

M-1915

APPROVED SEP 1, 1979

"T.P. Woods"
ASS'T EXAMINER OF SURVEYS

I CERTIFY THAT THIS PLAN M-1915 IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF TORONTO AT 10:50 O'CLOCK ON THE 22ND DAY OF OCT. 1979 AND ENTERED IN THE REGISTER(S) FOR PARCEL PLAN I SECTION M-1915 AND REQUIRED CONSENTS AND AFFIDAVITS ARE REGISTERED AS PLAN DOCUMENT NO. A-50335L.

"P. J. GODEL"
D.P. LAND REGISTRAR

THIS PLAN COMPRISES PART OF PARCEL I-1, SEC. MA - 5

PLAN OF SUBDIVISION OF PARTS OF LOTS 3, 4 AND 5 CONCESSION 5 TOWN OF MARKHAM REGIONAL MUNICIPALITY OF YORK

Scale 1" = 200'
H. J. Reinthaler O.L.S., 1979

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY:
1. THAT THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE THEREUNDER;
2. THAT THE SURVEY WAS COMPLETED ON THE 25TH DAY OF APRIL 1979

DATE APR 25TH 1979

H. J. Reinthaler
H. J. Reinthaler
ONTARIO LAND SURVEYOR

NOTE

THE ASTRONOMIC BEARING OF N71°27'20"E OF THE NORTH LIMIT OF PLAN 66R-9890, GOVERNS ALL BEARINGS HEREON.
□ DENOTES STANDARD IRON BAR ROUND (1" DIAMETER BY 48" LONG)
■ DENOTES IRON BAR ROUND (5/8" DIAMETER BY 24" LONG)
□ F.D.S.I.B. DENOTES STANDARD IRON BAR FOUND (1" SQUARE BY 48" LONG)
ALL FOUND MONUMENTS WERE SET BY SCHAEFFER & REINTHALER LTD. O.L.S. (922)

TOTAL AREA OF SUBDIVISION 187.536 ACRES

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:
1. BLOCKS 1 TO 40, BOTH INCLUSIVE, STREETS NAMELY DENISON STREET, GOUGH ROAD, McNABB STREET AND BIRCHMOUNT ROAD, STREET WIDENINGS BLOCKS 46 AND 47 AND I RESERVES NAMELY BLOCKS 41, 42, 43, 44 & 45 HAVE BEEN Laid OUT IN ACCORDANCE WITH MY INSTRUCTIONS.
2. THE STREETS AND STREET WIDENINGS ARE HEREBY DEDICATED AS PUBLIC HIGHWAYS.

DATED THE 25TH DAY OF APRIL, 1979

CEDARLAND PROPERTIES LIMITED

Nadine Vignay
WITNESS

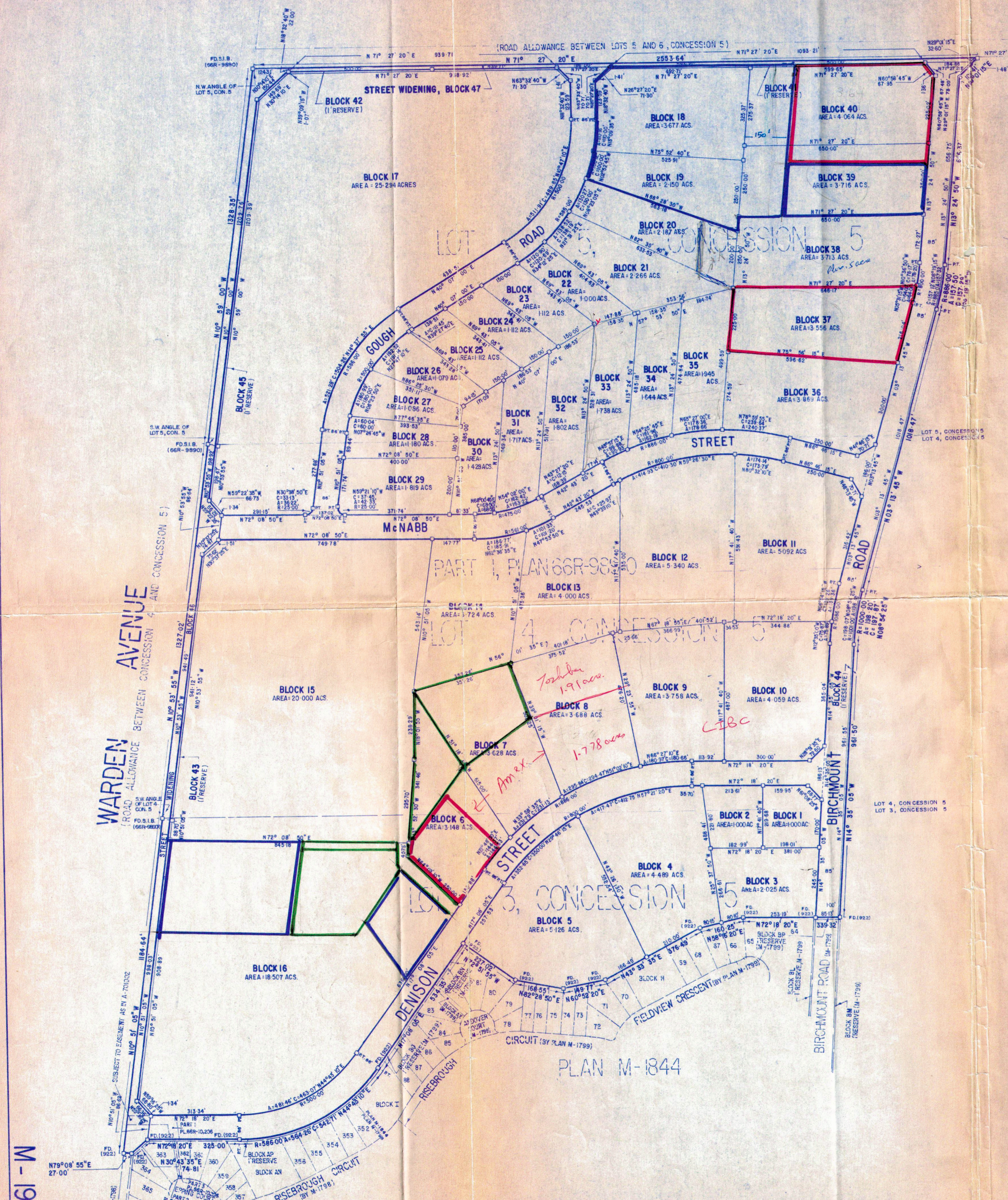
Rudy P. Bratty
RUDY P. BRATTY - SECRETARY

APPROVED UNDER SECTION 33 OF THE PLANNING ACT BY THE COUNCIL OF THE REGIONAL MUNICIPALITY OF YORK THIS 19TH DAY OF SEPTEMBER 1979

Bob Forhan
BOB FORHAN, CHAIRMAN
Robert N. Vernon
ROBERT N. VERNON, CLERK

M-1915

M-1915



PLAN M-1844

PLAN M-1798

PART I, PLAN 66R-9890

LOT 4 CONCESSION 5

LOT 3 CONCESSION 5

(ROAD ALLOWANCE BETWEEN LOTS 5 AND 6, CONCESSION 5)

BLOCK 42 (RESERVE)

BLOCK 17 AREA = 25.294 ACRES

BLOCK 18 AREA = 3.677 ACRES

BLOCK 19 AREA = 2.150 ACRES

BLOCK 40 AREA = 4.064 ACRES

BLOCK 39 AREA = 3.716 ACRES

BLOCK 20 AREA = 2.187 ACRES

BLOCK 21 AREA = 2.266 ACRES

BLOCK 38 AREA = 3.713 ACRES

BLOCK 37 AREA = 5.556 ACRES

BLOCK 22 AREA = 1.000 ACRES

BLOCK 23 AREA = 1.112 ACRES

BLOCK 24 AREA = 1.112 ACRES

BLOCK 25 AREA = 1.079 ACRES

BLOCK 26 AREA = 1.079 ACRES

BLOCK 27 AREA = 1.036 ACRES

BLOCK 28 AREA = 1.890 ACRES

BLOCK 29 AREA = 1.819 ACRES

BLOCK 30 AREA = 1.428 ACRES

BLOCK 31 AREA = 1.717 ACRES

BLOCK 32 AREA = 1.802 ACRES

BLOCK 33 AREA = 1.738 ACRES

BLOCK 34 AREA = 1.644 ACRES

BLOCK 35 AREA = 1.945 ACRES

BLOCK 36 AREA = 3.863 ACRES

BLOCK 38 AREA = 3.713 ACRES

BLOCK 39 AREA = 3.716 ACRES

BLOCK 40 AREA = 4.064 ACRES

BLOCK 41 AREA = 3.713 ACRES

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Location:		1271 DENISON ST U52-53, MARKHAM, ON	
Ontario Building Code Data Matrix – Part 11 – Renovation of Existing Building			
11.1	Existing Building classification:	Describe Existing Use: Group "F2" Construction Index: 11.1.1.1A Hazard Index: 11.1.1.1B to N <input type="checkbox"/> Not Applicable (no change of major occupancy)	11.2.1 11.2.1.1A 11.2.1.1B to N
11.2	Alteration to Existing Building is:	Basic Renovation <input type="checkbox"/> Extensive Renovation <input checked="" type="checkbox"/>	11.3.3.1 11.3.3.2
11.3	Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage-system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	Compensating Construction:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Increase in occupant load: 20/20 Total = 40 <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Change of major occupancy: A2 Assembly Use H.I.=6; C.L.=4 (Sprinkler + 45 Min Rating) <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (explain) Plumbing: Students = 15/15 Staffs = 5/5 Total = 20/20 Total Proposed Fixtures = 2 <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s))	11.5.1

Ontario Building Code Data Matrix, Part 11

Name of Practice:		TAI ARCHITECT - LICENSE NO. 7141 12 ROSEMOUNT AVE. THORNHILL, ON L3T 6T2 (416)550-3093 kenn@taichitect.com	
Name of Project:		1271 DENISON ST U52-53 Markham, L3R 3H7	
Ontario Building Code Data Matrix Parts 3 or 9			
Project Description:		<input type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Part 3 11.1 to 11.4 1.1.2 [A] 1.1.2 [A] & 9.10.1.3
2	Major Occupancy(s) GROUP A2 – ASSEMBLY USE – DAYCARE		3.1.2.1.(1) 9.10.2
3	Tenant Floor (m ²) Existing 272.23 New 108.81 Total 381.04		1.4.1.2 [A] 1.4.1.2 [A]
4	Building Floor Existing 4187.17 New 108.81 Total 4295.98		1.4.1.2 [A] 1.4.1.2 [A]
5	Number of Storeys Above grade 2 Below grade 0		1.4.1.2 [A] & 3.2.1.1 1.4.1.2 [A] & 9.10.4
6	Number of Streets/Fire Fighter Access		3.2.2.10. & 3.2.5 9.10.20
7	Building Classification 3.2.2.79 (F2) & 3.2.2.24 (A2)		3.2.2.20 – 83 9.10.2
8	Sprinkler System Proposed	<input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20 – 83 3.2.1.5 3.2.2.17 INDEX INDEX
9	Standpipe required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9 N/A
10	Fire Alarm required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4 9.10.18
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7 N/A
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6 N/A
13	Construction Restrictions	<input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible required <input type="checkbox"/> Both	3.2.2.20 – 83 9.10.6
14	Mezzanine(s) Area m ²		3.2.1.1.(3)-(8) 9.10.4.1
15	Occupant load based on	<input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building	3.1.17 9.9.1.3
Basement:		Occupancy _____ Load _____ persons	
1 st Floor:		Occupancy A-2 Load 30 persons	
2 nd Floor:		Occupancy A-2 Load 10 persons	
Total:		Occupancy _____ Load 40 persons	
(Additional floor areas confirmed on last page)			
16	Barrier-free Design	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)	3.8 9.5.2
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19 9.10.1.3 (d)

Ontario Building Code Data Matrix, Parts 3 or 9
Toronto Association of Architects

December, 2013

18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies		Listed Design No. or Description (SG-2)	3.2.2.20 - 83 & 3.2.1.4	9.10.8 9.10.9		
		Floors	Roof					
		45 Mins	0 Hours	3.2.2.27				
		45 Mins	0 Hours	3.2.2.27				
		FRR of Supporting Members		Listed Design No. Or Description (SG-2)				
		Floors	Hours					
		Roof	Hours					
		Mezzanine	Hours					
19	Spatial Separation – Construction of Exterior Walls				3.2.3	9.10.14		
	Wall	Area of EBF (m ²)	L.D. (m) L.H. or H.L.	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)		
	North	exist						
	South	exist						
	East	exist						
	West	exist						
20	Plumbing Fixture Requirements				Building Code Reference			
	Male/Female Count @ 50% / 50%, except as noted otherwise				Occupant Load	BC Table Number	Fixtures Required	Fixtures Provided
	Basement: Occupancy _____				20/20	3.7.1.3.A	1/1	1/1
	1 st Floor: Occupancy A-2							
	2 nd Floor: Occupancy _____							
	3 rd Floor: Occupancy _____							
	(Adjust as Required for Additional Floors or Occupancies)							
21	Other (describe)							
15 (Occupant Load - Continued)								
	Floor	Occupancy	Load	persons				
	Floor	Occupancy	Load	persons				
	Floor	Occupancy	Load	persons				
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	Floor	Occupancy	Load	persons				

Data Matrix, Parts 3 or 9
Toronto Association of Architects

December, 2013



1 KEY PLAN
N.T.S

G.F.A.	272.23 m ²
1ST FLOOR	272.23 m ²
2ND FLOOR	108.81 m ² (39.97% OF 1ST FLOOR AREA)
TOTAL	381.04 m ²

PARKING CALCULATION	PARKING RATE	PARKING NUMBER
EXISTING USE - RESPITE DAYCARE FACILITY	4 PARKING PER CLASSROOM	8
PROPOSED USE - CAFE	1 PARKING PER 9 m ²	42

No.	Description	Date	By
1	ZONING REVIEW	2025-10-02	KT

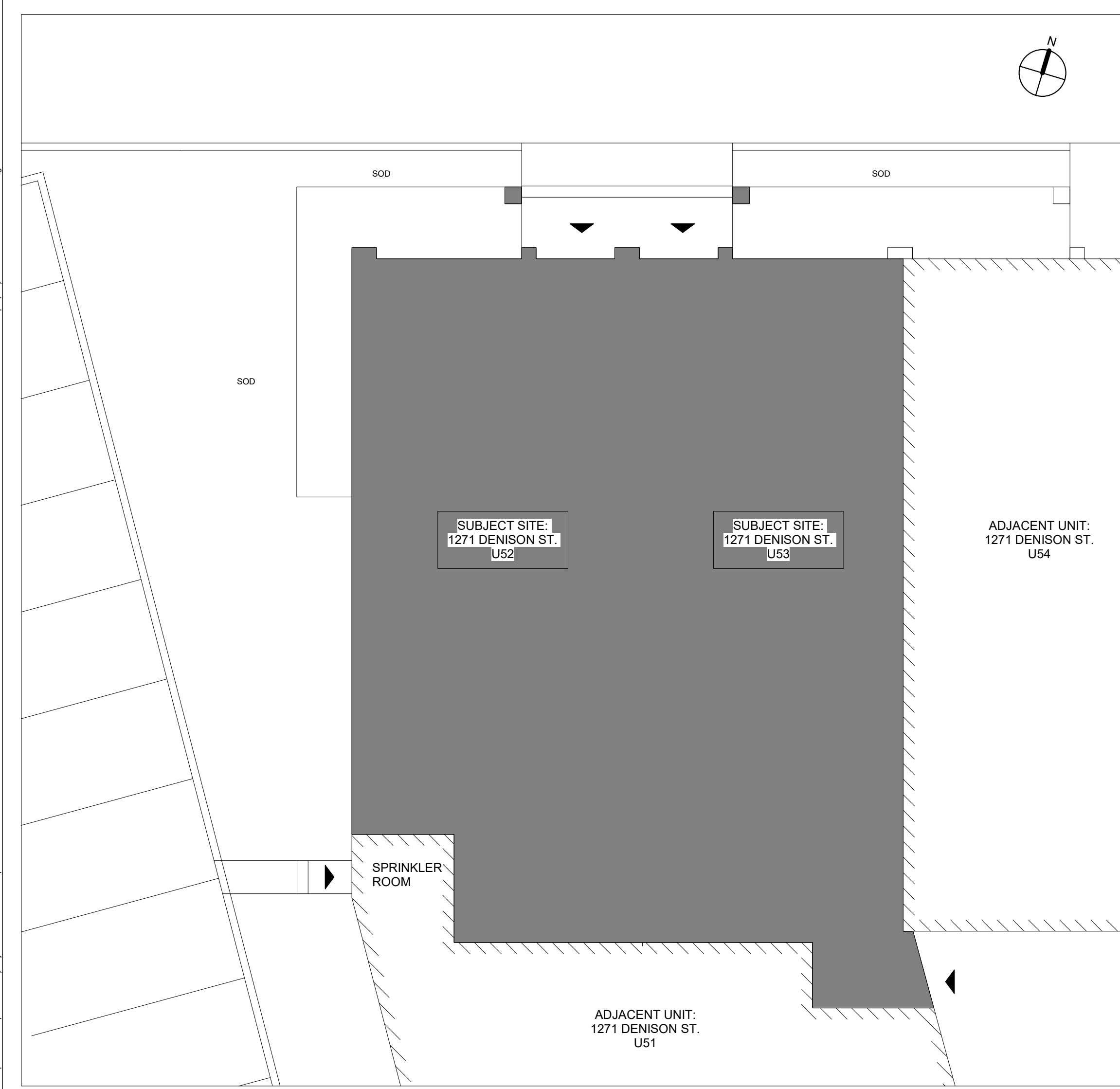
INTERIOR ALTERATION:
1271 DENISON ST U52-53
1271 DENISON ST. U52-53, MARKHAM, ONTARIO



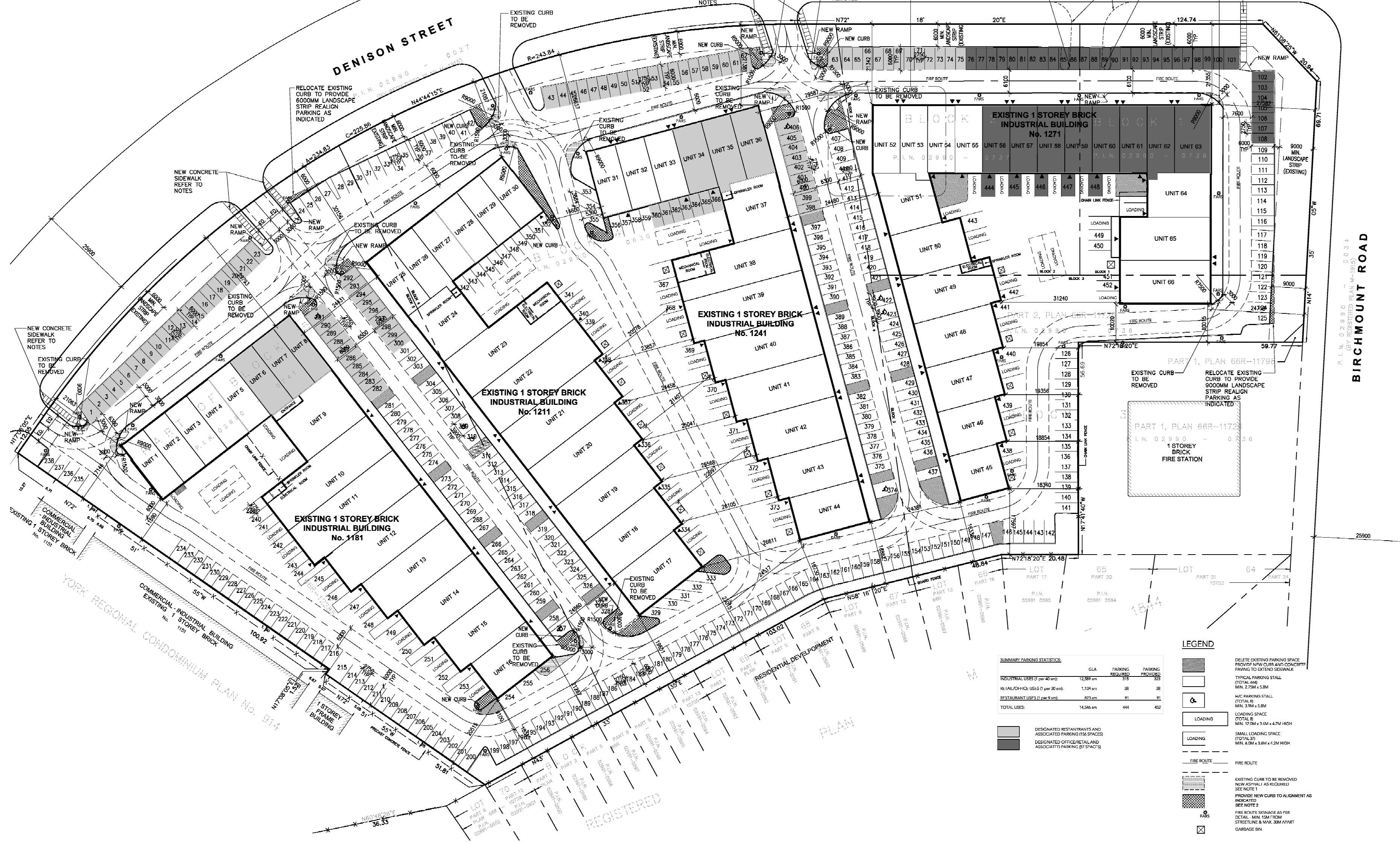
MINOR
VARIANCE

CONTRACTOR SHALL CHECK DIMENSIONS
Drawn by: **WF**
Date: **MAR 2024**
Scale: **As indicated**
Project Number: **24016**
DRAWING NAME: **SITE PLAN & OBC MATRIX**
SHEET NUMBER: **SD1**

OBC MATRIX



3 DETAIL SITE PLAN
1:100
SITE DIAGRAM FOR REFERENCE ONLY

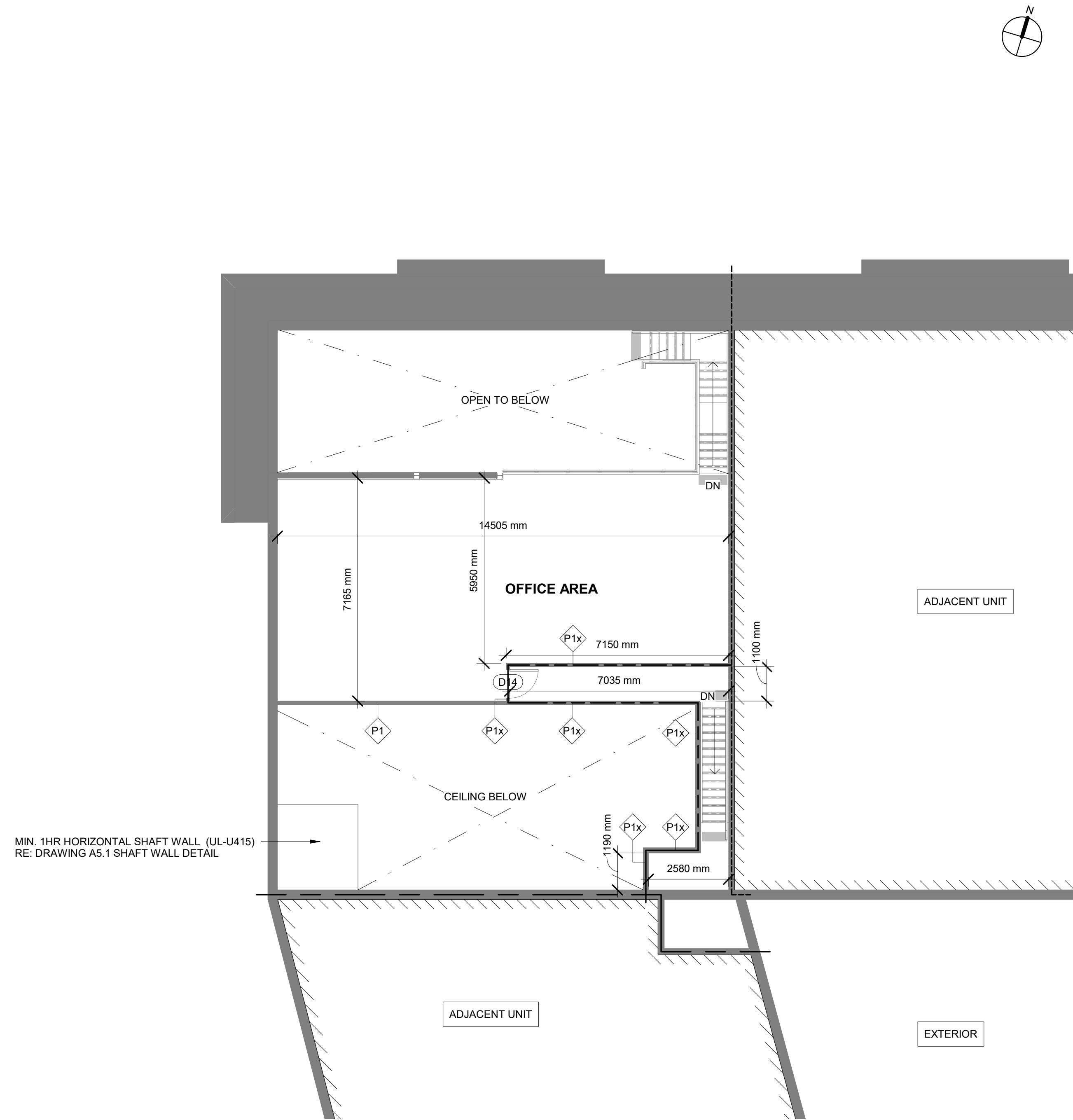


2 SITE PLAN
N.T.S
PROVIDED BY LANDLORD FOR REFERENCE ONLY

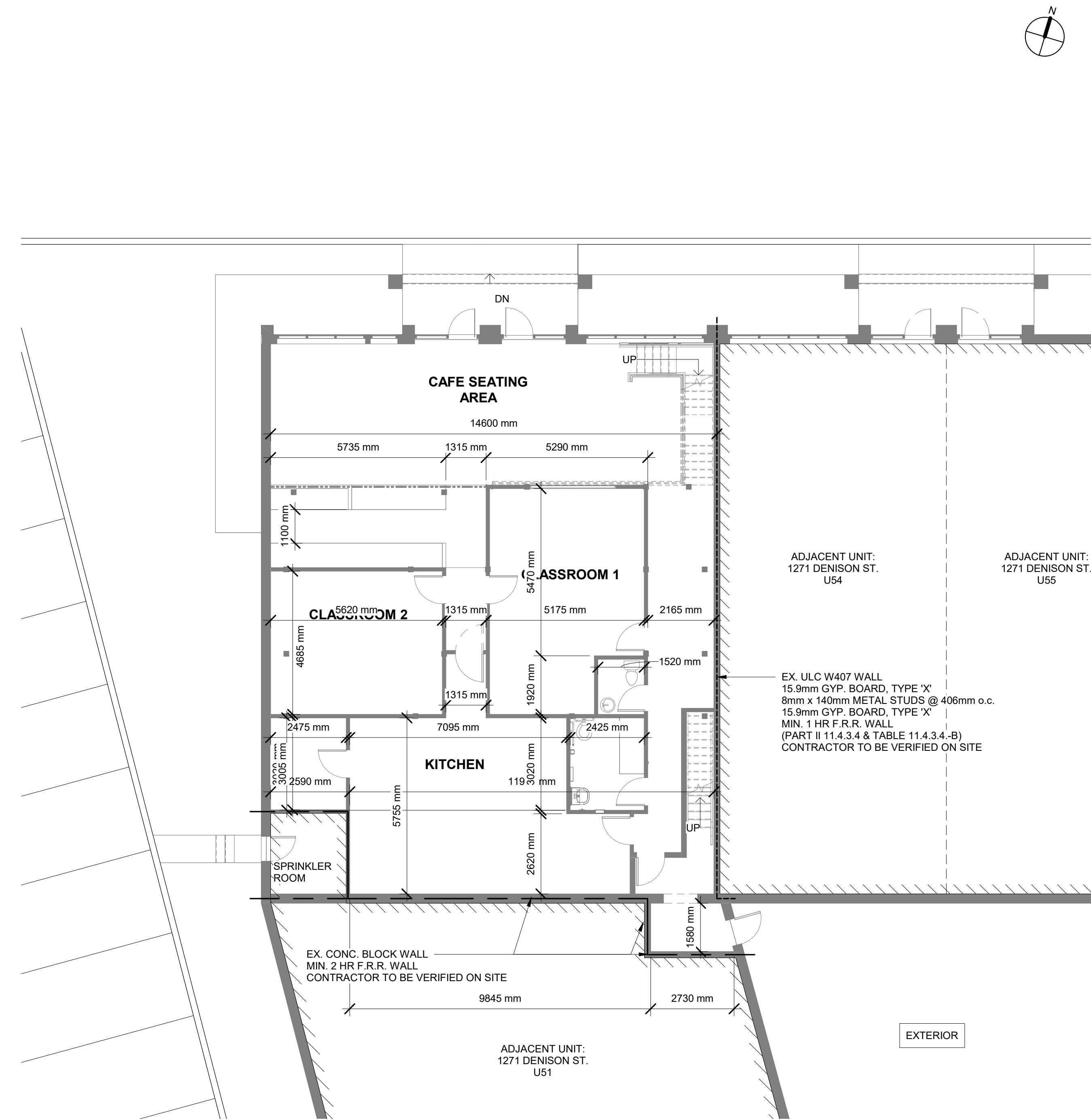
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C:\Users\kentalOneDrive\Documents\One Drive - TAI\meDrive\TAI Architect\2024\24016 - 1271 Denison St U52-53\100 Revit & AutoCAD\24016 - 1271 Denison St U52-53 - Tendering.rvt

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2 EXISTING 2ND FLOOR PLAN
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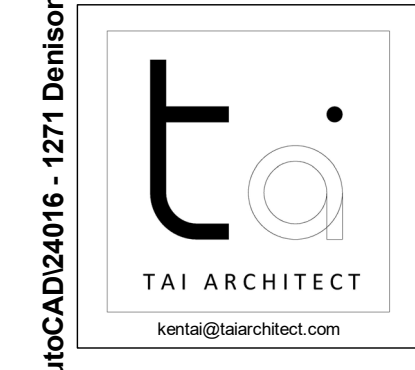


1 EXISTING 1ST FLOOR
1: 100

LEGENDS:	
	TO BE DEMOLISHED
	EXISTING TO REMAIN

No.	Description	Date	By
1	ISSUING REVIEW	2025-10-02	KT

INTERIOR ALTERATION:
1271 DENISON ST U52-53
1271 DENISON ST. U52-53, MARKHAM, ONTARIO

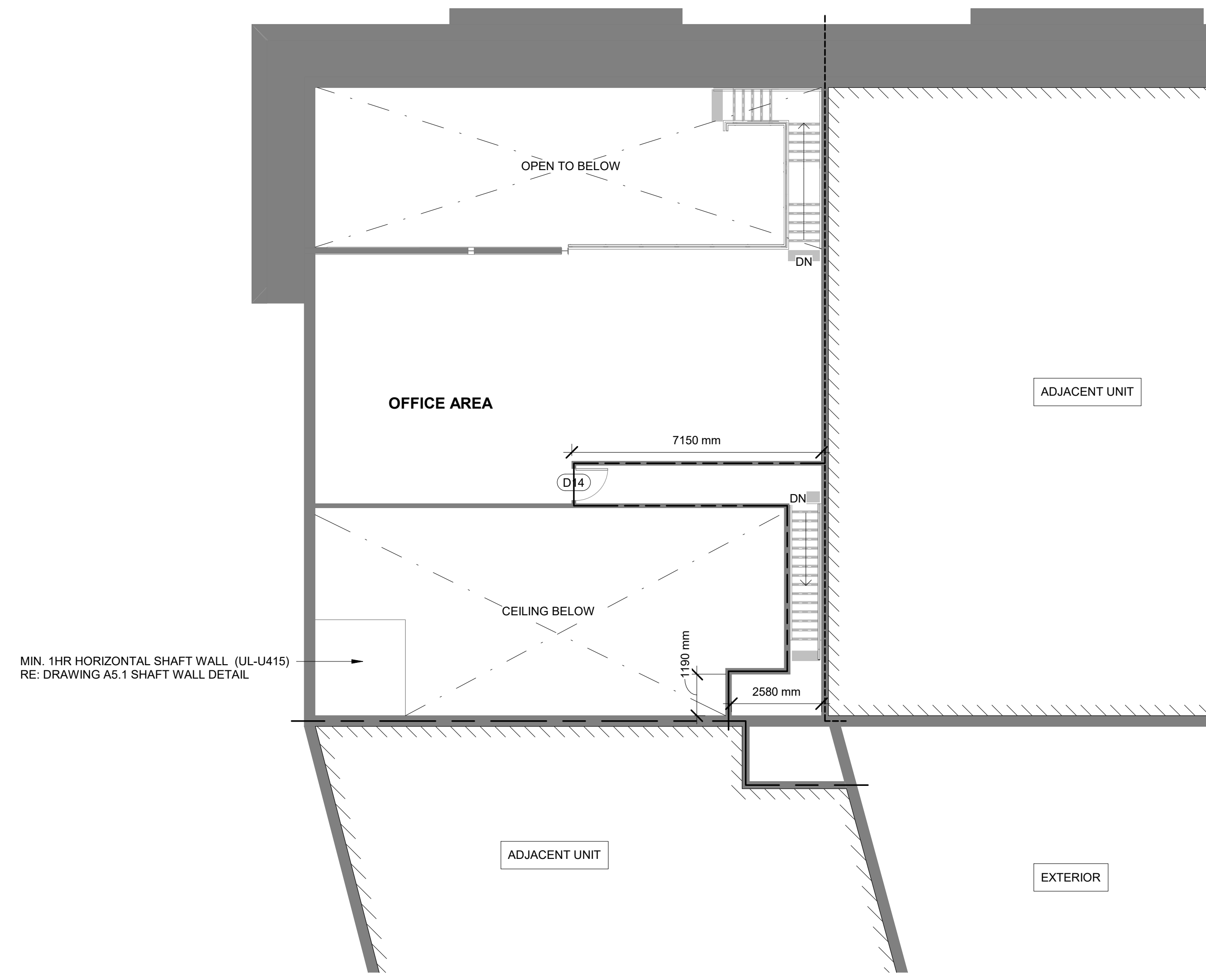


CONTRACTOR SHALL CHECK DIMENSIONS
Drawn by **WF**
Date **MAR 2024**
Scale **As indicated**
Project Number **24016**
DRAWING NAME
EXISTING FLOOR PLANS
SHEET NUMBER
A1.0

MINOR VARIANCE

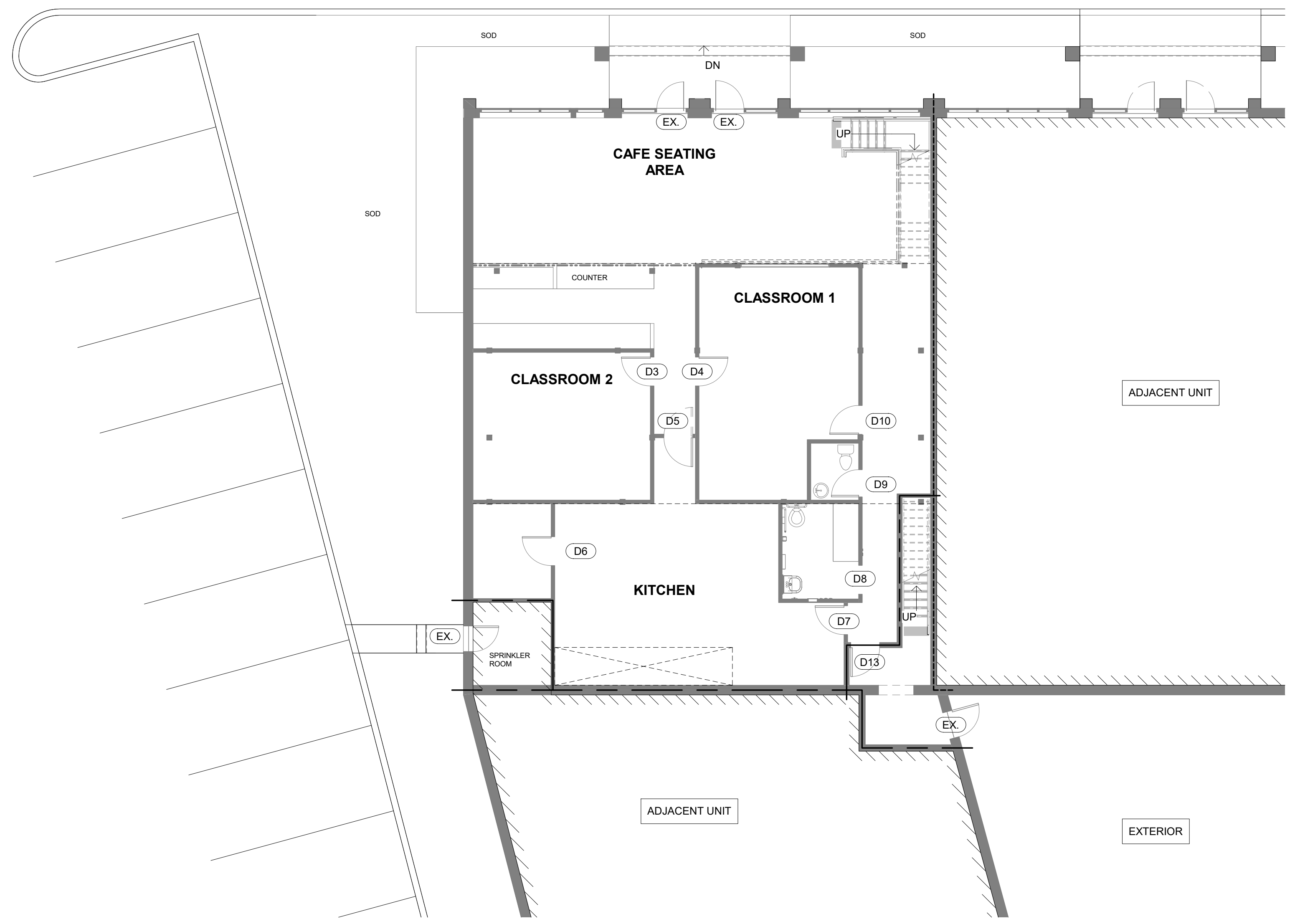
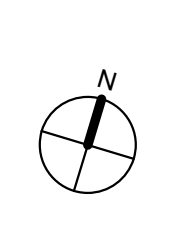
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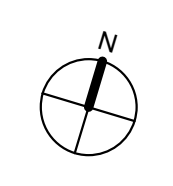
2 PROPOSED 2ND FLOOR PLAN
1 : 100

NO CONSTRUCTION REQUIRED



1 PROPOSED 1ST FLOOR PLAN
1 : 100

NO CONSTRUCTION REQUIRED



ALL COLUMNS SUPPORTING THE NEW SECOND FLOOR SHALL BE PROVIDED WITH TWO LAYERS OF 5/8" GYPSUM BOARD, TYP. 'X'.

LEGENDS:

P1 = [Symbol] INTERIOR PARTITION WALL:
12.7mm GYP. BOARD
38mm x 89mm OR 38mm x 140mm METAL STUDS @ 406mm o.c.
12.7mm GYP. BOARD

P1x = [Symbol] INTERIOR PARTITION WALL:
W467 (MIN. 1 HR FRR)
15.9mm GYP. BOARD, TYP. 'X'
38mm x 89mm OR 38mm x 140mm METAL STUDS @ 406mm o.c.
15.9mm GYP. BOARD, TYP. 'X'

FIRE RATING:
MIN. 2 HR F.R.R.

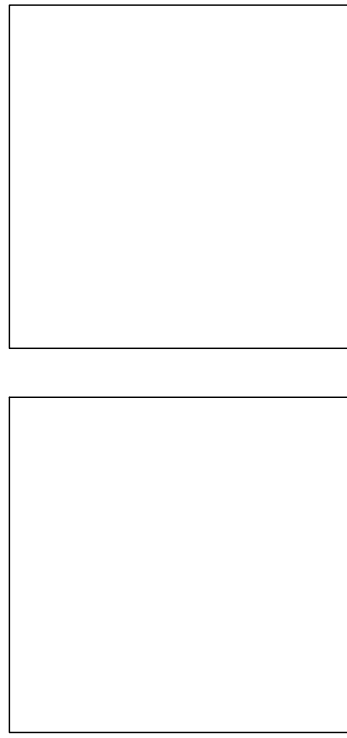
----- MIN. 1 HR F.R.R.

----- MIN. 45 MIN F.R.R.

GENERAL NOTE:
ALL INTERIOR WALL FINISHES TO BE PAINTED OR WALL COVER
RE: INTERIOR DESIGN DWG.

No.	Description	Date	By
1	SPRING REVIEW	2025-10-02	KT

INTERIOR ALTERATION:
1271 DENISON ST U52-53
1271 DENISON ST. U52-53, MARKHAM, ONTARIO

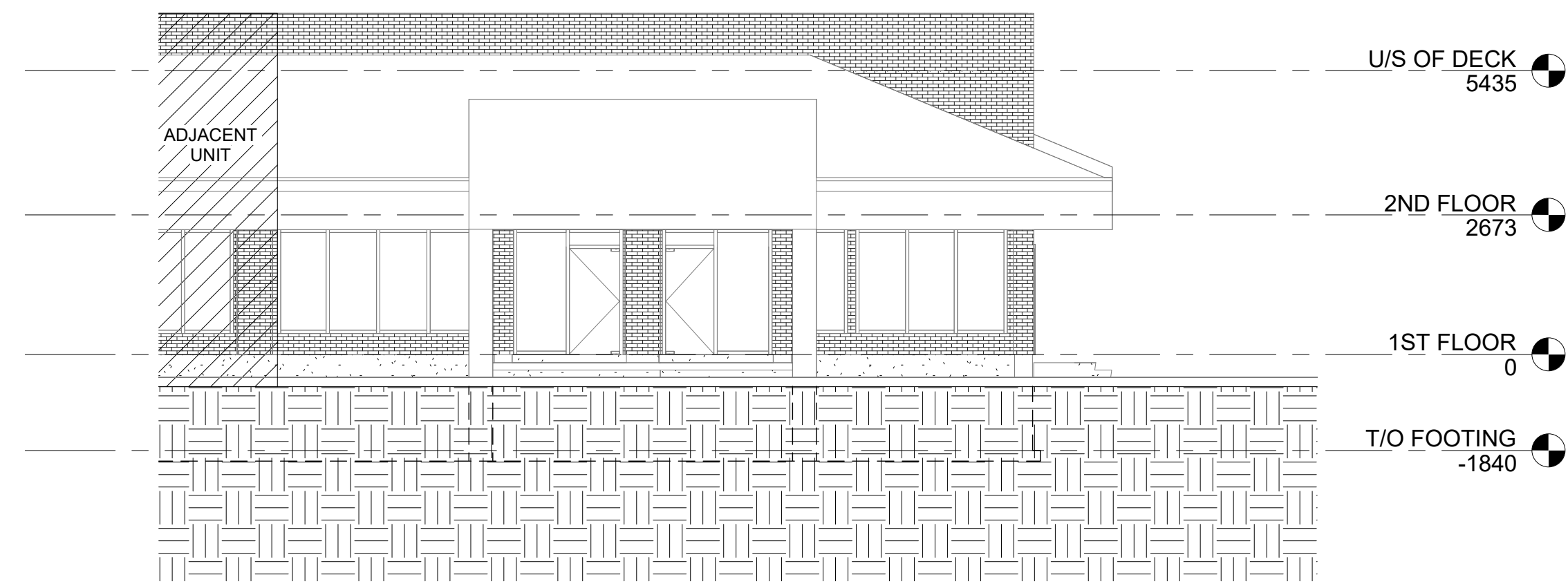


MINOR VARIANCE

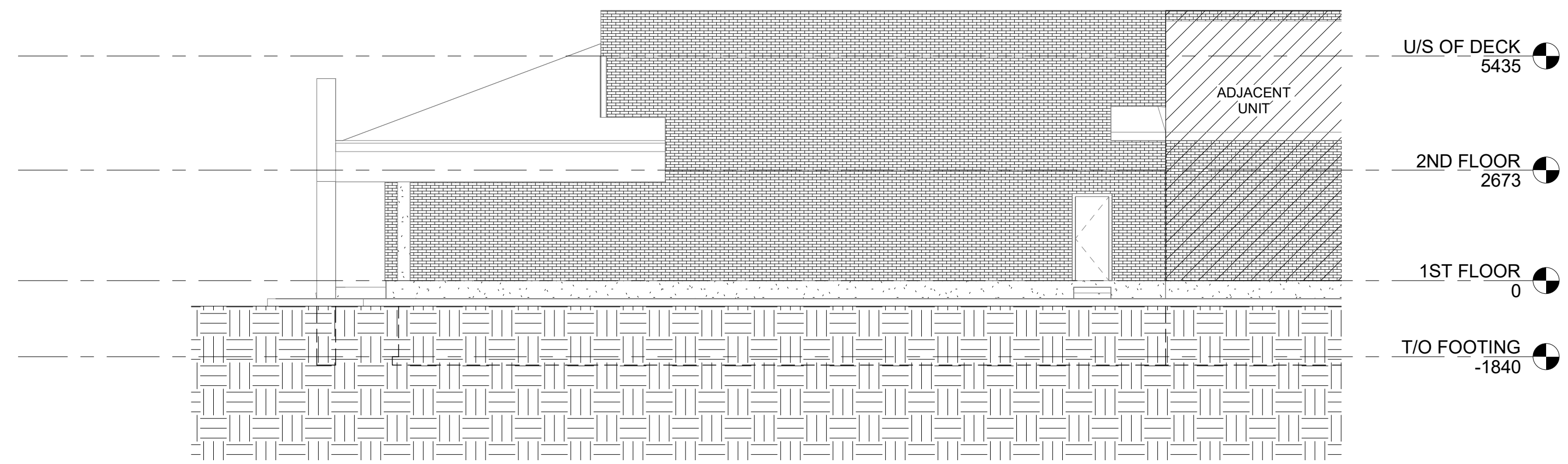
CONTRACTOR SHALL CHECK DIMENSIONS
Drawn by: **WF**
Date: **MAR 2024**
Scale: **As indicated**
Project Number: **24016**
DRAWING NAME: **PROPOSED FLOOR PLANS**
SHEET NUMBER: **A1.1**

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① EXISTING NORTH ELEVATION
1 : 100



② EXISTING WEST ELEVATION
1 : 100

No.	Description	Date	By
1	ZONING REVIEW	2025-03-02	KT

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INTERIOR ALTERATION:

1271 DENISON ST U52-53

1271 DENISON ST. U52-53, MARKHAM, ONTARIO



**MINOR
VARIANCE**

CONTRACTOR SHALL
CHECK DIMENSIONS

Drawn
by **WF**

Date **MAR 2024**

Scale **1 : 100**

Project Number **24016**

DRAWING NAME
**EXISTING
ELEVATIONS**

SHEET NUMBER
A3.0