

NOTES:

THE BUILDER IS TO CHECK AND VERIFY ALL DIMENSIONS. IF ANY DISCREPANCIES THEY MUST BE REPORTED TO THE ENGINEER AND LAND SURVEYOR PRIOR TO CONSTRUCTION.

IT IS THE RESPONSIBILITY OF THE BUILDER TO HAVE THIS SKETCH SHOWING SITE GRADING DETAIL CHECKED AND ENDORSED BY THE APPROPRIATE TOWN OF MARKHAM APPROVING AUTHORITY.

ALL GRADING AND SITE SERVICES ARE TO COMPLY WITH THE TOWN OF MARKHAM ENGINEERING STANDARDS AND SPECIFICATIONS, AND

IT IS THE RESPONSIBILITY OF THE BUILDER TO HAVE A REGISTERED ONTARIO LAND SURVEYOR OR A REGISTERED PROFESSIONAL ENGINEER OF ONTARIO VERIFY THE FOOTING FRAMEWORK, SETBACKS, AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

ALL DITCHES, SWALES AND DEPRESSIONS ARE TO BE SODDED.

0.60m STRIP OF LAND TO REMAIN UNDISTURBED ALONG THE PROPERTY LINES.

DOWNSPOUTS ARE TO DISCHARGE ONTO SLASHPADS AND NOT DIRECTED TOWARDS THE DRIVEWAY AND/OR PERPENDICULAR TO THE LOT LINES.

PRIOR TO THE SUPERSTRUCTURE WORKS PROCEEDING THE OWNER'S CONSULTANT MUST VERIFY THAT THE FOUNDATION WALL ELEVATION IS IN CONFORMITY WITH THE GRADING PLAN REVIEWED BY TOWN OF MARKHAM.

NO TREES TO BE REMOVED WITHOUT PRIOR CONSENT FROM THE CITY ARBORIST.

ALL NEW AND EXISTING CATCHBASINS AND OUTLETMAN MANHOLES LOCATED ON SITE OR ADJACENT STREETS SHALL HAVE THE UNDERSIDE OF THE GRATE COVERED WITH TERRAZO 24 R MIN WOVEN GEOTEXTILE DURING CONSTRUCTION.

CONTRACTOR SHALL REGULARLY CLEAN SEDIMENT AND DEBRIS FROM THESE GEOTEXTILE PIECES. CONTRACTOR SHALL REMOVE AND DISPOSE WITH THESE PIECES AT THE END OF THE CONSTRUCTION PERIOD OR AS DIRECTED BY THE ENGINEER.

CONTRACTOR SHALL MAINTAIN ADJACENT STREETS AND LOTS FREE OF DIRT, MUD AND OTHER REFUSE THROUGHOUT THE DURATION OF CONSTRUCTION. ANY CLEANING OF ADJACENT STREETS OR LOTS DURING THE CONSTRUCTION PERIOD SHALL BE PAID BY THE CONTRACTOR.

CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO PRE CONSTRUCTION CONDITIONS OR BETTER TO SATISFACTION OF THE TOWN OF MARKHAM.

NET LOT AREA CALCULATIONS:

LOT: PART 1

ACTUAL LOT AREA	1141.84 m ²
MIN. LOT AREA	905.77 m ²
DIFFERENCE	236.07 m ²
NET LOT AREA	$\frac{236.07 + 905.77}{2}$
	1023.80 m ²
MAX. FLOOR AREA RATIO	$\frac{337.85}{1023.80}$
	33% OF NET LOT AREA

LOT: PART 2

ACTUAL LOT AREA	1076.79 m ²
MIN. LOT AREA	905.77 m ²
DIFFERENCE	171.02 m ²
NET LOT AREA	$\frac{171.02 + 905.77}{2}$
	991.28 m ²
MAX. FLOOR AREA RATIO	$\frac{327.12}{991.28}$
	33% OF NET LOT AREA

SITE DATA: (THORNHILL HERITAGE CONSERVATION DISTRICT)

PART #1	
ZONING	R2 (BY-LAW 2237) & (CA/38 & 39/92)
LOT AREA	1141.84 m ² (12,231.06 S.F.) ±
BUILDING AREA	170.17 m ² (1831.85 S.F.)
LOT COVERAGE	LOT x 14.9%
BUILDING HEIGHT	2 STOREYS = 9.14m (30'-0")
GFA (FAR)	331.08 m ² (32.33%) PROPOSED
	337.85 m ² (32%) PERMITTED
PART #2	
ZONING	R2 (BY-LAW 2237) & (CA/38 & 39/92)
LOT AREA	1076.79 m ² (11,590.85 S.F.) ±
BUILDING AREA	162.94 m ² (1754 S.F.)
LOT COVERAGE	15.13% x LOT
BUILDING HEIGHT	2 STOREYS (9.12 m)
GFA (FAR)	322.54 m ² (LOT x 33.00%) = 3472 S.F.

SURVEY CREDITS:

SURVEY INFORMATION TAKEN FROM TOPOGRAPHICAL PLAN OF SURVEY OF PART OF LOT 17, R.P. 3537, TOWN OF MARKHAM, REGION MUNICIPALITY OF YORK

SURVEY BY: RUDOLF ZIVKO SURVEYING LTD, OLS, OCT. 2003.

PART 1 & PART 2 OF LOT 17, PLAN G5R-16635,

SURVEY BY: DONALD E. ROBERTS, O.L.S.

- LEGEND:**
- x 171.12 ----- SHOWS EXISTING GRADE ELEVATIONS.
 - x (171.25) ----- SHOWS PROPOSED GRADE ELEVATIONS.
 - FFE ----- FINISHED FIRST FLOOR ELEVATION.
 - BFS ----- BASEMENT FLOOR SLAB ELEVATION.
 - TFW ----- TOP OF FOUNDATION WALL ELEVATION.
 - U/SF ----- UNDERSIDE OF FOOTING ELEVATION. (STANDARD CONDITION).
 - (*) ----- EXISTING TREES & HEDGES TO BE SAVED DURING CONSTRUCTION.
 - (X) ----- EXISTING TREES & HEDGES TO BE REMOVED BEFORE CONSTRUCTION BEGINS.
 - ----- DIRECTION OF OVERLAND DRAINAGE FLOW.
 - ⊕ H.P. ----- HYDRO POLE LOCATION.

BENCHMARK:

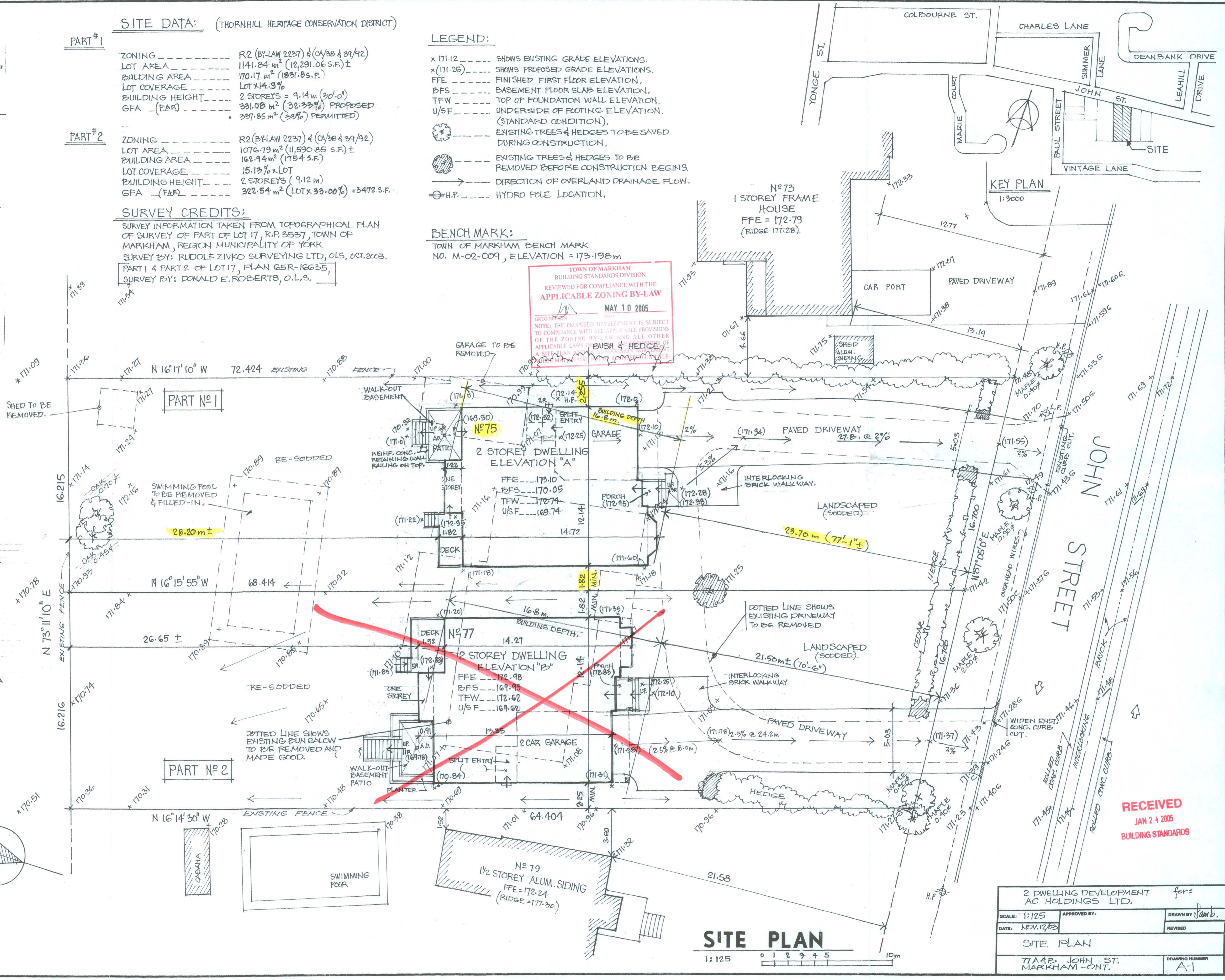
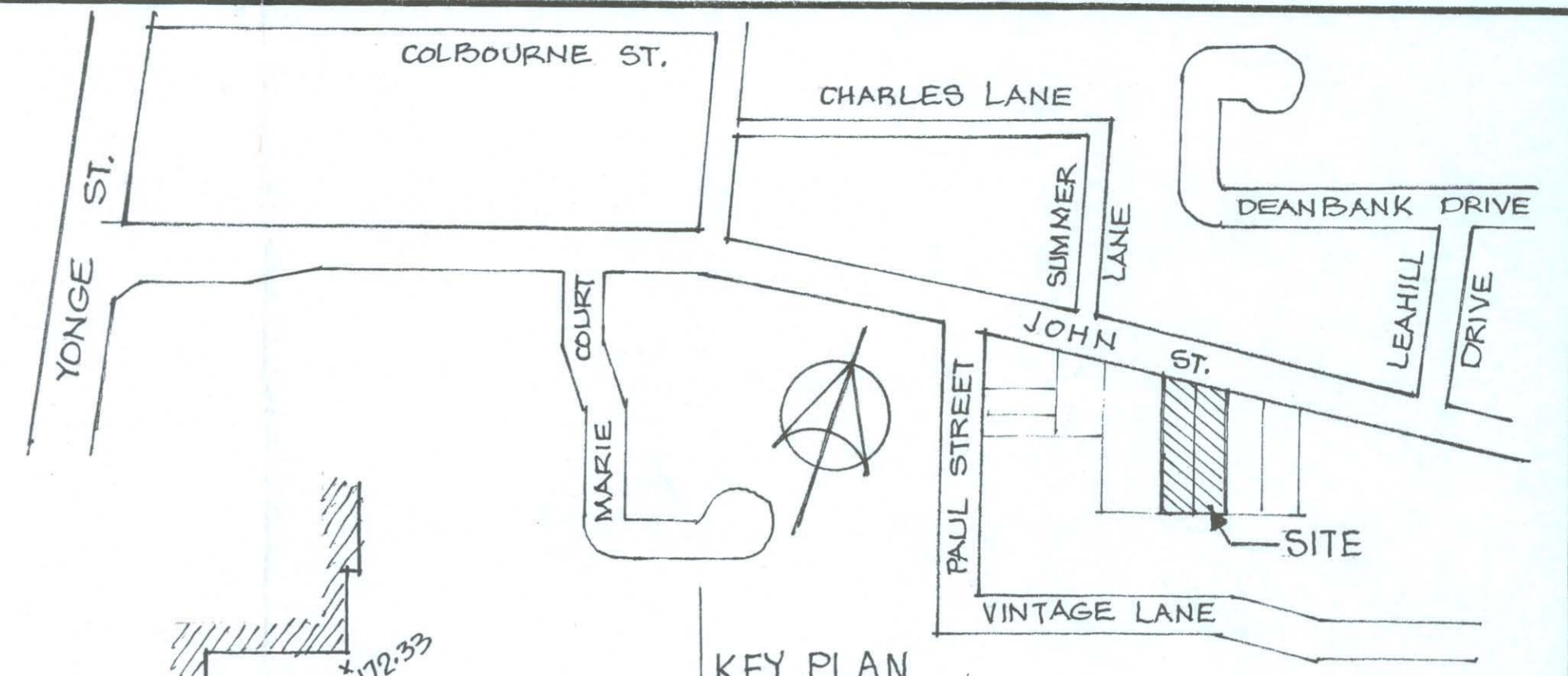
TOWN OF MARKHAM BENCH MARK

NO. M-02-009, ELEVATION = 173.198m

TOWN OF MARKHAM
BUILDING STANDARDS DIVISION
REVIEWED FOR COMPLIANCE WITH THE
APPLICABLE ZONING BY-LAW

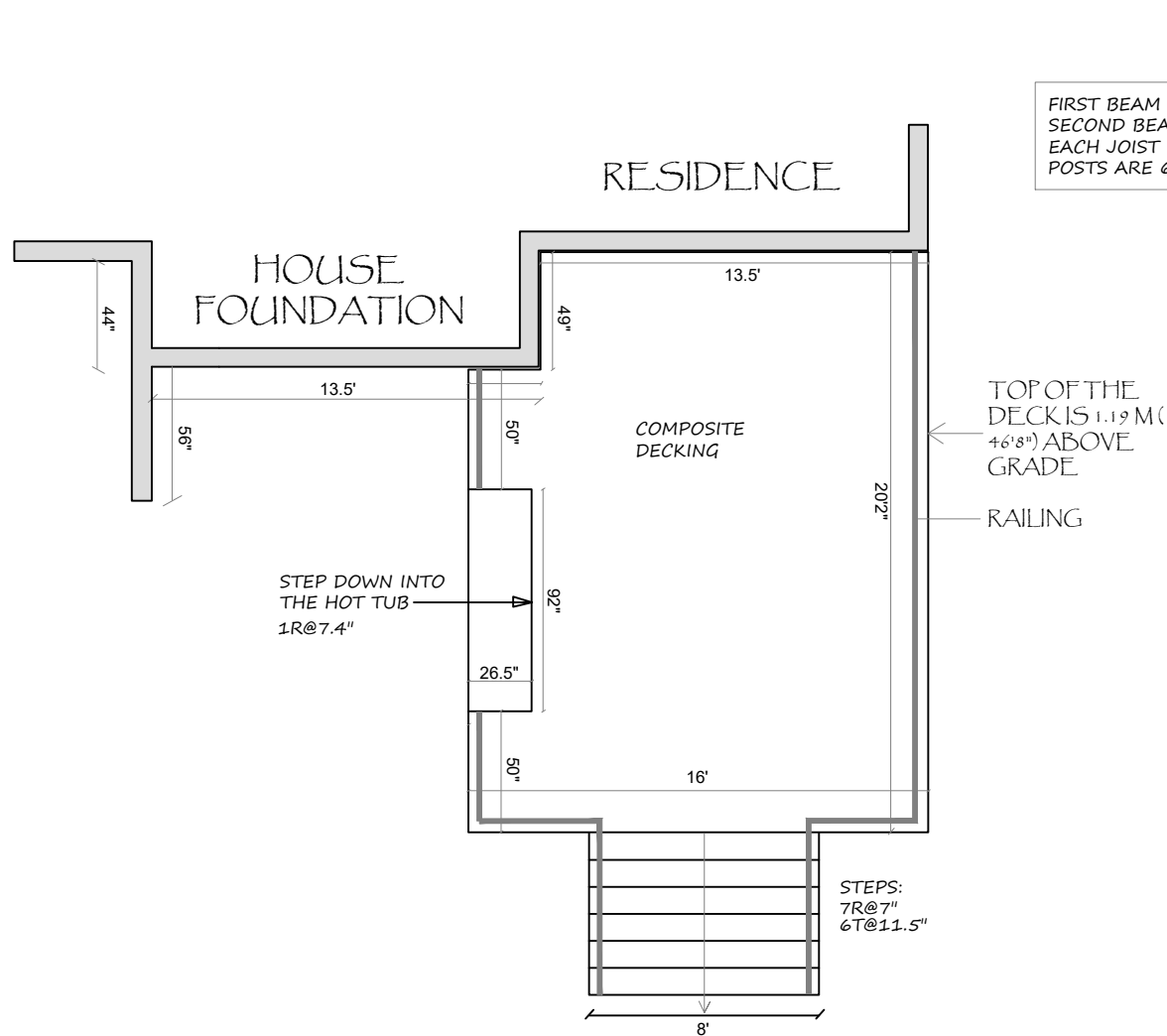
MAY 10 2005

NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS OF THE TOWN OF MARKHAM.

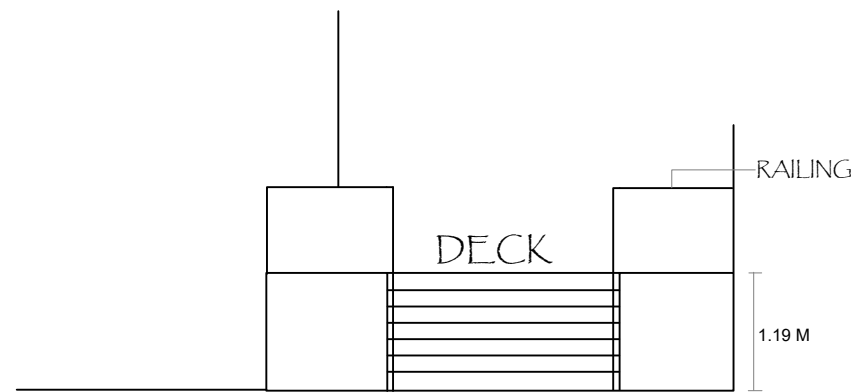
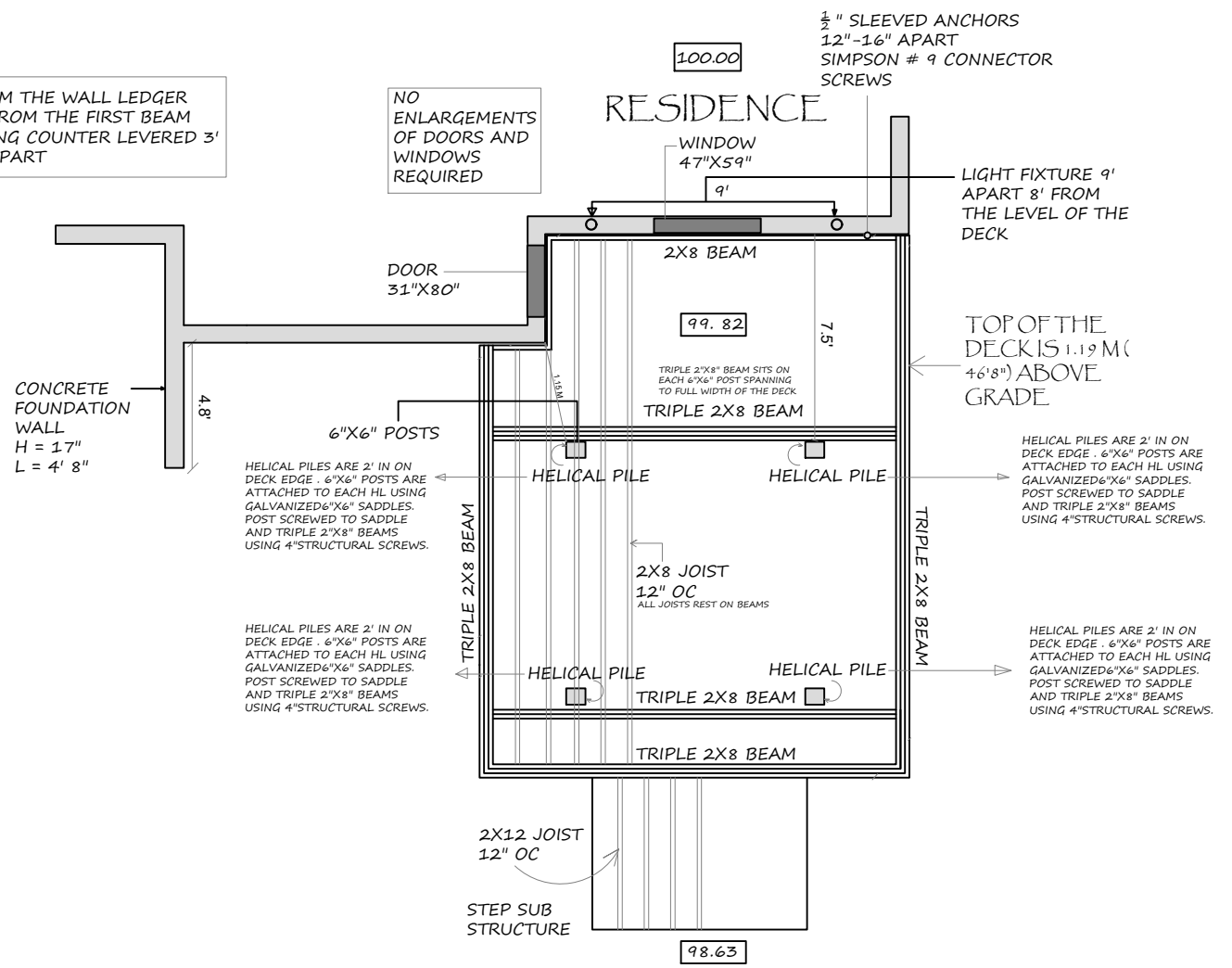


2 DWELLING DEVELOPMENT	
AC HOLDINGS LTD.	
SCALE: 1:125	APPROVED BY:
DATE: NOV. 12/03	DRAWN BY: Jamb.
SITE PLAN	
77A & B JOHN ST. MARKHAM - ONT.	
DRAWING NUMBER	A-1

RECEIVED
JAN 24 2005
BUILDING STANDARDS



FIRST BEAM 9.6" FROM THE WALL LEDGER
SECOND BEAM IS 9" FROM THE FIRST BEAM
EACH JOIST IS 12' LONG COUNTER LEVERED 3'
POSTS ARE 6"X6" 8' APART



DECK 75 JOHN STREET MARKHAM ON

