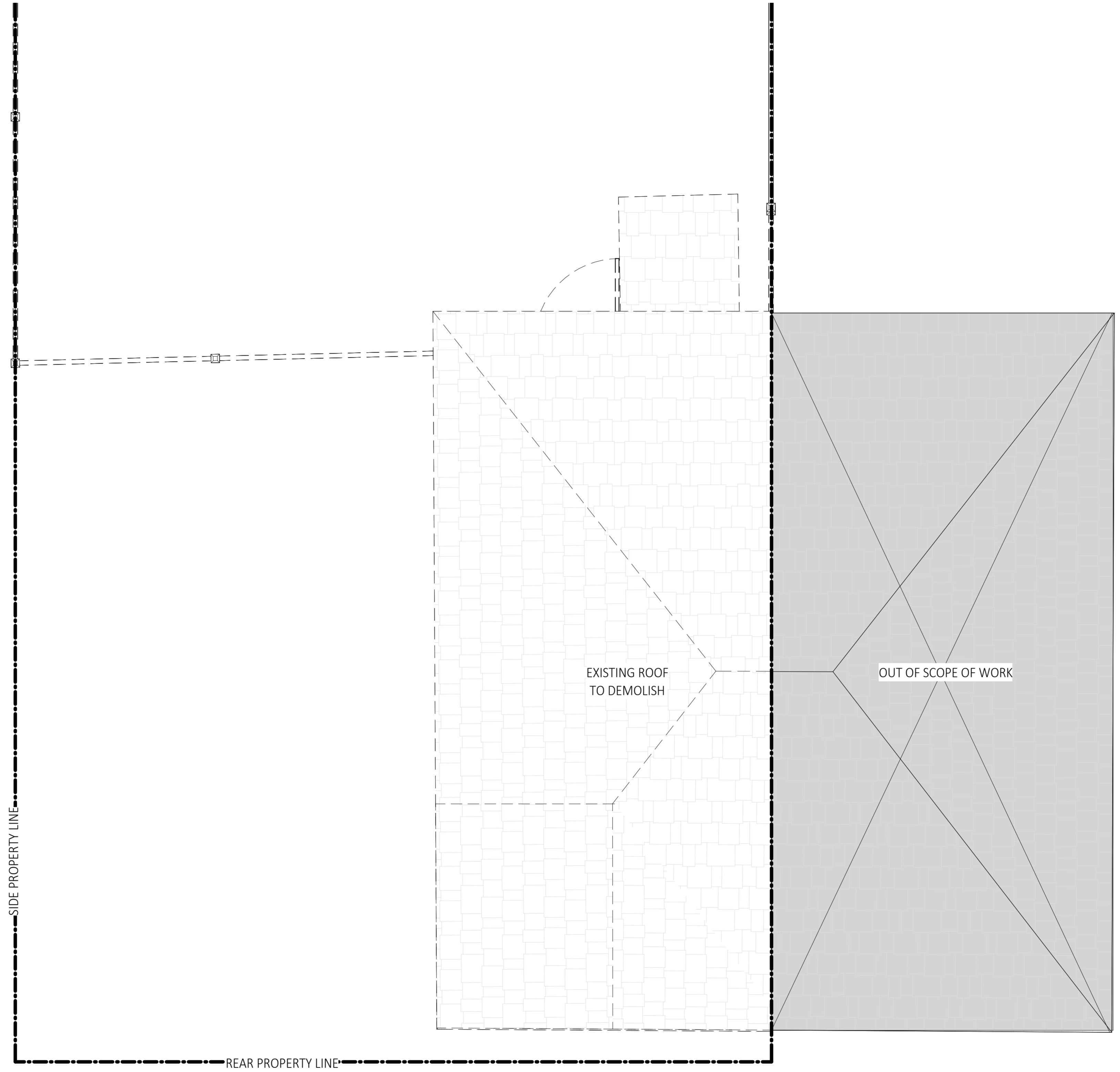
SASHA SLAVISAG

PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
**1st FLOOR
 PLAN-DEMOLISHING**

DATE: 2025/12/14	PROJECT No.:
SCALE: As indicated	SSS-005-295
DESIGNER: ELISA RAD	SHEET No.:
CHECKER: 0	A1-05



① ROOF PEAK- DEMOLISHING
1 : 25

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

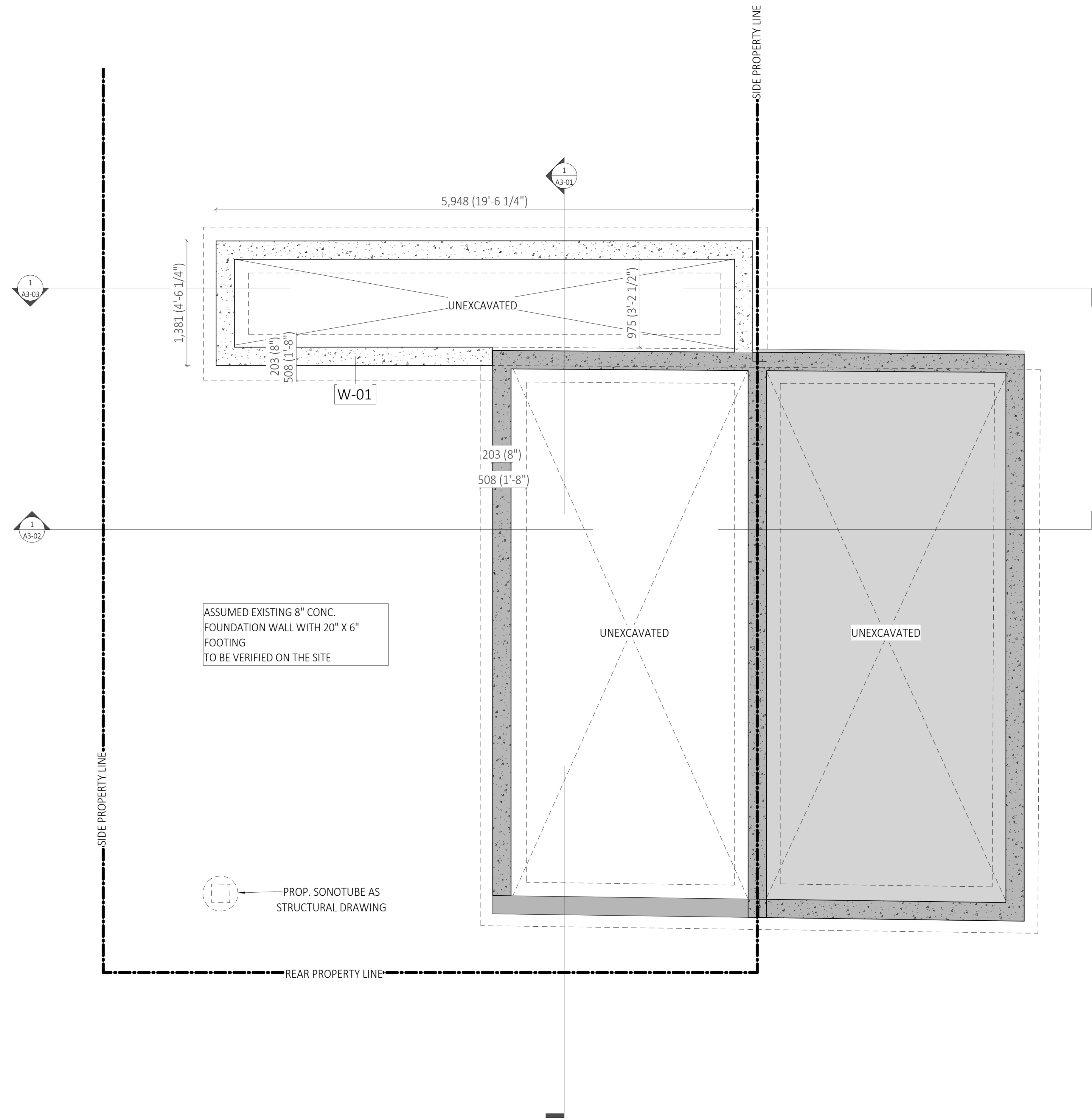
SASHA SLAVISAG

PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
ROOF PLAN-DEMOLISHING

DATE: 2025/12/14	PROJECT No.:
SCALE: 1 : 25	SSS-005-295
DESIGNER: ELISA RAD	SHEET No.:
CHECKER: 0	A1-06



1 FOUNDATION-PROPOSED
1 : 25

WALL LEGEND	
	EXISTING WALL
	DEMOLISHED WALL
	PROPOSED WALL
	FIRE-RATED WALL

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

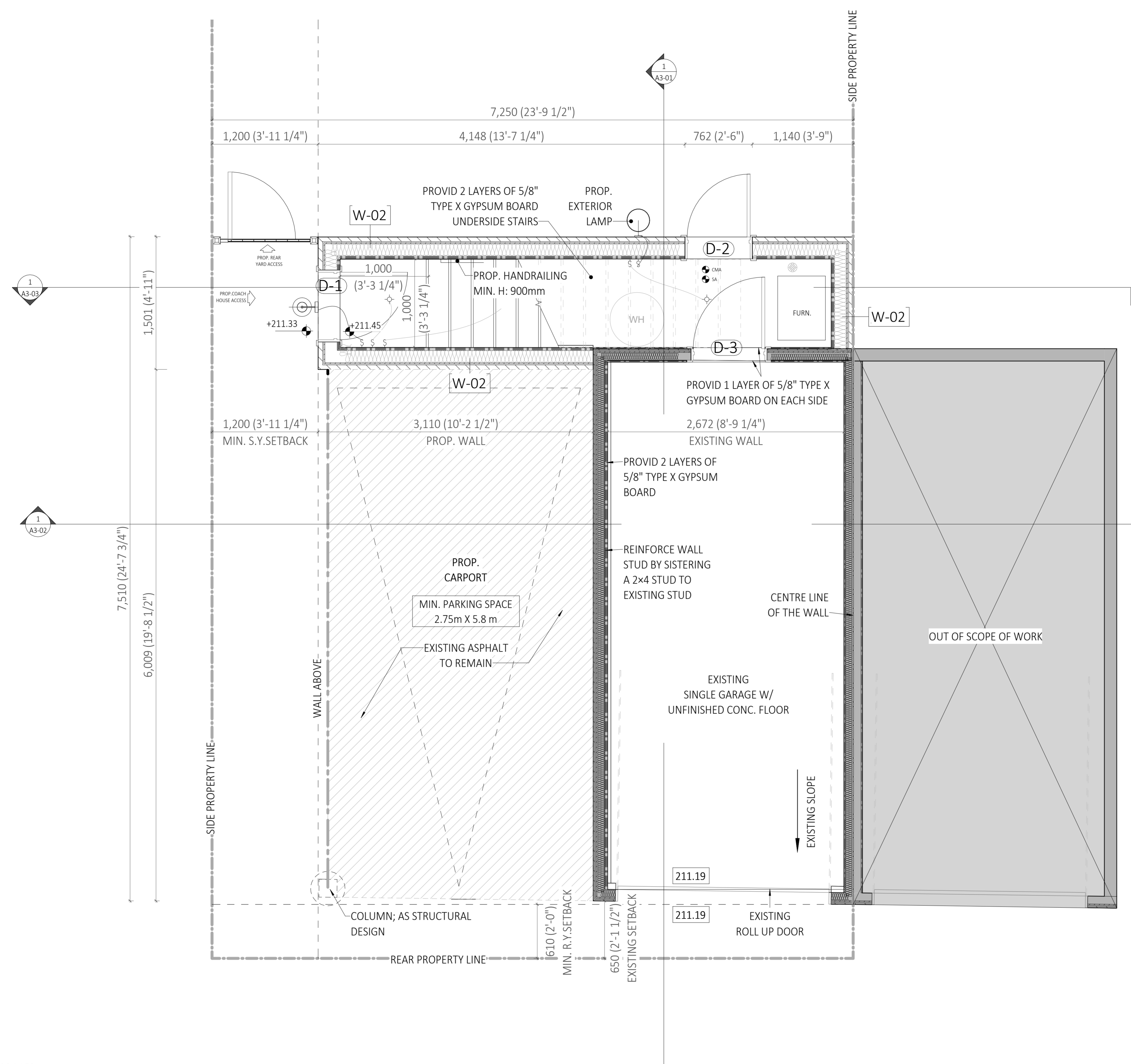
No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS
 CONSULTANT:

 296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
 (289) 212-3388, info@smartg.ca

CLIENT:
 SASHA SLAVISAG

PROJECT NAME:
 NEW COACH HOUSE & CARPORT
 PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6
 SHEET NAME:
 FOUNDATION
 PLAN-PROPOSED
 DATE: 2025/12/14 PROJECT No.: SSS-005-295
 SCALE: As indicated DESIGNER: ELISA RAD SHEET No.: A1-07
 CHECKER: 0



1 GARAGE FLOOR- PROPOSED
1:25

	OUT OF SCOPE OF WORK
	PROPOSED ENTRANCE
	MIN. REQUIRED SETBACK
	PROPERTY LINE

WALL LEGEND	
	EXISTING WALL
	DEMOLISHED WALL
	PROPOSED WALL
	FIRE-RATED WALL

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

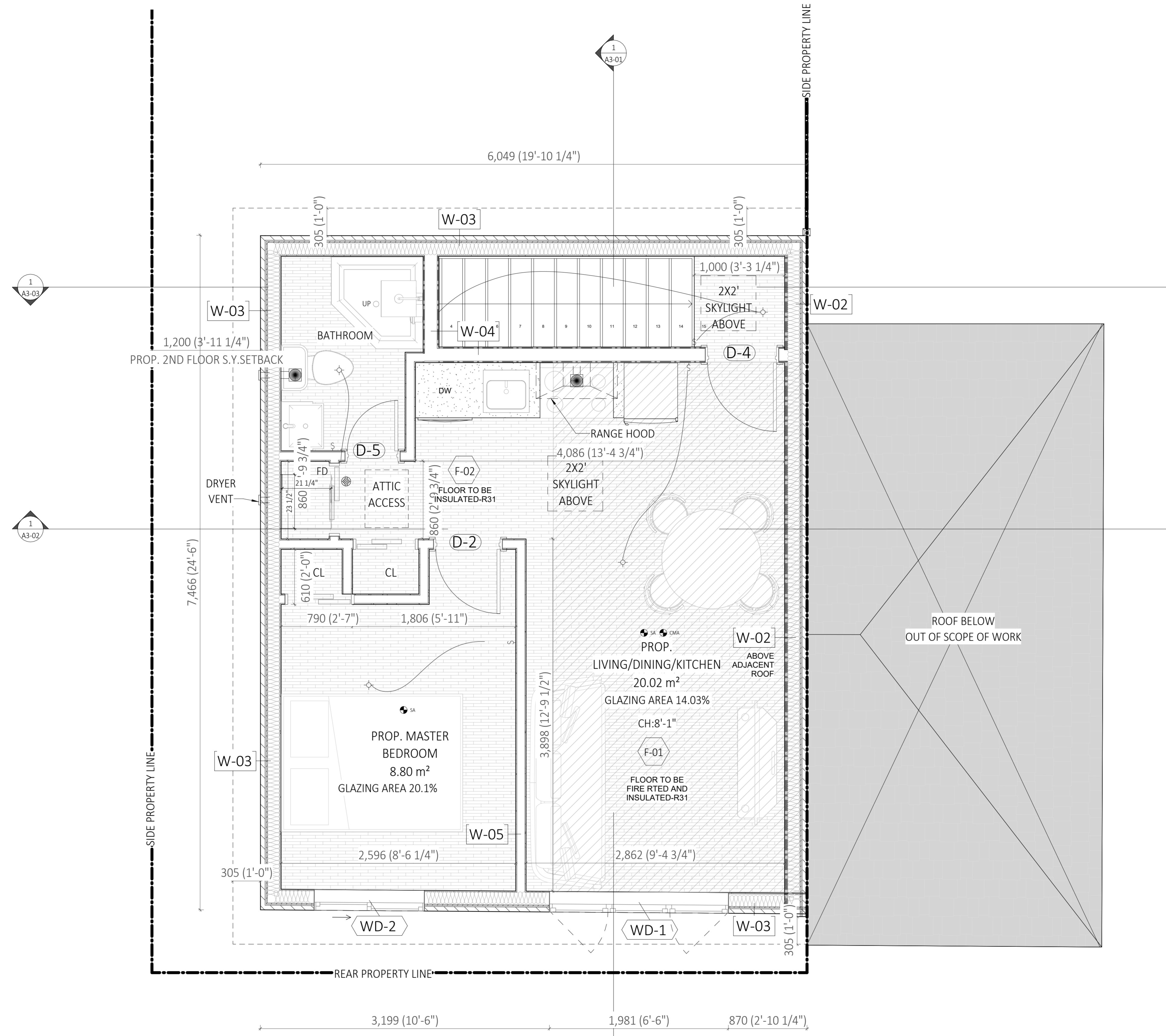
SASHA SLAVISAG

PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
1st FLOOR PLAN-PROPOSED

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: As indicated	DESIGNER: ELISA RAD
CHECKER: 0	SHEET No: A1-08



1 SECOND FLOOR-PROPOSED
1:25

WALL LEGEND	
	EXISTING WALL
	DEMOLISHED WALL
	PROPOSED WALL
	FIRE-RATED WALL

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

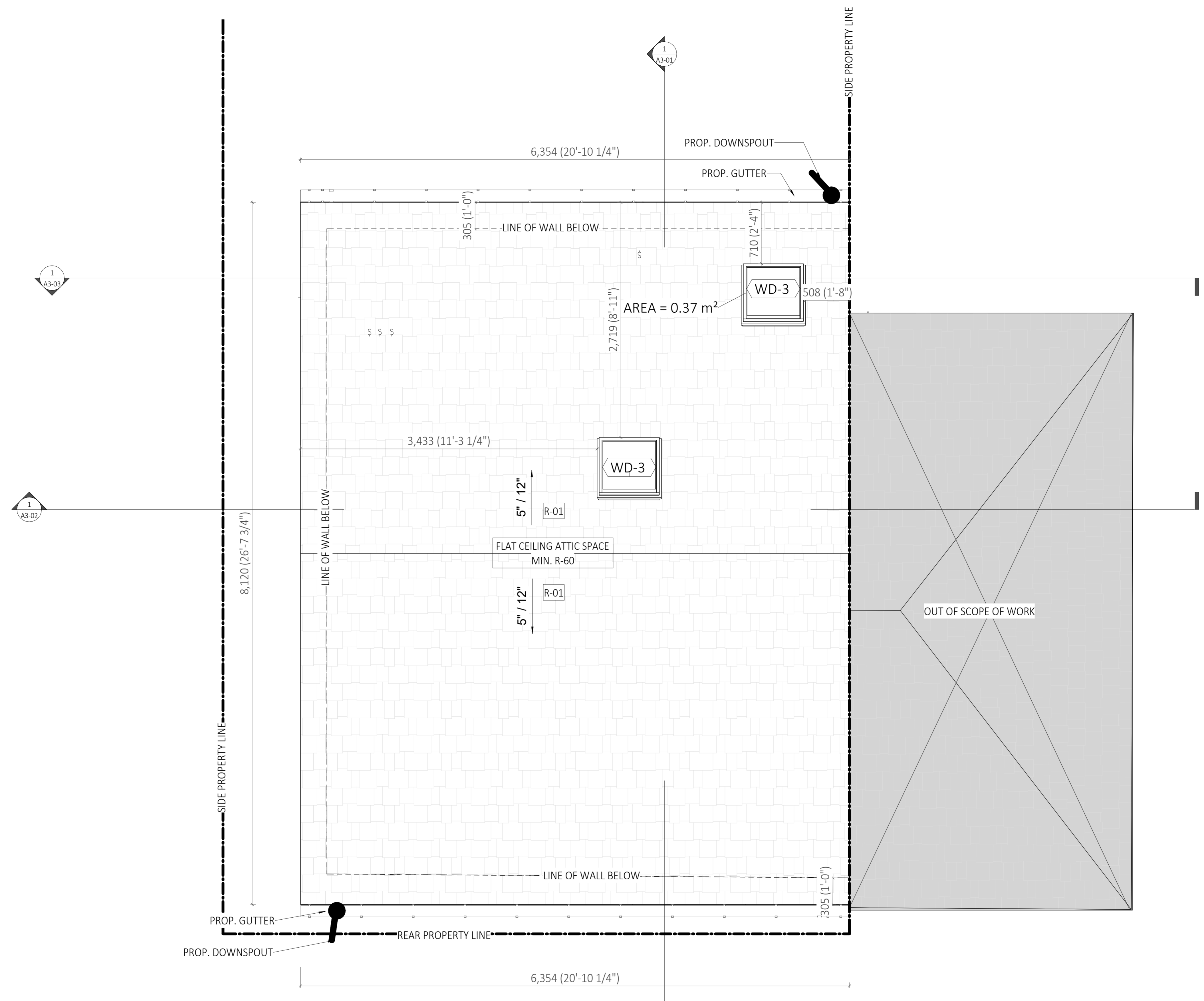
SASHA SLAVISAG

PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
**2nd FLOOR
 PLAN-PROPOSED**

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: As indicated	DESIGNER: ELISA RAD
CHECKER: 0	SHEET No.: A1-09



GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
 (289) 212-3388, info@smartg.ca

CLIENT:

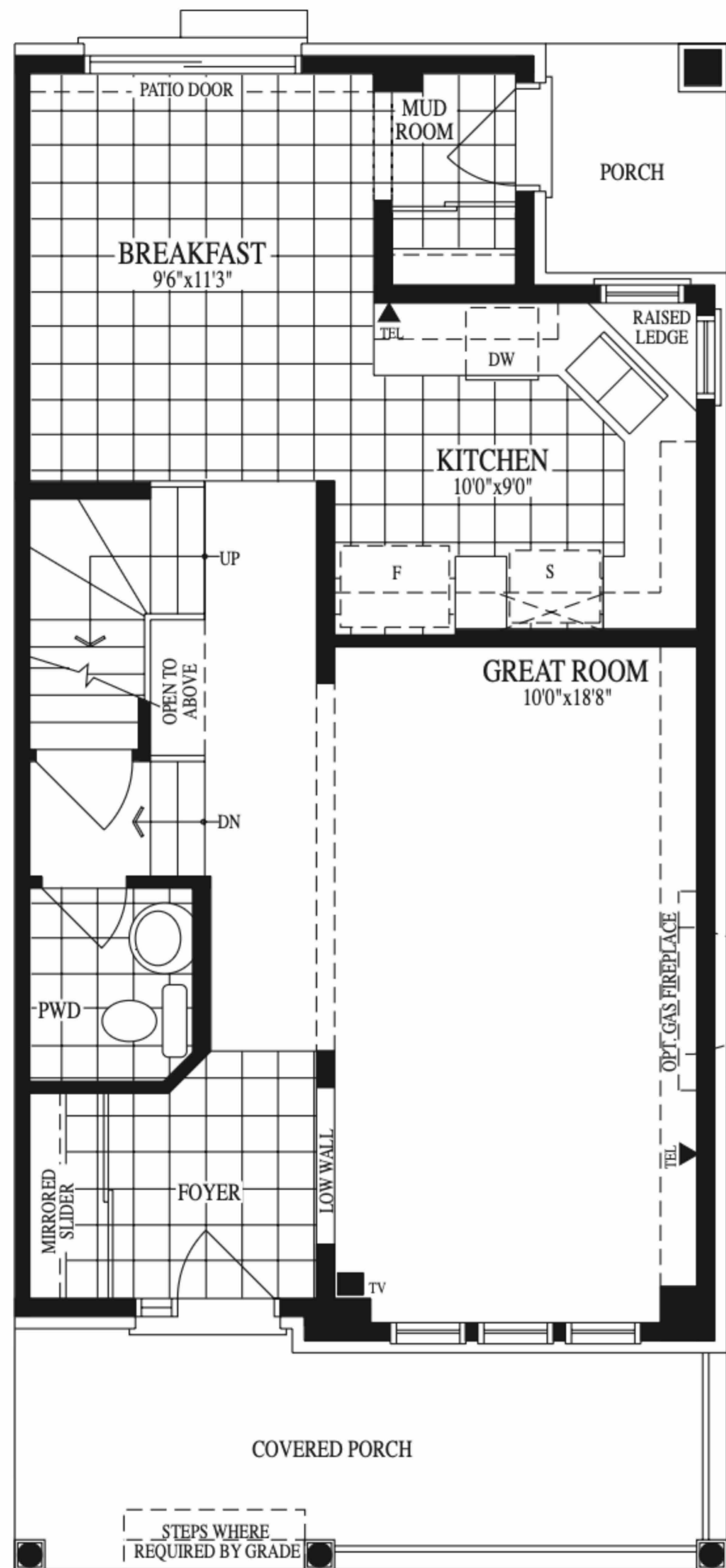
SASHA SLAVISAG

PROJECT NAME:
 NEW COACH HOUSE & CARPORT

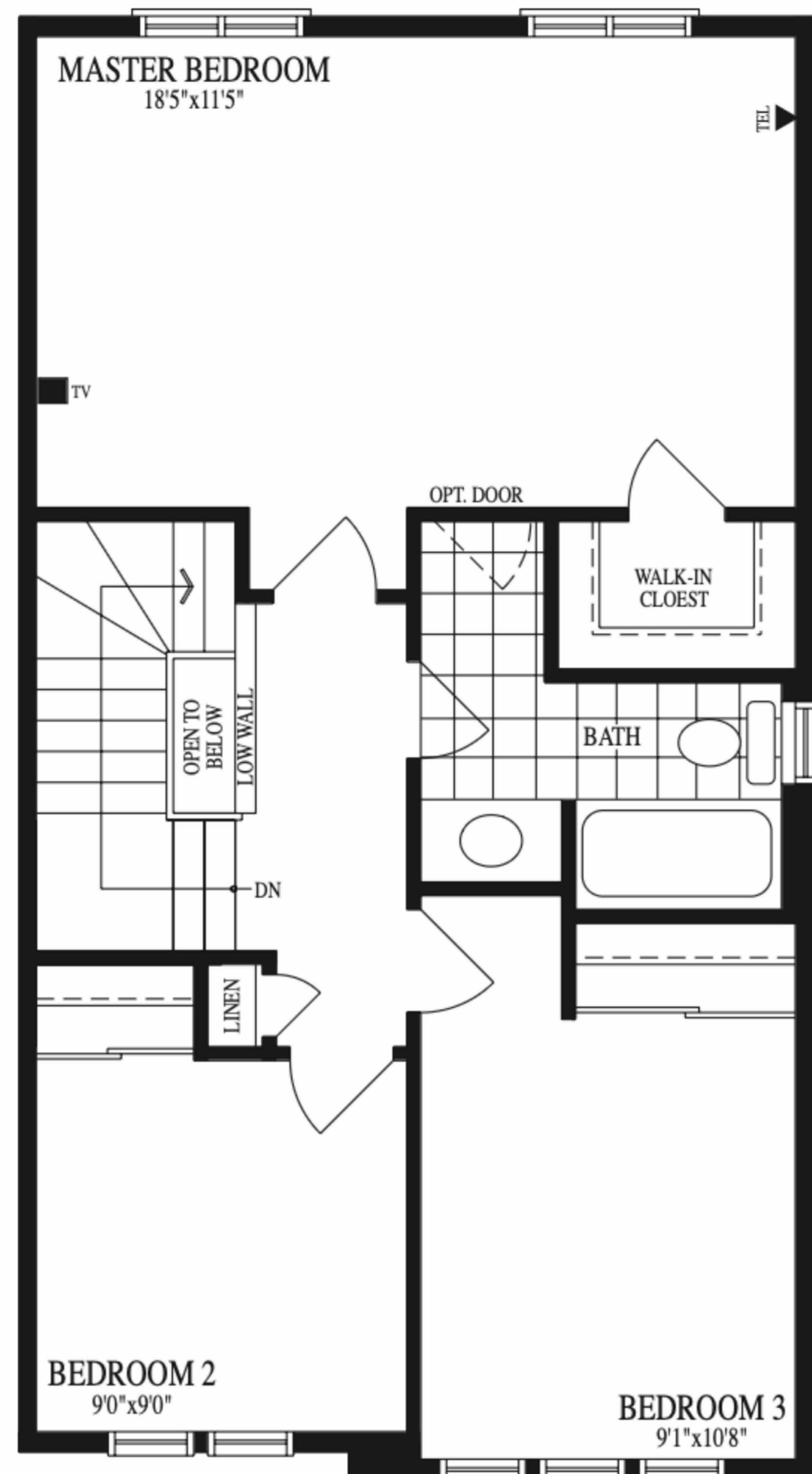
PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
 ROOF PLAN-PROPOSED

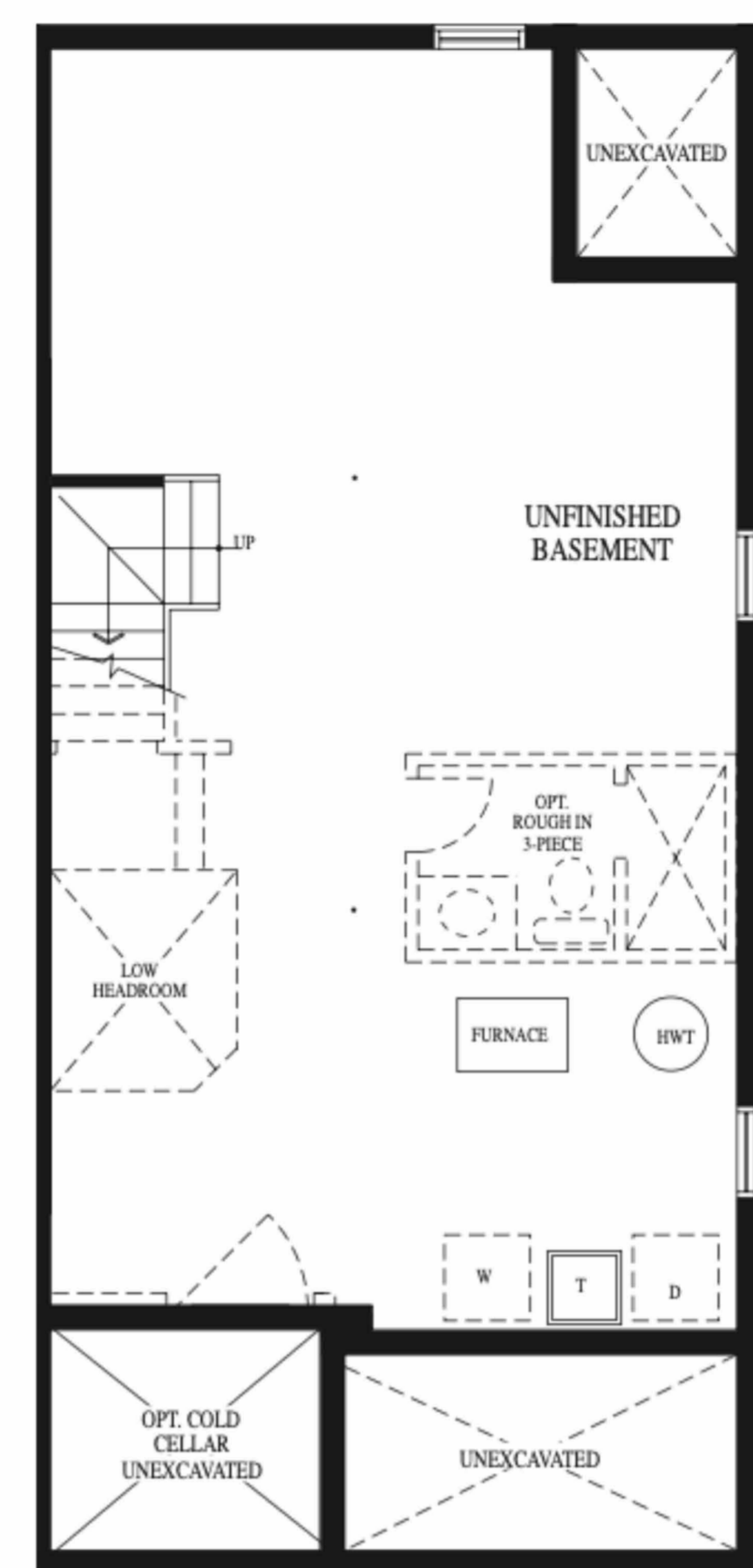
DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: 1:25	SHEET No.: A1-10
DESIGNER: ELISA RAD	CHECKER: 0



GROUND FLOOR



SECOND FLOOR



BASEMENT

EXISTING FLOOR PLANS OF MAIN BUILDING WITH NO ALTERATION

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

SASHA SLAVISAG

PROJECT NAME:
 NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
 MAIN BUILDING FLOOR
 PLAN-EXISTING

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE:	
DESIGNER: ELISA RAD	SHEET No: A1-11
CHECKER: 0	



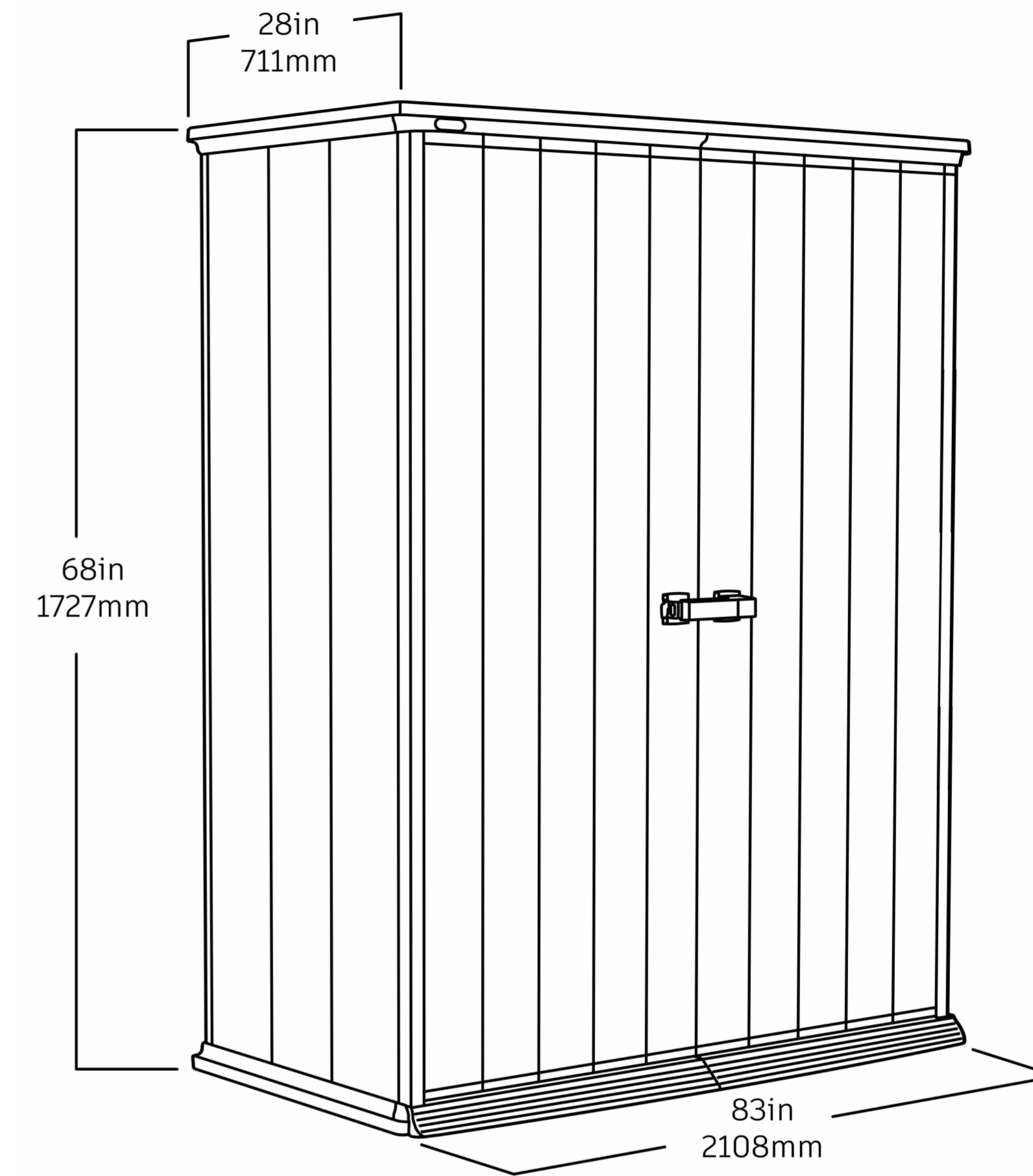
EXISTING OUTDOOR STORAGE - VIEW 1



EXISTING OUTDOOR STORAGE - VIEW 2



EXISTING OUTDOOR STORAGE - VIEW 3



STORAGE SHED DIMENSIONS		
EXTERIOR WIDTH	83"	2108 mm
EXTERIOR DEPTH	28"	711mm
EXTERIOR PEAK HEIGHT	68"	1727mm

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
 (289) 212-3388, info@smartg.ca

CLIENT:

SASHA SLAVISAG

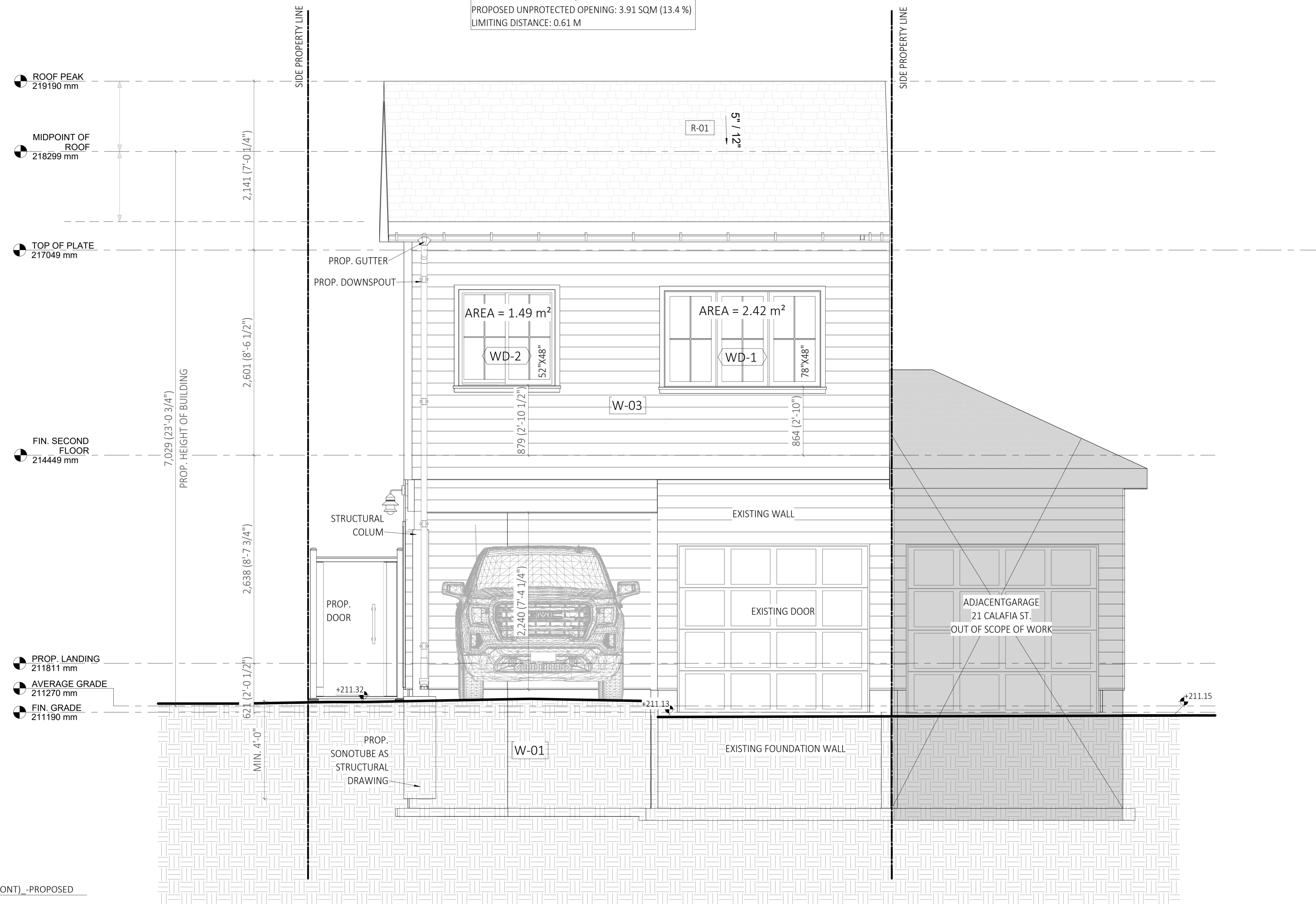
PROJECT NAME:
 NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
 SHED - EXISTING

DATE: 2025/12/14	PROJECT No.:
SCALE: 1 : 10	SSS-005-295
DESIGNER: ELISA RAD	SHEET No:
CHECKER:	A1-12

BUILDING FACE : 29.11 SQM
 PROPOSED UNPROTECTED OPENING: 3.91 SQM (13.4 %)
 LIMITING DISTANCE: 0.61 M



GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
 (289) 212-3388, info@smartg.ca

CLIENT:

SASHA SLAVISAG

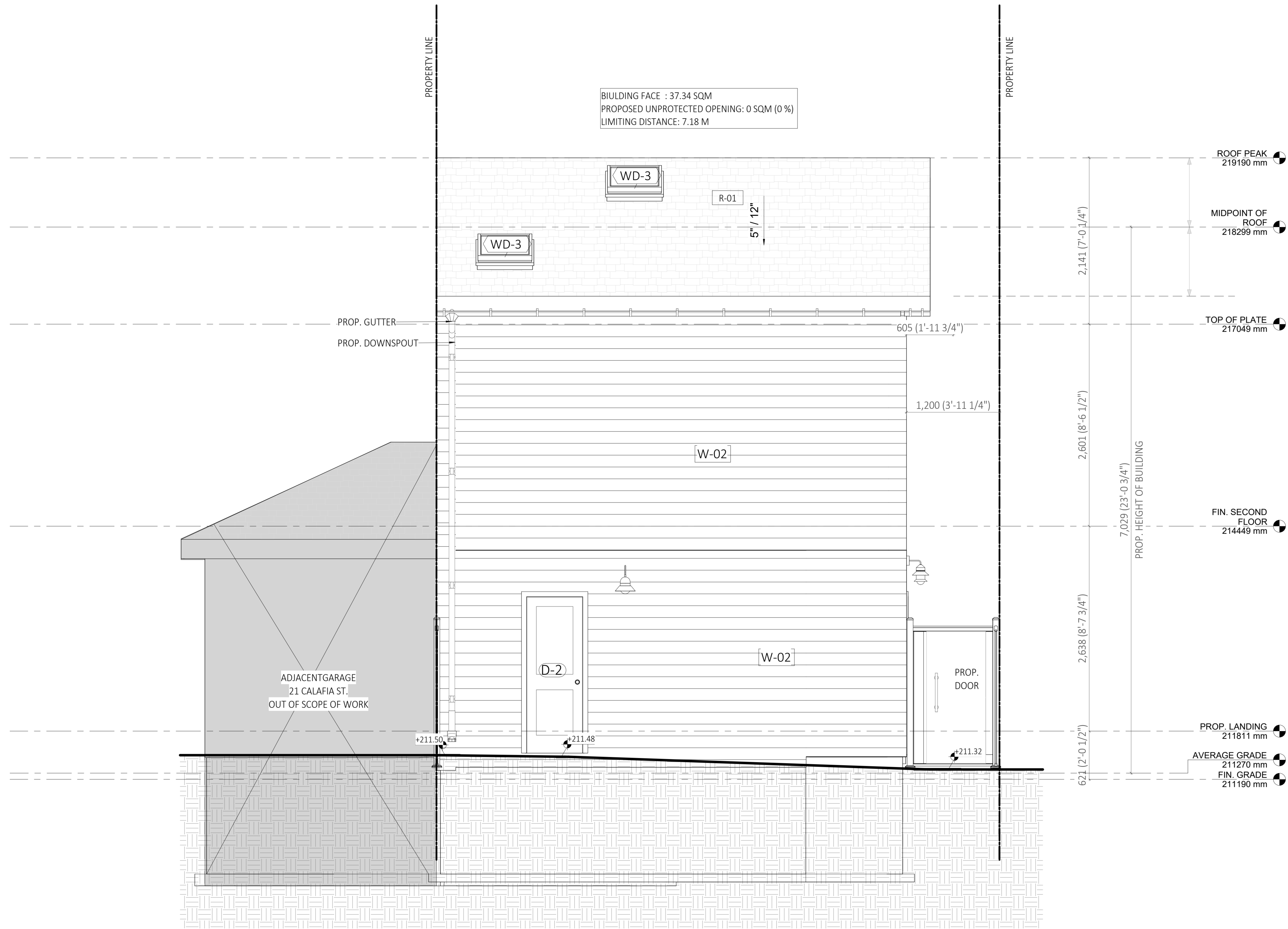
PROJECT NAME:
 NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
 WEST (FRONT) ELEVATION

DATE: 2025/12/14	PROJECT No.:
SCALE: 1:25	SSS-005-295
DESIGNER: ELISA RAD	SHEET No.:
CHECKER:	A2-01

1 WEST(FRONT) -PROPOSED
 1:25



GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
 (289) 212-3388, info@smartg.ca

CLIENT:

SASHA SLAVISAG

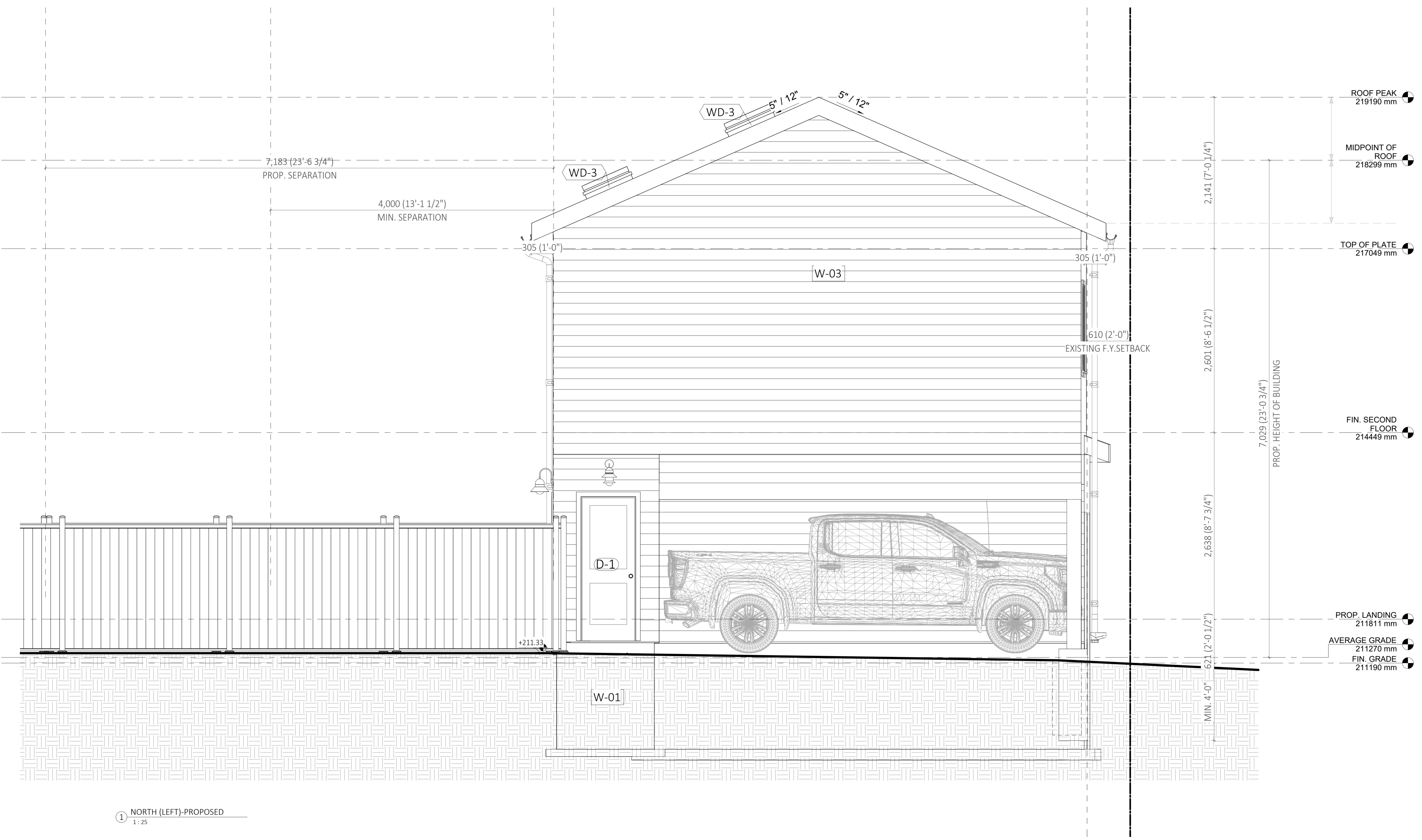
PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
EAST (REAR) ELEVATION

DATE: 2025/12/14	PROJECT No.:
SCALE: 1:25	SSS-005-295
DESIGNER: ELISA RAD	SHEET No.:
CHECKER:	A2-02

① EAST (REAR)-PROPOSED
 1:25



ROOF PEAK
219190 mm

MIDPOINT OF ROOF
218299 mm

TOP OF PLATE
217049 mm

FIN. SECOND FLOOR
214449 mm

PROP. LANDING
211811 mm

AVERAGE GRADE
211270 mm

FIN. GRADE
211190 mm

7,029 (23'-0 3/4")
PROP. HEIGHT OF BUILDING

2,141 (7'-0 1/4")

2,601 (8'-6 1/2")

2,638 (8'-7 3/4")

MIN. 4'-0" = 621 (2'-0 1/2")

7,183 (23'-6 3/4")
PROP. SEPARATION

4,000 (13'-1 1/2")
MIN. SEPARATION

305 (1'-0")

305 (1'-0")

610 (2'-0")
EXISTING F.Y. SETBACK

+211.33

WD-3

WD-3

W-03

D-1

W-01

5" / 12"

5" / 12"

GENERAL NOTES:
1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

SASHA SLAVISAG

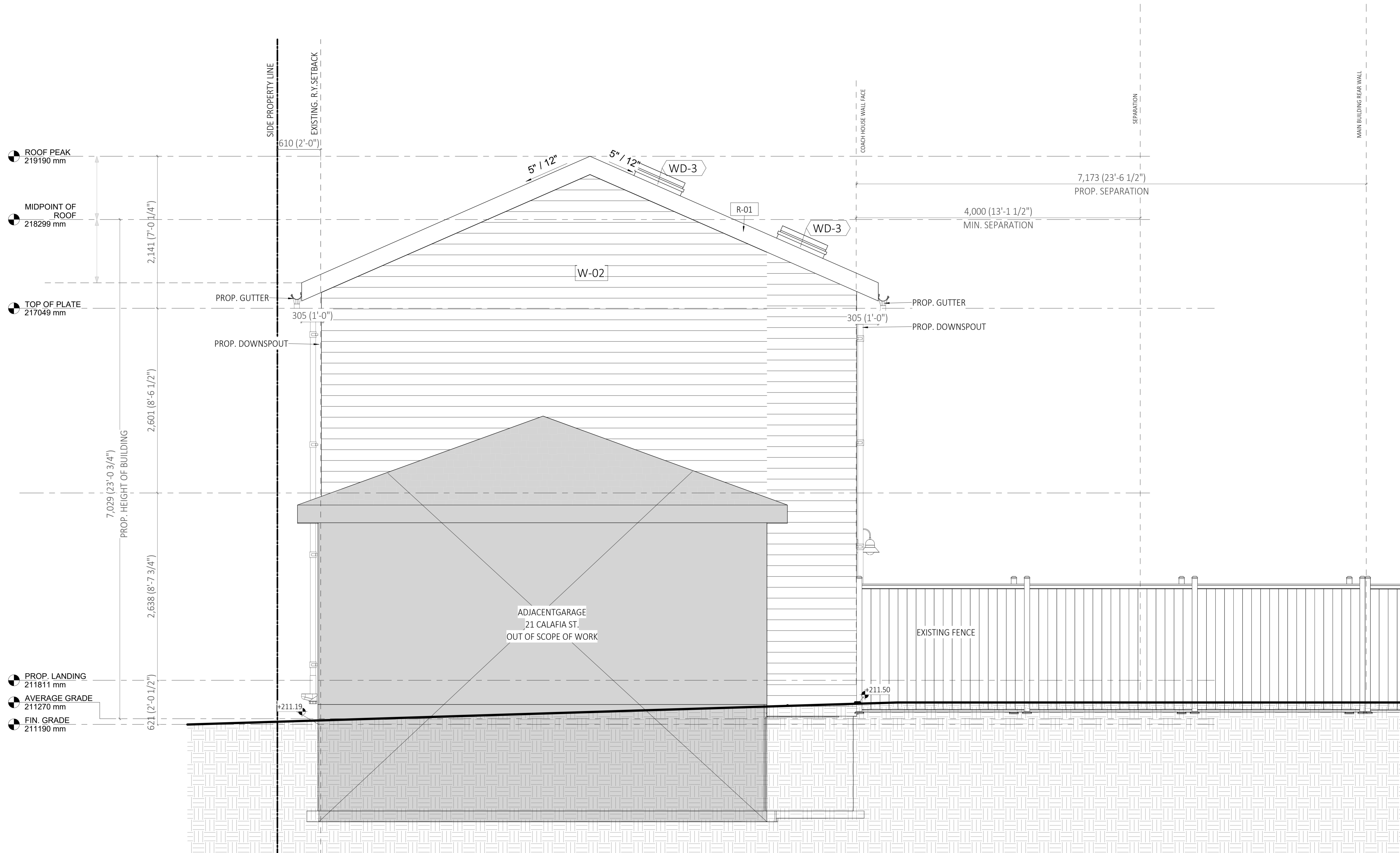
PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
NORTH (LEFT) ELEVATION

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: 1:25	SHEET No.: A2-03
DESIGNER: ELISA RAD	CHECKER:

1 NORTH (LEFT)-PROPOSED
1:25



1 SOUTH (RIGHT)-PROPOSED
1:25

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1/4 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

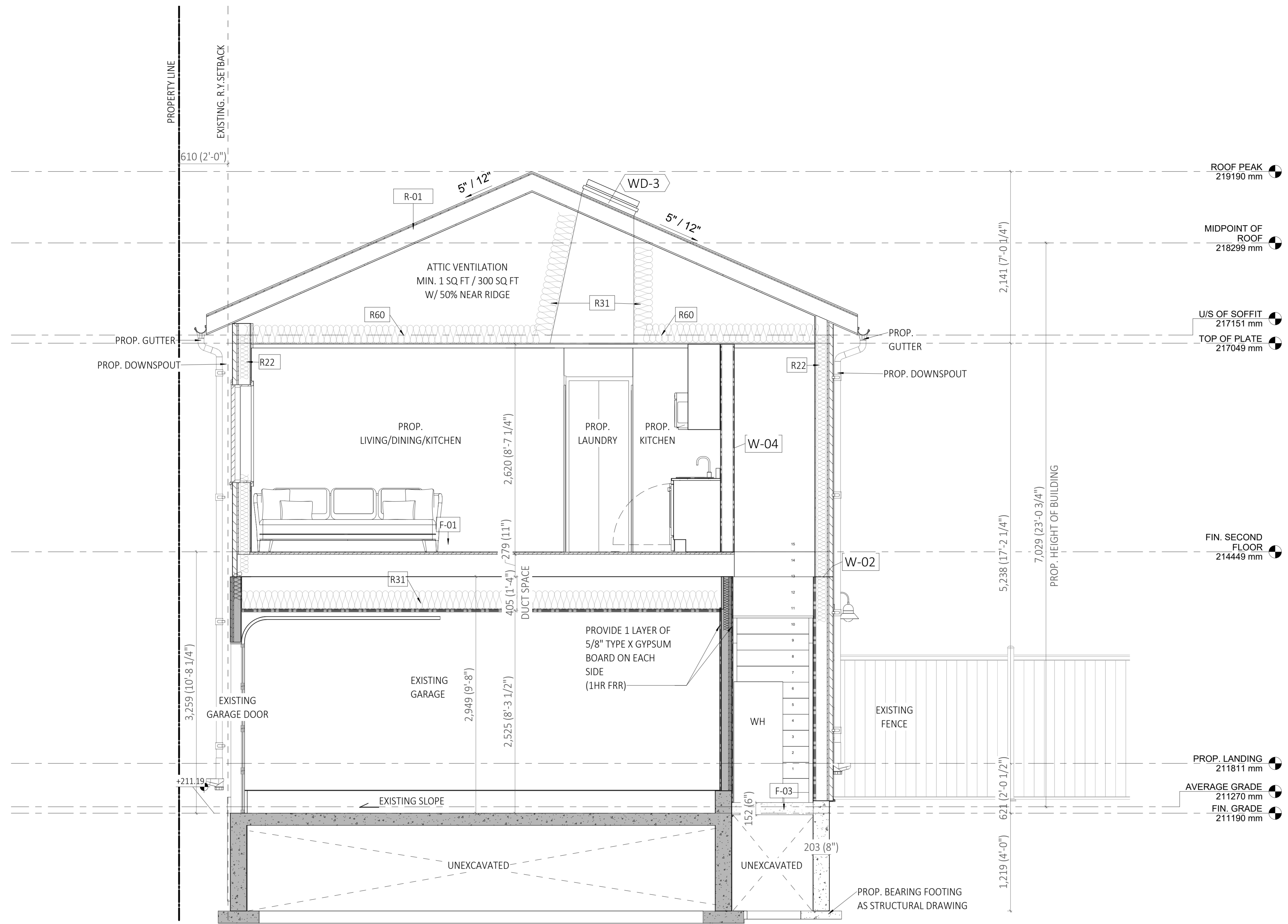
SASHA SLAVISAG

PROJECT NAME:
 NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
 SOUTH (RIGHT) ELEVATION

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: 1:25	DESIGNER: ELISA RAD
CHECKER:	SHEET No: A2-04



GENERAL NOTES:
1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1/4 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

SASHA SLAVISAG

PROJECT NAME:

NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:

22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:

SECTION 1

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: 1:25	DRAWN BY: ELISA RAD
CHECKER:	SHEET No.: A3-01

Section 1
1:25

ROOF PEAK
219190 mm

MIDPOINT OF ROOF
218299 mm

TOP OF PLATE
217049 mm

FIN. SECOND FLOOR
214449 mm

PROP. LANDING
211811 mm

AVERAGE GRADE
211270 mm

FIN. GRADE
211190 mm

PROPERTY LINE

PROPERTY LINE

7,029 (23'-0 3/4")
PROP. HEIGHT OF BUILDING

2,638 (8'-7 3/4")

621 (2'-0 1/2")

2,141 (7'-0 1/4")

2,601 (8'-6 1/2")

PROP. EXTERIOR LAMP

1,200 (3'-11 1/4")
S.Y. SETBACK

W-03

W-03

R22

PROP. LAUNDRY

PROP. BATH RM.

PROP. LIVING/DINING/KITCHEN

F-01

2,620 (8'-7 1/4")



R-01

WD-3

ATTIC VENTILATION
MIN. 1 SQ FT / 300 SQ FT
W/ 50% NEAR RIDGE

R60

305 (1'-0")

W-05

R22

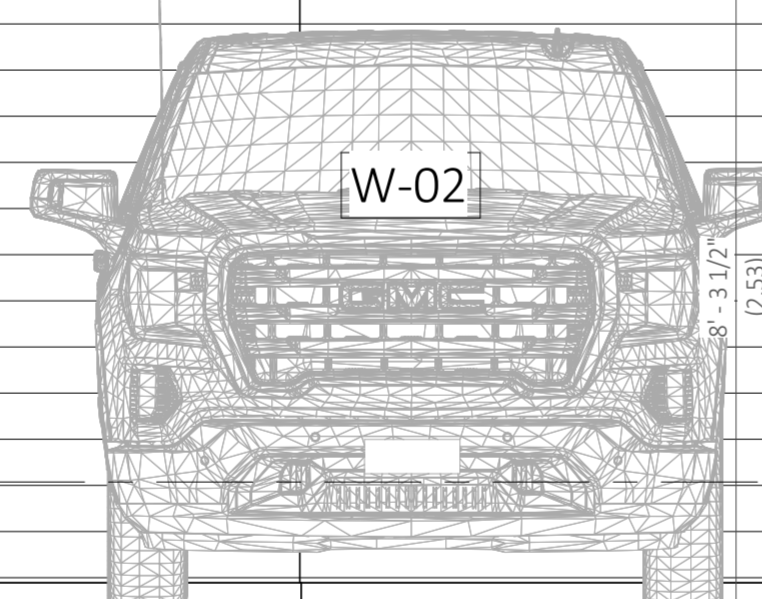
D-5

D-4

R31

R31

403 (1'-4")
DUCT SPACE



W-02

D-3

EXISTING PARTY WALL W/5/8" DRYWALL

R14

EXISTING WALL
PROVIDE R14 BATH INSULATION, 1 LAYER OF 5/8" TYPE X GYPSUM BOARD ON EACH SIDE

OUT OF SCOPE OF WORK

2,544 (8'-4 1/4")
PROP. CH.

UNEXCAVATED

W-01

Section 2
1:25

GENERAL NOTES:
1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

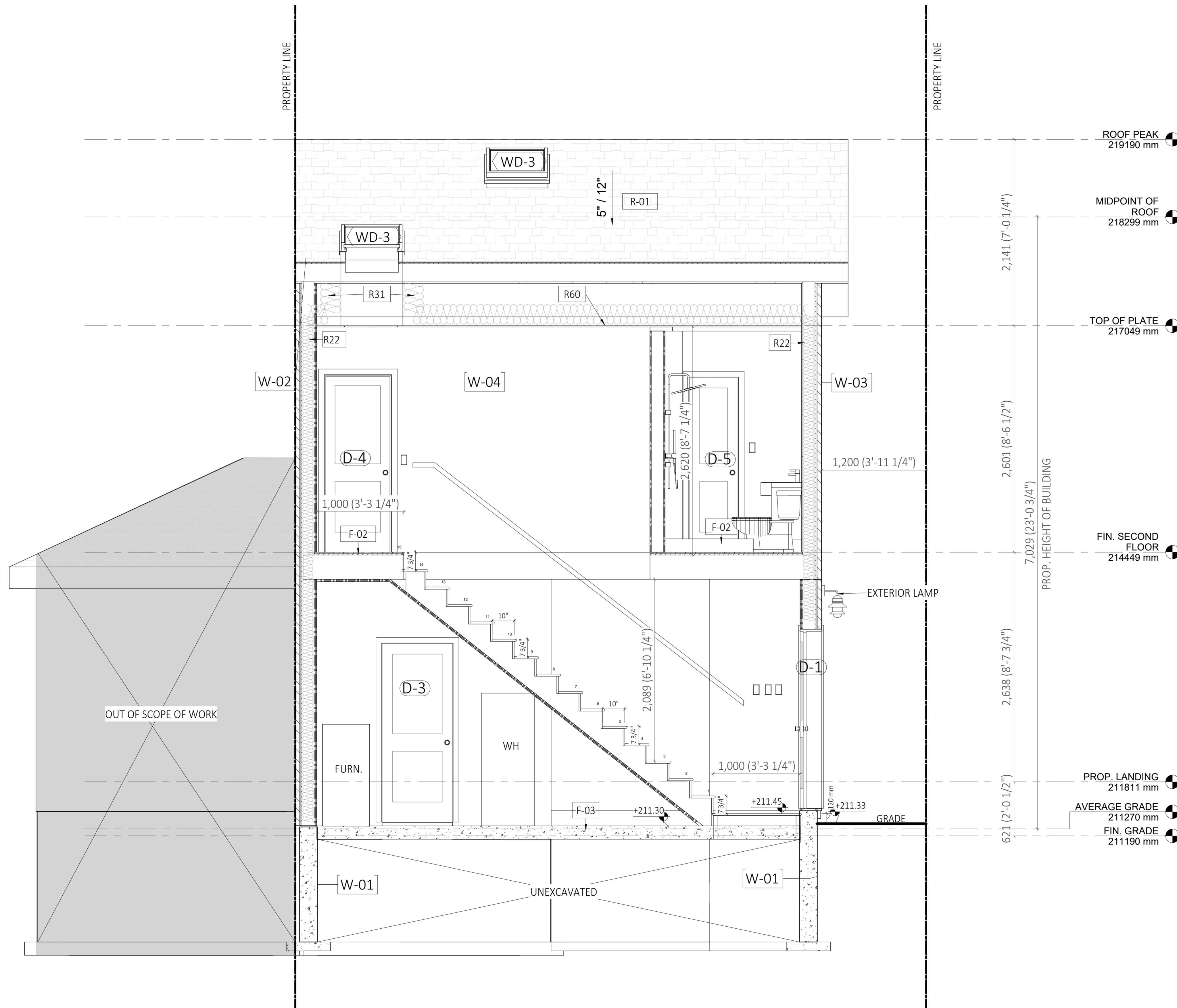
SASHA SLAVISAG

PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
SECTION 2

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: 1:25	DESIGNER: ELISA RAD
CHECKER:	SHEET No: A3-02



1 Section 3
1:25

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

SASHA SLAVISAG

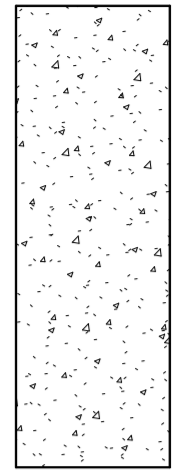
PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
22 Calafia St, Markham, ON L6B 0H6

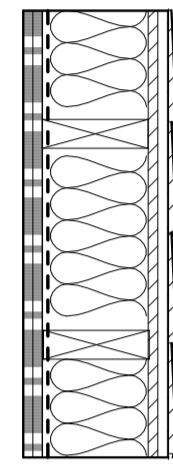
SHEET NAME:
SECTION 3

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE: 1:25	DESIGNER: ELISA RAD
CHECKER:	SHEET No.: A3-03

EXTERIOR

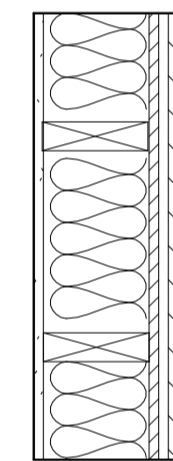


- W-01
- 8" CONCRETE, POURED
 - 8" POURED CONCRETE



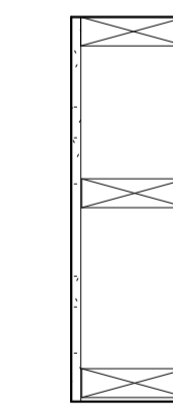
- W-02
- SIDING (HORIZONTAL) ON STUD 2X6 1 HR FIRE RATED (SB3-EW1a)
- HORIZONTAL SIDING CLADDING
 - SHEATHING MEMBERANE(TAR-IMPREGNATED FELTS OR PAPER)
 - 1/2" PLYWOOD
 - 2"x 6"@16" O.C WOOD STUDS W/ R20+5ci BATT INSULATION
 - 6mil POLY AIR/VAPOUR BARRIER
 - 2 LAYERS 5/8" TYPE X GYPSUM BOARD

Assembly Number	Description ⁽¹⁾⁽²⁾⁽³⁾	Fire-Resistance Rating ⁽⁴⁾⁽⁵⁾⁽⁶⁾	Typical Sound Transmission Class ⁽⁷⁾⁽⁸⁾ (STC)	Typical Impact Insulation Class ⁽⁹⁾⁽¹⁰⁾ (IC)
EW1	<ul style="list-style-type: none"> • 38 mm x 89 mm wood studs spaced 406 mm or 610 mm o.c. • 89 mm thick absorptive material⁽¹¹⁾ • 1 or 2 layers of gypsum board on inside • exterior sheathing and siding 			
EW1a	EW1 with • 15.9 mm Type X gypsum board ⁽¹²⁾	1 h	1 h	N/A
EW1b	EW1 with • 12.7 mm Type X gypsum board ⁽¹²⁾	45 min	45 min	N/A
EW1c	EW1 with • 2 layers of 12.7 mm regular gypsum board ⁽¹²⁾	45 min	45 min	N/A

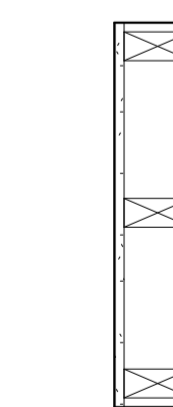


- W-03
- SIDING (HORIZONTAL) ON 2X6 WOOD STUD
- HORIZONTAL SIDING CLADDING
 - SHEATHING MEMBRANE (TAR-IMPREGNATED FELTS OR PAPER)
 - 1/2" PLYWOOD
 - 2"x 6"@16" O.C SPF STUDS /W MIN R22 BATT INSULATION
 - 6mil POLY AIR/VAPOUR BARRIER
 - 1/2" GYPSUM WALL BOARD

INTERIOR

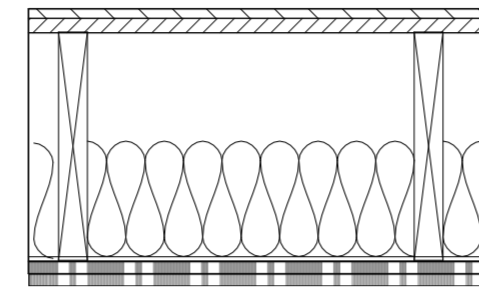


- W-04
- 2"x6" STUD PARTITION
- 1/2" GYPSUM WALL BOARD
 - 2"x6" @16" O.C SPF STUDS
 - 1/2" GYPSUM WALL BOARD



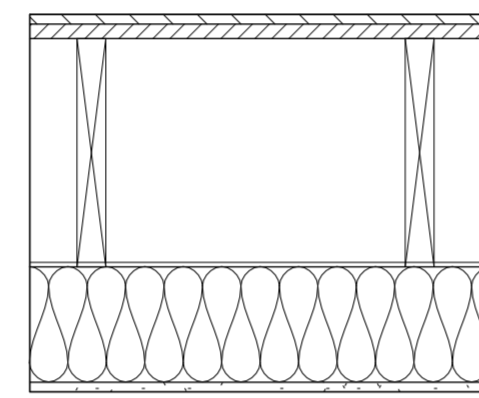
- W-05
- 2"x4" STUD PARTITION
- 1/2" GYPSUM WALL BOARD
 - 2"x4" @16" O.C WOOD STUDS
 - 1/2" GYPSUM WALL BOARD

FLOOR ASSEMBLY

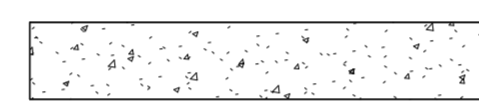


- F-01
- FLOOR ABOVE GARAGE- 1HR FIRE RATED
- FINISH FLOORING AS INTERIOR DESIGN BY OTHERS
 - SUBFLOOR OF MIN.3/4" PLYWOOD OR OSB.
 - FLOOR JOISTS AS STRUCTURAL DESIGN
 - R31 BATT INSULATION
 - AIR/VAPOUR BARRIER
 - 2 LAYERS 5/8" TYPE X GYPSUM BOARD

Assembly Number	Description ⁽¹⁾⁽²⁾	Fire-Resistance Rating ⁽³⁾⁽⁴⁾	Typical Sound Transmission Class ⁽⁵⁾⁽⁶⁾ (STC)	Typical Impact Insulation Class ⁽⁷⁾⁽⁸⁾ (IC)
F3	<ul style="list-style-type: none"> • absorptive material in cavity • resilient metal channels spaced 406 mm o.c. • 15.9 mm Type X gypsum board 	1 h	52	46

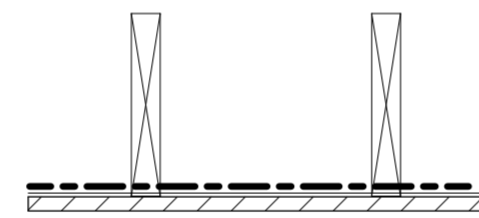


- F-02
- FLOOR
- FINISH FLOORING AS INTERIOR DESIGN BY OTHERS
 - SUBFLOOR OF MIN.3/4" PLYWOOD OR OSB.
 - FLOOR JOISTS AS STRUCTURAL DESIGN
 - AIR/VAPOUR BARRIER
 - R31 BATT INSULATION
 - 1/2" GYPSUM BOARD



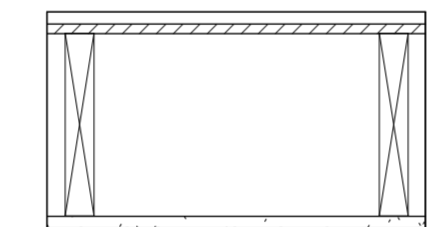
- F-03
- CONCRETE SLAB
- FINISH FLOORING AS INTERIOR DESIGN BY OTHERS
 - CONCRETE SLAB AS STRUCTURAL DRAWING
 - 2" RIGID INSULATION XPS R10 (EDGE ONLY)
 - COMPACTED GRANULAR AS STRUCTURAL DRAWING

CEILING ASSEMBLY



- C-01
- CEILING
- 6mil AIR/VAPOUR BARRIER
 - 3/4" GYPSUM BOARD

ROOF ASSEMBLY



- R-01
- PITCHED ROOF
- ROOF FINISHING DESIGNED BY OTHERS
 - 3-PLY FELT ROOFING
 - PLYWOOD SHEATHING
 - ROOF JOISTS AS STRUCTURAL DESIGN

DOOR SCHEDULE

Type Mark	Count	Width (mm)	Width (inch)	Height (mm)	Height (inch)	Level	Phase Created
D-1	1	763	30"	2,032	80"	PROP. FIRST FLOOR	PROPOSED
D-2	1	712	28"	2,007	79"	PROP. FIRST FLOOR	PROPOSED
D-2	1	712	28"	2,007	79"	FIN. SECOND FLOOR	PROPOSED
D-3	1	810	32"	2,050	80 1/2"	FIN. GRADE	PROPOSED
D-4	1	763	30"	2,032	80"	FIN. SECOND FLOOR	PROPOSED
D-5	1	560	22"	2,007	79"	FIN. SECOND FLOOR	PROPOSED

WINDOW SCHEDULE

Type Mark	Count	Width (mm)	Width (inch)	Height (mm)	Height (inch)	Sill Height (mm)	Sill Height (inch)	Level	Phase Created
WD-1	1	1981	78.00"	1219	48.00"	864	34"	FIN. SECOND FLOOR	PROPOSED
WD-2	1	1219	48.00"	1219	48.00"	879	34 1/2"	FIN. SECOND FLOOR	PROPOSED
WD-3	2	686	27.00"	92	3.63"			ROOF PEAK	PROPOSED

GENERAL NOTES:

- 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
- 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
- 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
- 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
- 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388, info@smartg.ca

CLIENT:

SASHA SLAVISAG

PROJECT NAME:

NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:

22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:

WALL ASSEMBLY & LEGEND

DATE: 2025/12/14

SCALE: 1 : 10

DESIGNER: ELISA RAD

CHECKER:

PROJECT No.:

SSS-005-295

SHEET No.:

A4-01

GENERAL NOTES:


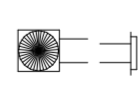

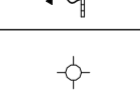



- REFER TO ALL APPLICABLE LANDSCAPING PLANS & SPECIFICATIONS TO BE SUPPLIED BY OWNER FOR ADDITIONAL, DETAILED SITE RELATED WORKS AND INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION AND CONNECTION FEES AND PERMITS REQUIRED FOR BUILDING SERVICES, INCLUDING ENTRANCES, HYDRO, WELL, TELEPHONE, ETC. AS WELL AS THE INSTALLATION OF SUCH BUILDING SERVICES.
- ALL ENTRANCE AND EXIT RAMPS ACROSS BOULEVARDS SHALL BE PAVED OR OTHERWISE FINISHED TO APPLICABLE MUNICIPAL STANDARDS AND SPECIFICATIONS.
- WHERE PAVING IS INDICATED, ALL DRIVE AND PARKING SURFACES SHALL BE PAVED WITH 100MM HOT MIXED, HOT LAID, ASPHALT (25MM HL3) & (75MM HL8) ON MINIMUM 150MM GRANULAR "A" & 300MM GRANULAR B".
- ALL FILL & GRANULAR MATERIAL UNDER DRIVES, PARKING AREAS, AND SIDEWALKS SHALL BE COMPACTED TO 100% S.P.M.D.D. (MIN. 8" GRANULAR)
- UNLESS OTHERWISE AGREED TO IN WRITING, THE OWNER ASSUMES RESPONSIBILITY FOR THE SUITABILITY OF ALL SOIL CONDITIONS. ALL DESIGNS HAVE BEEN BASED ON THE EXISTING UNDISTURBED SOIL HAVING AN ALLOWABLE BEARING CAPACITY OF 4000 P.S.F.
- ALL UTILITIES WHICH OBSTRUCT ENTRANCES SHALL BE RELOCATED AS REQUIRED TO APPLICABLE AUTHORITIES SPECIFICATIONS.
- ALL SITE WORKS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CITY OF TORONTO STANDARDS, SPECIFICATIONS, AND DETAILS WHICH SHALL BE DEEMED TO FORM PART OF THIS SITE PLAN
- ALL SURFACE DRAINAGE SHALL BE CONFINED WITHIN THE BOUNDARIES OF THE OWNER'S PROPERTY EXCEPT AS SPECIALLY INDICATED
- EXISTING GRADING & DRAINAGE PATTERNS SHALL NOT BE ALTERED OR DISTURBED IN ANY WAY EXCEPT AS SHOWN IN THE AREA OF THE NEW RESIDENCE AND ASSOCIATED DRIVEWAY, ETC.
- MINIMUM SLOPES FOR GRASSED AREAS 1.5%, MINIMUM SLOPES FOR PAVED OR SURFACED AREAS 1.0% (EXCEPT AS SHOWN OTHER WISE.)

CONSTRUCTION NOTES

- ALL DIMENSION TO BE CONFIRMED ON SITE
- ALL WORK SHALL BE CARRIED OUT WITH STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE O.B.C.
- ALL STRUCTURAL LUMBER TO BE #1 OR #2 SPRUCE-PINE-FIR CONSTRUCTION GRADE, UNLESS OTHERWISE SPECIFIED
- ALL LUMBER TO BE SUPPORTED MIN. 6" ABOVE FINISH GRADE UNLESS PRESSURE TREATED OR SEPARATED FROM CONCRETE BY DAMPPROOFING MATERIAL
- SURFACE FLAME SPREAD RATING OF ALL INTERIOR FINISHES NOT TO EXCEED 150
- JOINTS BETWEEN SLABS ON GRAD, FOUNDATION WALLS, AROUND PIPES, CONDUITS OR DUCTS THAT PENETRATE SUCH, SHALL BE FILLED W/ BITUMEN RUBBER OR COAL TAR
- ALL STRUCTURAL STEEL TO CONFORM TO REQUIREMENTS FOR GRADE 300W STEEL IN CAN.CSA-G40.21, "STRUCTURAL QUALITY STEELS"
- ALL CONSTRUCTION TO ADDED TO THESE PLANS AND SPECS AND TO CONFORM TO ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODE AND AUTHORITIES HAVING JURISDICTION THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS O.REG.332/12

- FINISH GRADE**
 - SLOPE GRADE AWAY FROM BUILDING FACE
- SMOKE AND CO DETECTOR**
 - SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER O.B.C. 9.10.19 & O.B.C. 9.33.4. SMOKE ALARMS SHALL BE INSTALLED ON ALL FLOORS AND IN EVERY BEDROOM. ALL SMOKE ALARMS MUST HAVE A VISUAL COMPONENT.
- LOW SLOPE ROOF**
 - BUILT UP ROOF ON 3/4" PLYWOOD SHEATHING ON I X3 CROSS STRAPPING SLOPED TO DRAIN ON JOISTS/ TRUSSES AS NOTED . ABOVE HEATED SPACES: PROVIDE R-60 BATT INSULATION ON 6 MIL POLY VAPOR BARRIER (R31 FOR CATHEDRAL CEILINGS) ON 5/8" GYPSUM BOARD TAPED, SANDED & READY TO PAINT.
 - PROVIDE VENTING I : 150 OF ROOF AREA.
- GARAGE SLAB**
 - SHOULD BE SLOPED@ 1 .5% TO DRAIN TO THE OUTSIDE USING 5" REINFORCED CONC. SLAB (REFER TO STRUCTURAL DWG)
- BASEMENT SLAB**
 - 4" POURED CONCRETE SLAB (REFER TO STRUCTURAL DWG) ON 6" CRUSHED STONE,(ALL FILL OTHER THAN COURSE CLEAN MATERIAL PLACED BENEATH CONC, SLAB SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.)
 - PROVIDE 6 MIL VAPOR BARRIER@ U/S OF SLAB. SLAB TO BE SEALED.
 - THICKEN THE SLAB TO 6" UNDER THE STAIRCASE AREA.
- FLOOR**
 - FINISHED FLOOR ON 3/4" T&G PLYWOOD SUBFLOOR ON WD FLOOR JOIST (GLUED & SCREWED)
 - JOIST BRIDGED W/ CONTINUOUS I X3 STRAPPING OR 2X2 CROSS BRIDGING OR SOLID BLOCKING @ 6'-11" O.C. CONT.
 - HEADER JOIST W/ R-24 BATT INSUL.
 - EXTEND AIR/ VAPOR BARRIER & SEAL TO JOIST & SUBFLOOR.
 - DOUBLE JOIST'S UNDERSIDE PARTITION WALLS PARALLEL TO JOISTS
- TILE FLOOR**
 - SAME PS NOTE 14. EXCEPT CERAMIC/ GRANITE/ MARBLE TILE ON GROUT SETTLING BED ON 1-1/2" CONC. TOPPING (WITH WIRE MESH REINFORCING
 - MID-DEPTH)
 - CO-ORDINATE SILL PLATE HEIGHT & QUALITY WITH TYP. FLOOR CONSTRUCTION.
 - USE 2X4 CROSS STRAPPING IN LIEU OF CONC. TOPPING TO LEVEL FLOOR FINISH WHEN TILE/ HARDWOOD CONSTRUCTION OCCURS OVER SAME JOISTS.
- SKYLIGHT**
 - CURB-MOUNTED DOUBLE-GLAZED SKYLIGHT BY VELUX OR APPROVED EQUAL
 - PROVIDE INSIDE CURB DIMENSIONS AS INDICATED ON DWG.
 - CO-ORDINATE W/ MANUFACTURER.
 - INSTALL AS PER MANUFACTURER'S GUIDE.
 - DOUBLE FRAME SURROUNDING SKYLIGHT.
- FINISHED RAINWATER LEADER (RWL)**
 - COLOR TO MATCH EAVESTROUGH.
 - INSTALL PREFINISHED CONDUCTOR HEADS ON FRONT ELEV. AS PER DWG.
 - DOWNSPOUTS NOT CONNECTED TO STORM SEWER SHALL HAVE EXTENSIONS 10 CARRY WATER AWAY FROM BLDG & PROVISIONS SHOULD BE MADE TO PREVENT SOIL EROSION.
- METAL CAP FLASHING**
 - METAL CAP FLASHING PREFINISHED METAL CAP FLASHING ON 314" EXT. PLYWOOD BACKING ON FRAMING AS NOTED. SLOPE TO DRAIN. COLOR AS PER CONTRACTOR/CLIENT
- MECHANICAL VENTILATION**
 - WASHROOM TO BE MECHANICALLY VENTED PROVIDE MIN, 1 AIR CHANGE PER HOUR DRYER & COOKTOP TO BE VENTED DIRECTLY TO OUTSIDE THROUGH WALL
- CONCRETE PORCH**
 - ALLOW 4" BEARING FOR CONC. SLAB.
 - PROVIDE DEEP POCKETS TO SUPPORT CONC. SLAB BY REMOVING EVERY 2ND PAIR OF FACE BRICK WHEN BRICK FACING IS USED
 - WHEN BRICK FACING IS USED ABOVE GRADE LEVEL PROVIDE 3/16" DIAM. CORROSION RESISTANT MTL TIES @ 36" HORIZ., 8" VERT.
 - MIN 3/4" CLEAR CONC. TO COVER RE-BARS STAIRS & HANDRAILS TO CONFORM TO RAILING & GUARDRAIL NOTES

- WOOD DECK**
 - DECK IS NOT PERMITTED TO SUPPORT ON BRICK VENEER,
 - 12" DIA. SONOTUBE FOR POURED CONCRETE PIERS MIN. 4' BELOW GRADE, 6"X6" WOOD POST ANCHORED TO CONCRETE PIER W/ METAL SHOE & ½" DIA. BOLT EMBEDDED INTO THE CONCRETE PIER MIN. 4".
 - USE SPR #2 OR BETTER WOOD POSTS MIN. 4X4 (SOLID) USE CORROSION RESISTANT SPIRAL NAILS OR SCREWS
 - DOUBLE 2X6 LEDGER BOLTED TO FDN WALL W/ 1/2" DIA. BOLTS@ :32" O.C. MIN INTO SOLID MASONRY OR CONC.
 - PROVIDE HANDRAIL IF MORE THAN 3 RISERS
 - STAIR & HANDRAIL TO CONFORM TO NOTES
- STAIRS INTERIOR/EXTERIOR:**
 - MAXIMUM RISE 7-7/8"
 - MINIMUM RISE 4-7/8"
 - MINIMUM RUN 10-1/8"
 - MAXIMUM RUN 14"
 - MINIMUM TREAD 10-1/8"
 - MAXIMUM TREAD 14"
 - MAXIMUM NOSING 1"
 - MINIMUM WIDTH 2'-10"
- MINIMUM HEADROOM 6'-5**
- DRAINAGE**
 - 4" DIAM. WEEPING TILE COVERED W/ 6" GRANULAR MATERIAL WITH FILTER CLOTH. WEEPING TILES SHOULD DRAIN TO STORM SEWER, DRAINAGE DITCH, DRY WELL OR SUMP PUMP
- STEPPED FOOTING**
 - STEP FOOTINGS HORIZONTAL STEPS SHALL BE MIN. 2'-0" AND VERTICAL STEPS SHALL BE NO GREATER THAN 2/3 OF HORIZONTAL STEP TO A MAX. OF 2'-0" AS PER O.B.C., 9.15.3.8
- SMOKE DUCT DETECTOR (SDD)**
 - WIRED TO CUTOFF FUEL/ELECTRICAL SUPPLY TO FURNACE UPON ACTIVATION
 - ENSURE ADEQUATE VENTILATION AND COMBUSTION AIR FOR THE OPTIMUM OPERATION OF THE FURNACE, PER MANUFACTURER'S RECOMMENDATIONS.
- RANGE HOOD EXHAUSTED**
 - MECHANICAL EXHAUST HOOD WITH MIN 100 CFM AND 6" DIM. RIGID STEEL DUCT OR EQUIVALENT TO OUTSIDE WITH NON-COMBUSTIBLE, INSULATED 6" DUCT.
- CABINETRY ABOVE RANGE**
 - FRAMING FINISHES AND CABINETRY ABOVE A RANGE MUST HAVE MIN 2'-6" CLEARANCE , UNLESS FRAMING , FINISHES AND CABINETRY ARE NON-COMBUSTIBLE OR ARE PROTECTED AS PER 9.10.22.(2)(10)(1) AND (11)
- WASHROOM EXHAUST**
 - INSTALL MECHANICAL VENTILATION PER O.B.C. DIV B 9.32.1.3(3) REQ'S. EXHAUST FAN SHELL DISCHARGE DIRECTLY TO OUTSIDE.
 - SEPARATE ANY INTAKES FROM BUILDING ENVELOPE PENETRATIONS THAT ARE POTENTIAL SOURCES OF CONTAMINANTS (GAS VENTS, OIL FILL PIPES, ETC.) BY MIN 900 MM (2FT 11IN) - O.B.C. DIV B 9.32.3.12.
 - MIN 50 CFM EXHAUST FAN DUCTED DIRECTLY OUTSIDE (INSULATED 5" DUCT)
- SHOWER STALLS**
 - ALL SHOWER VALVES SHALL CONFORM TO O.B.C. DIV. B 7.6.5.2
 - WATERPROOF FINISH REQUIRED AT SHOWER AND TUB AREAS TO CONFIRM TO O.B.C. DIV B 9.29.2
- DRYER VENT**
 - CAPPED DRYER EXHAUST VENTED TO EXTERIOR .DUCT SHALL CONFORM TO O.B.C. DIV.B PART 6

SYMBOL LEGEND	
	AIR RETURN
	EXHAUST FAN 50CFM/W 5" DUCT
	HEAT REGISTER
	LIGHT FIXTURE
	SINGLE SWITCH
	SMA SMOKE ALARM
	CMA CARBON MONOXIDE ALARM
PROP.	RPOPOSED

GENERAL NOTES:
1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

5	2026/2/25	ZC-R03	H.H.
4	2026/2/12	ZC-R02	H.H.
3	2026/1/13	ZC-R01	H.H.
2	2025/12/26	CLIENT APPROVAL	H.H.
1	2025/12/19	CLIENT APPROVAL	H.H.

REVISIONS

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
(289) 212-3388 , info@smartg.ca

CLIENT:

SASHA SLAVISAG

PROJECT NAME:
NEW COACH HOUSE & CARPORT

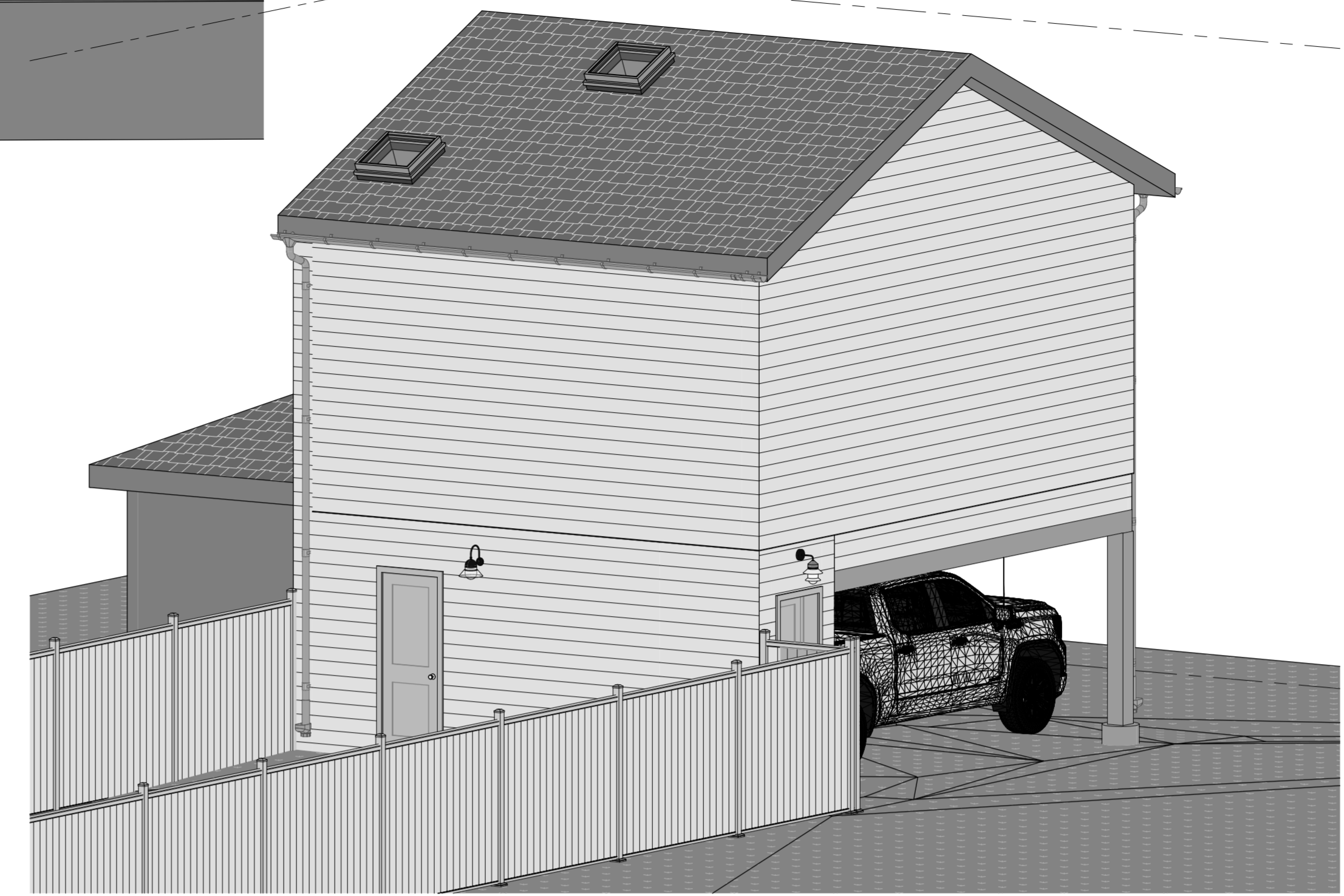
PROJECT ADDRESS:
22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
CONSTRUCTION NOTES & SYMBOLS

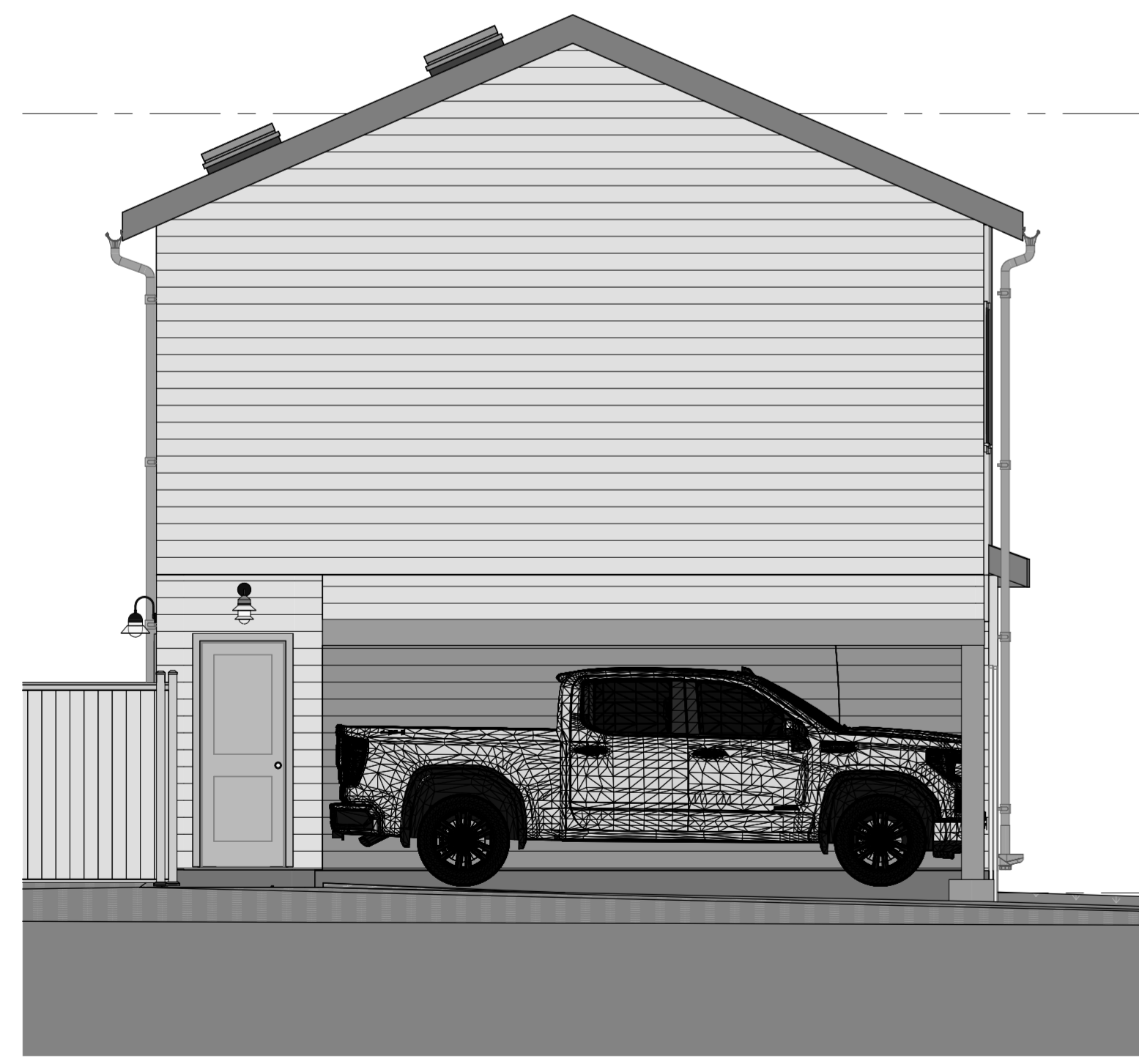
DATE: 2025/12/14	PROJECT No.:
SCALE: 1 : 10	SSS-005-295
DESIGNER:ELISA RAD	SHEET No:
CHECKER:	A4-02



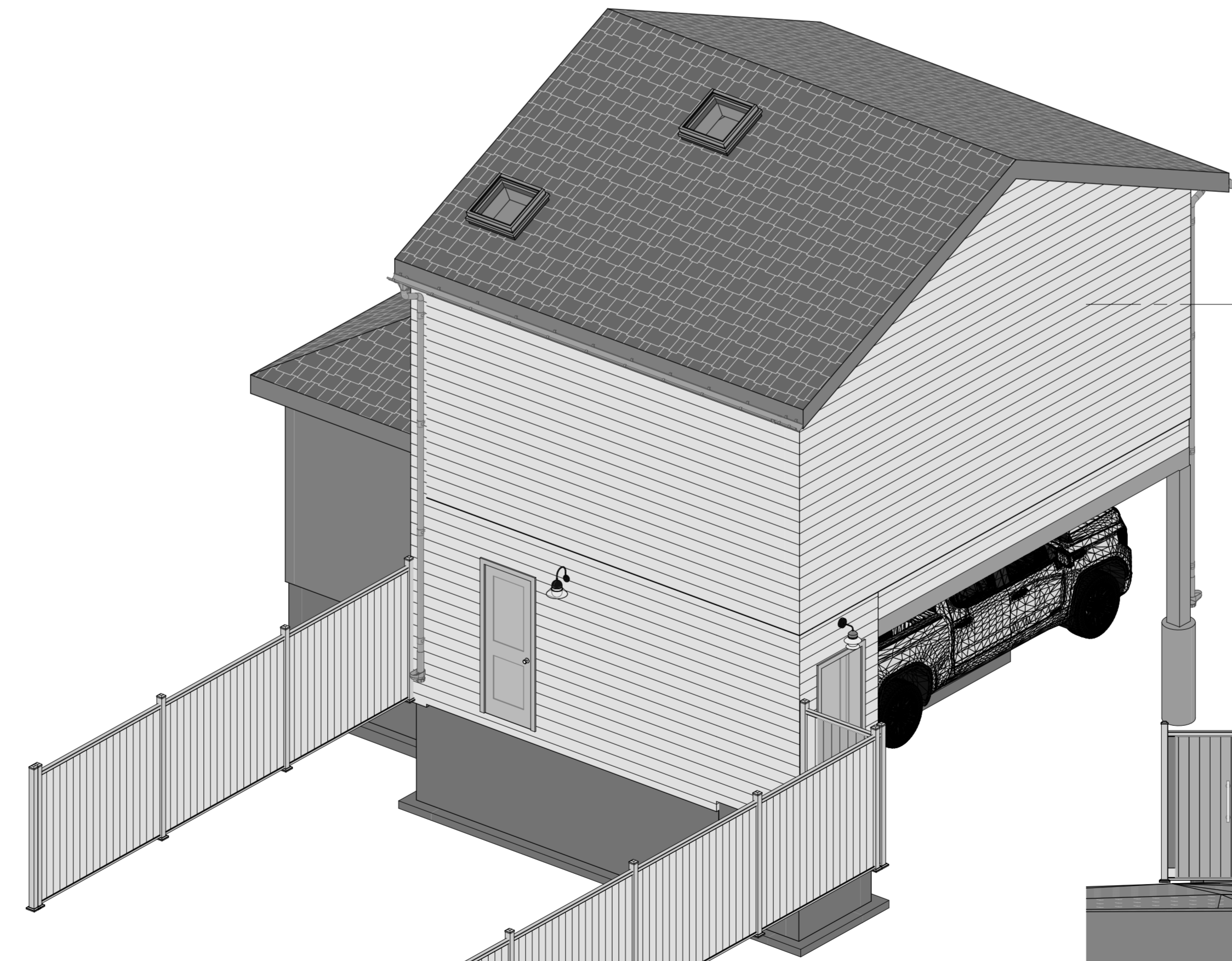
① 001



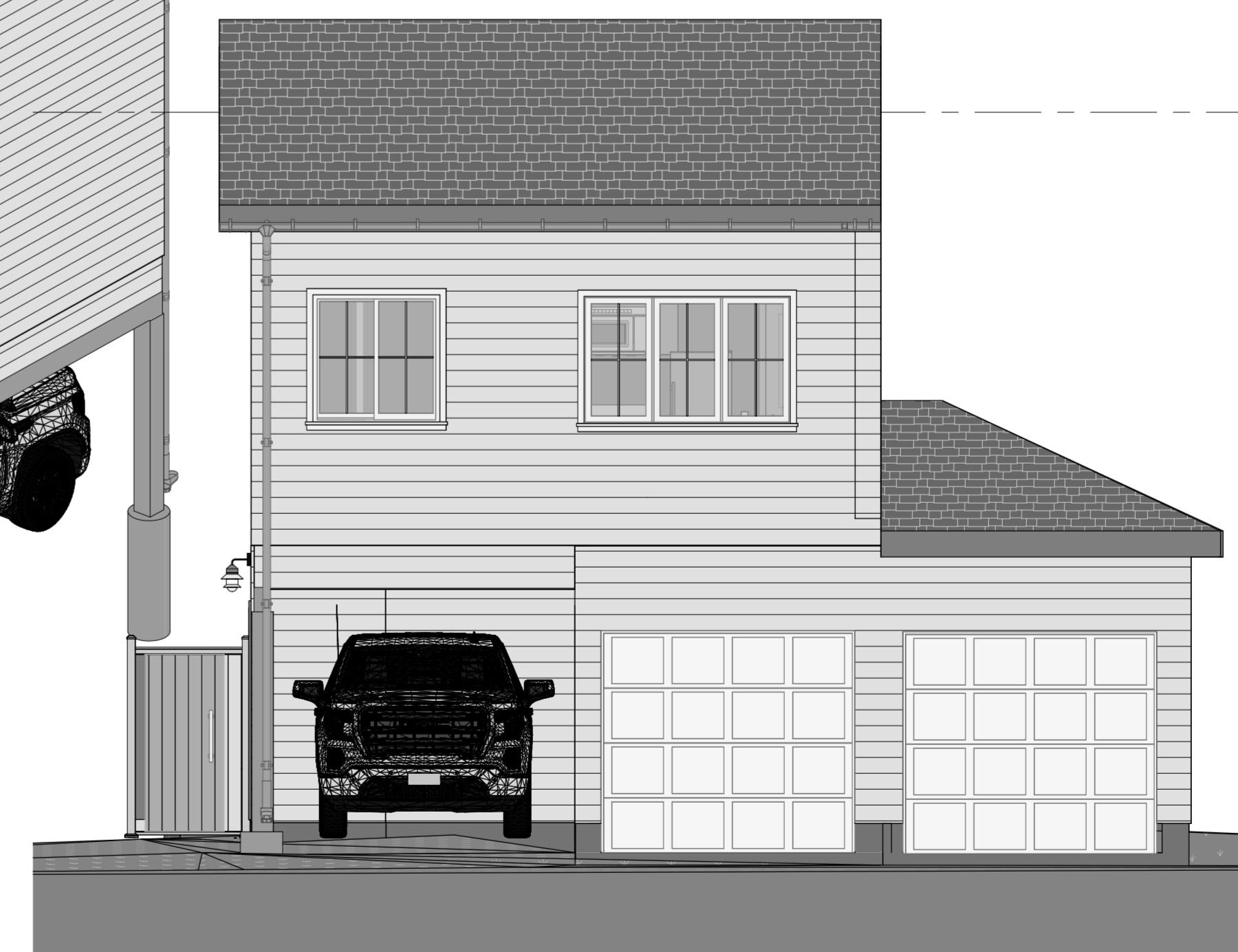
② 002



③ 003



④ 004



⑤ 005

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
REVISIONS			

CONSULTANT:



296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
 (289) 212-3388, info@smartg.ca

CLIENT:

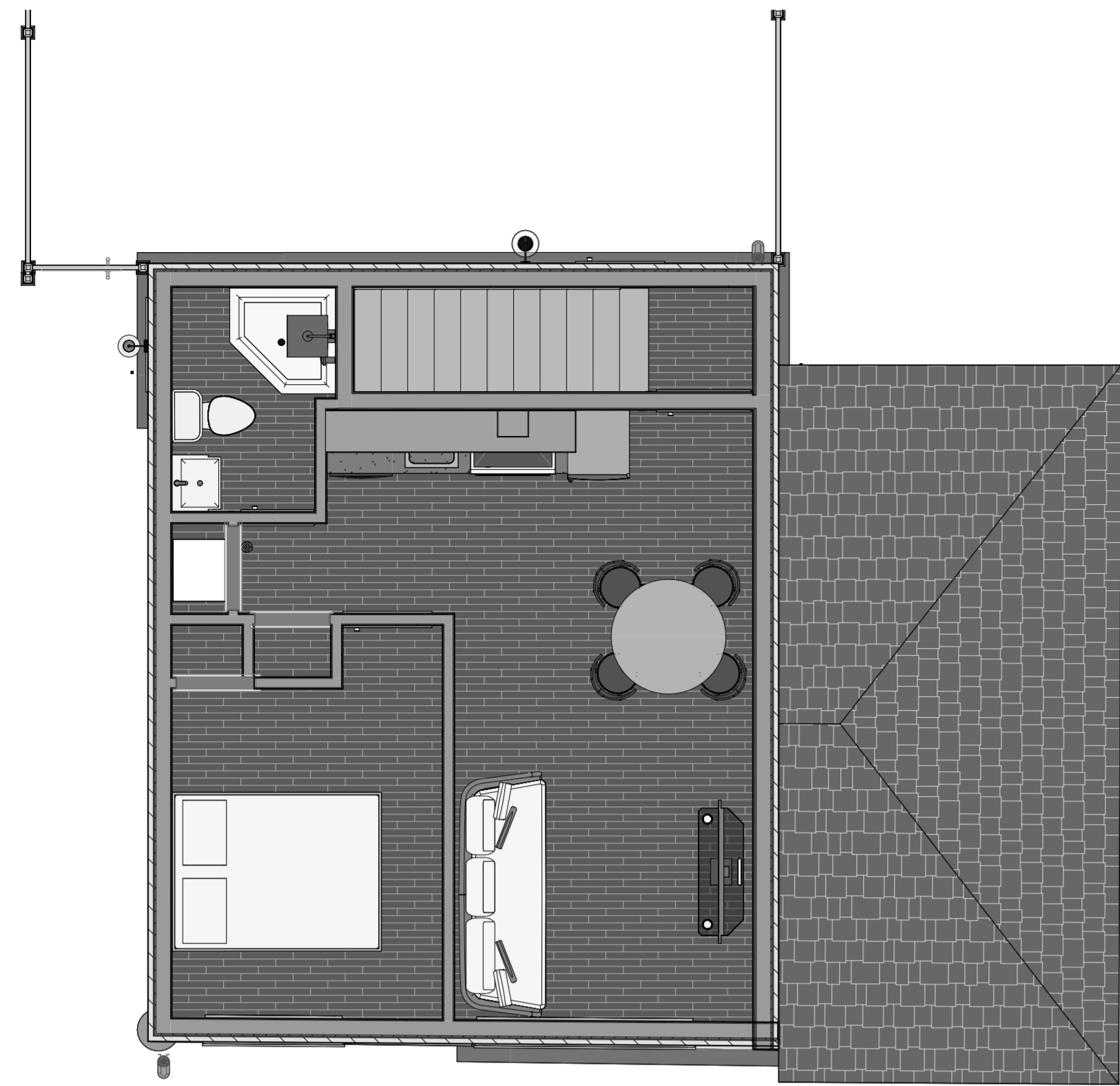
SASHA SLAVISAG

PROJECT NAME:
 NEW COACH HOUSE & CARPORT

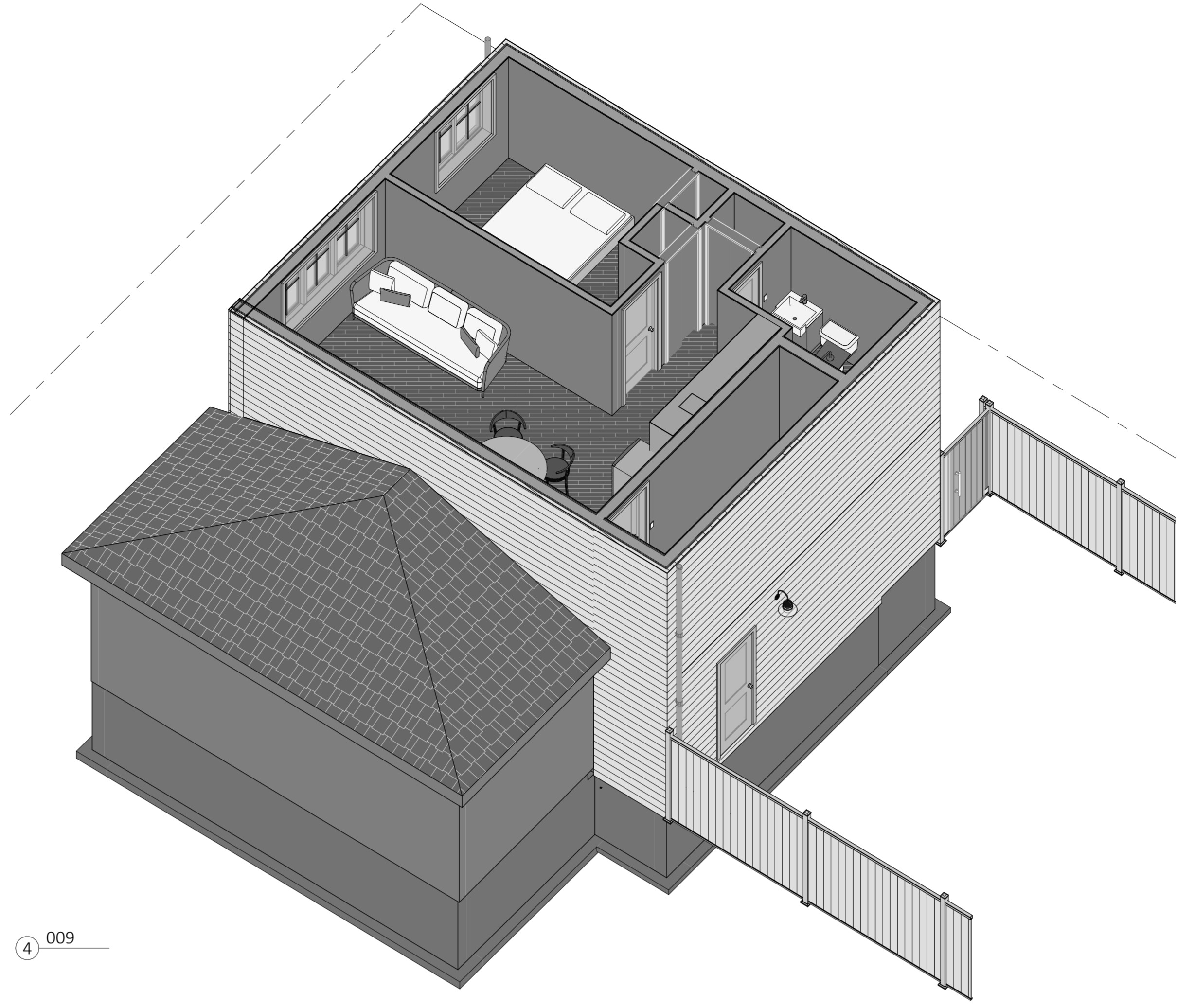
PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
 3D VIEWS 1

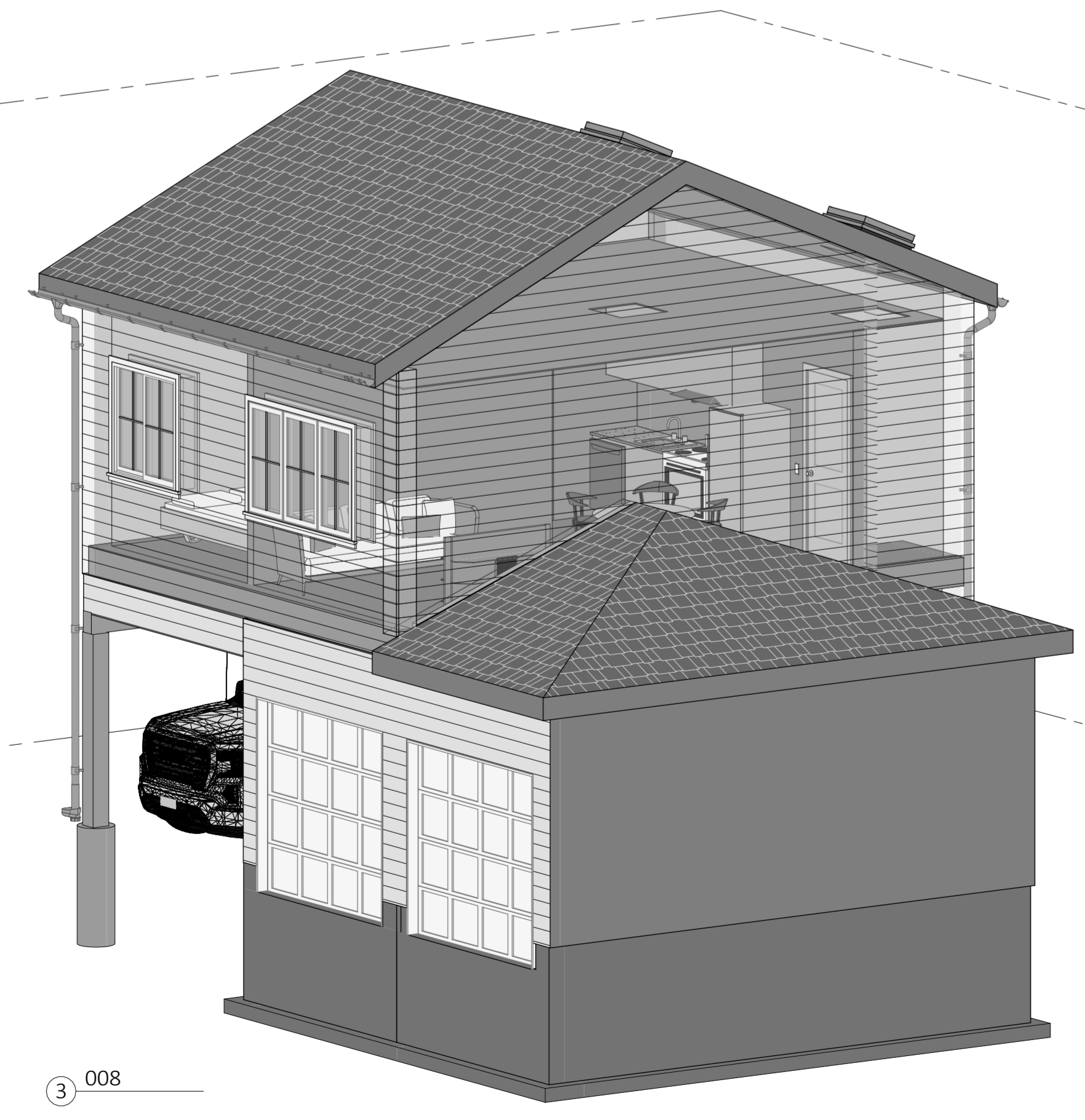
DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE:	DESIGNER: ELISA RAD
CHECKER:	SHEET No: A5-01



2 006



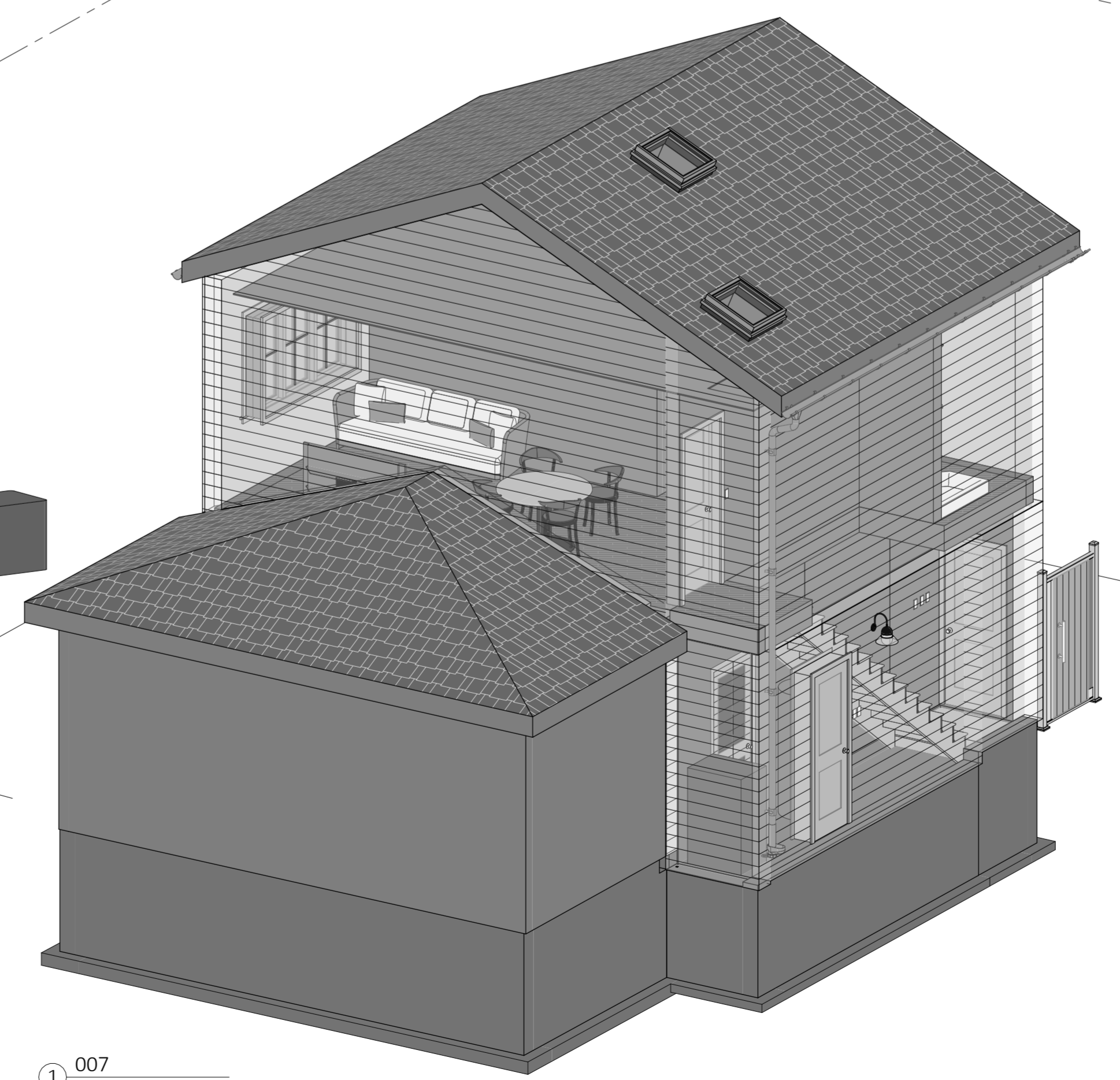
4 009



3 008

MIDPOINT OF ROOF
218289 mm

AVERAGE GRADE
211270 mm



1 007

GENERAL NOTES:
 1- THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF SMART GROUP.
 2- THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMIT BY THE AUTHORITIES.
 3- DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 4- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.
 5- ALL DIMENSIONS ARE IN MILLIMETER UNIT (ALTERNATE DIMENSION IN IMPERIAL UNIT & ROUNDED TO NEAREST 1 INCH)

No.	DATE	ISSUED FOR	APVD
REVISIONS			

CONSULTANT:



Smart Group
 296-7250 KEELE ST., VAUGHAN, ON L4K 1Z8
 (289) 212-3388, info@smartg.ca

CLIENT:
SASHA SLAVISAG

PROJECT NAME:
NEW COACH HOUSE & CARPORT

PROJECT ADDRESS:
 22 Calafia St, Markham, ON L6B 0H6

SHEET NAME:
3D VIEWS 2

DATE: 2025/12/14	PROJECT No.: SSS-005-295
SCALE:	
DESIGNER: ELISA RAD	SHEET No: A5-02
CHECKER:	