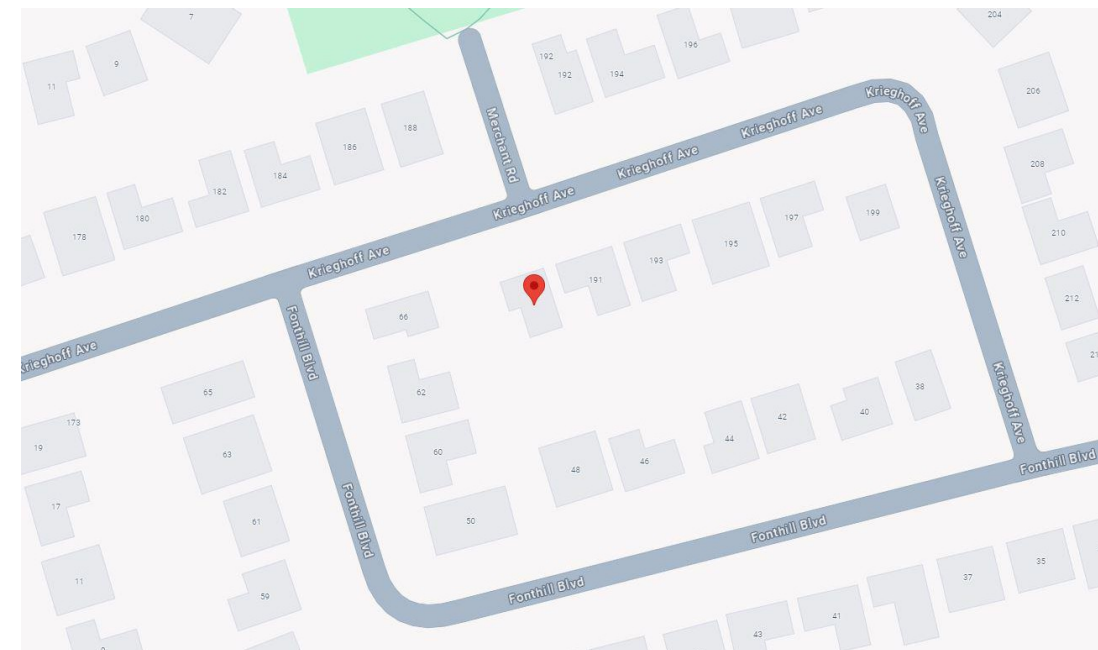
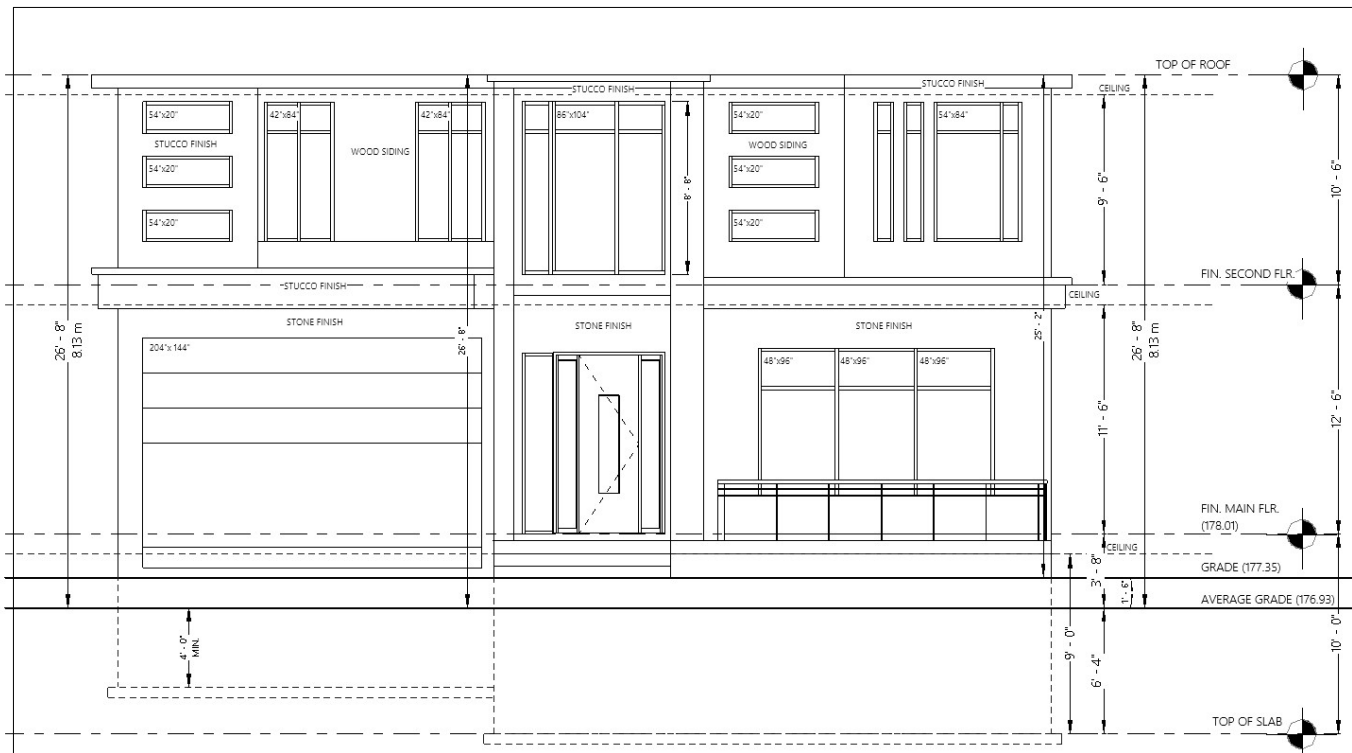


# 189 KRIEGHOFF AVE

CUSTOM HOUSE PERMIT - ARCHITECTURAL DRAWINGS

## Sheet List

Sheet Number	Sheet Name
A100	COVER
A101	EXISTING SITE PLAN
A102	PROPOSED SITE PLAN
A103	PROPOSED BASEMENT
A104	PROPOSED FIRST FLOOR
A105	PROPOSED SECOND FLOOR
A106	FRONT ELEVATION
A107	SIDE ELEVATION - A
A108	SIDE ELEVATION - B
A109	REAR ELEVATION
A110	ROOF PLAN

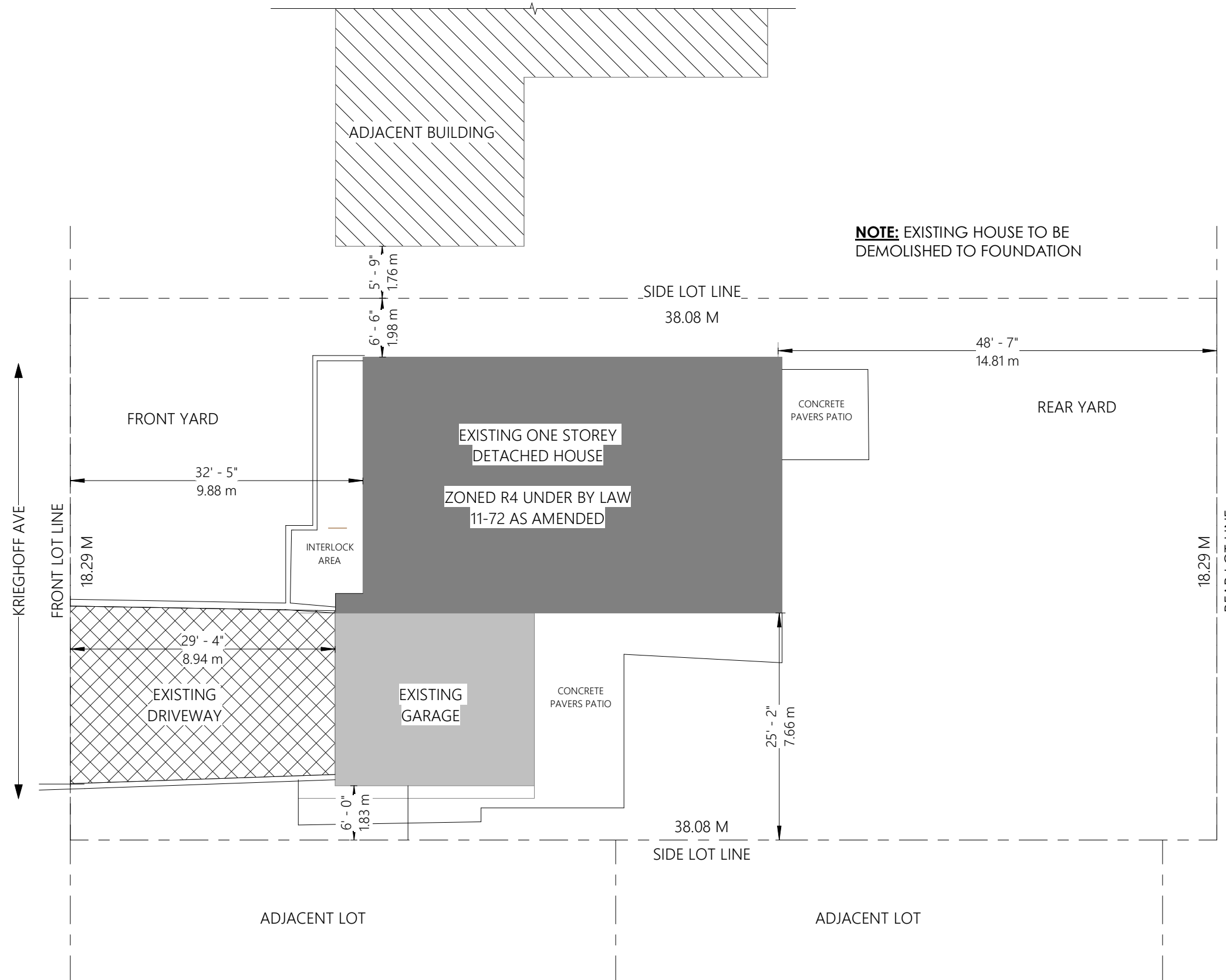


### GENERAL NOTES

The Contractor should visit the site and become familiarized with all the characteristics affecting new and existing construction. Contractor shall check all dimension on working drawings and report any discrepancies to the Engineer/Designer before proceeding with the work. Any changes, alterations or revisions must be reported to the Engineer/Designer before proceeding with the work.

NO	DATE	DESCRIPTION

PROJECT	189 KRIEGHOFF AVENUE		
DRAWING TITLE	COVER		
SCALE	0001	2025-12-29	<b>A100</b>
PROJECT NO	BB	BB	
	DRAWN BY	CHECK BY	DRAWING NO



1 EXISTING SITE PLAN  
SCALE: 1:150

**GENERAL NOTES**

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NO	DATE	DESCRIPTION

PROJECT		189 KRIEGHOFF AVENUE	
DRAWING TITLE		EXISTING SITE PLAN	
1 : 150 SCALE	2025-12-29 DATE	<b>A101</b> DRAWING NO	
0001 PROJECT NO	TA DRAWN BY		

# KRIEGHOFF AVENUE

PIN 02979 - 0161  
 MH  
 (BY REGISTERED PLAN 7566)  
 MH  
 Approximate Centreline of Pavement

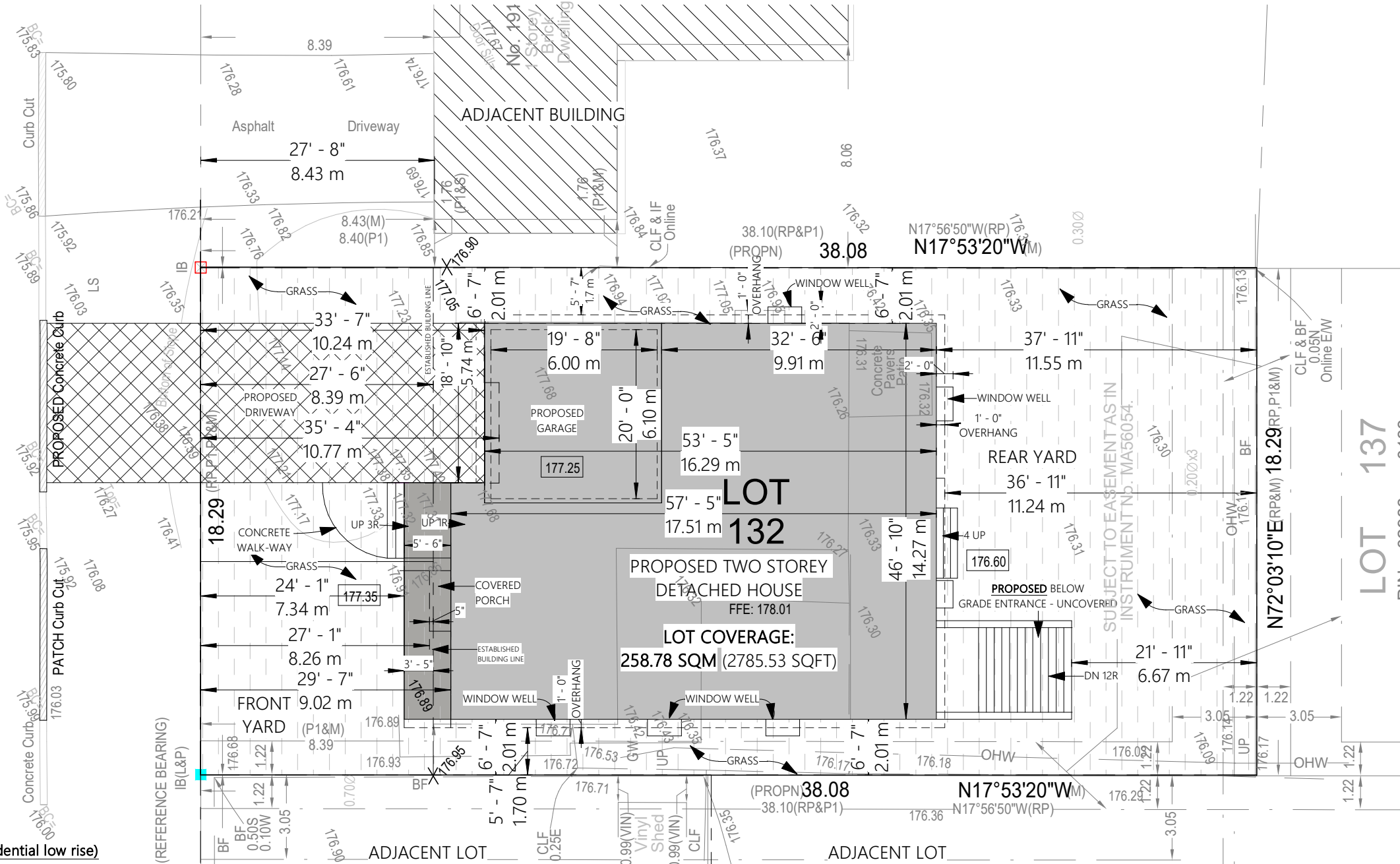
**ZONING STATISTICS R4 (Residential low rise)**  
 ZONE CODE: RES-ENLR  
 Zoning by Law- BY-LAW 11-72

MINIMUM LOT AREA: **580.64 SQM** (6,250.00 SQFT)  
 EXISTING LOT AREA: **696.48 SQM** (7496.88 SQFT)  
 MINIMUM LOT FRONTAGE: **15.24 M** (50.00 FT)  
 MINIMUM FRONT YARD SETBACK: **7.5 M** (25.00 FT)  
 MINIMUM SIDE YARD: **1.82 M** (6.00 FT FOR TWO STOREY)  
 MINIMUM REAR YARD SET BACK REQUIRED: **7.5 M** (25.00 FT)  
 MAXIMUM HEIGHT: **7.6 M** (25.00 FT FROM GRADE TO MIDPOINT)  
 PROPOSED HEIGHT: **9.2M**  
 LOT AREA: 696.48 SQM (7496.88 SQFT)  
 LANDSCAPE AREA: **60%** OF FRONT YARD  
 EXISTING LOT COVERAGE: 143.30 SQM (1542.54 SQFT)  
**NEW** MAXIMUM LOT COVERAGE: **36.88%**  
 PROPOSED LOT COVERAGE : **256.89 SQM** (2765.21 SQFT)

## PROPOSED SITE PLAN

SCALE: 1:180

1



ESTABLISHED GRADE: 176.93  
**GROSS FLOOR AREA:**  
 TOTAL MAIN FLOOR AREA (Excluding Porch/Garage Area/Stairs):  
**2067.78 SQFT (192.10 SQM)**  
 TOTAL SECOND FLOOR AREA (Excluding Stairs & O.T.B): **2371.92 SQFT (220.36 SQM)**  
 TOTAL GROSS FLOOR AREA:  
**4439.70 SQFT (412.46 SQM)**  
 FIRST FLOOR INDEX: 27.6%  
 SECOND FLOOR INDEX: 31.6%

AVERAGE GRADE: (176.95 + 176.90) / 2 = 176.93  
 ESTABLISHED GRADE: 176.93  
 176.00 PROPOSED GRADE  
 TOP OF PLATE - 184.72

INFORMATION TAKEN FROM SURVEY  
 PLAN OF SURVEY OF LOT 132  
 REGISTERED PLAN 7566  
 CITY OF MARKHAM  
 REGIONAL MUNICIPALITY OF YORK  
 BY: JASON CHUN-HO MO  
 PEARSON/PERARON - JUNE 2022

### GENERAL NOTES

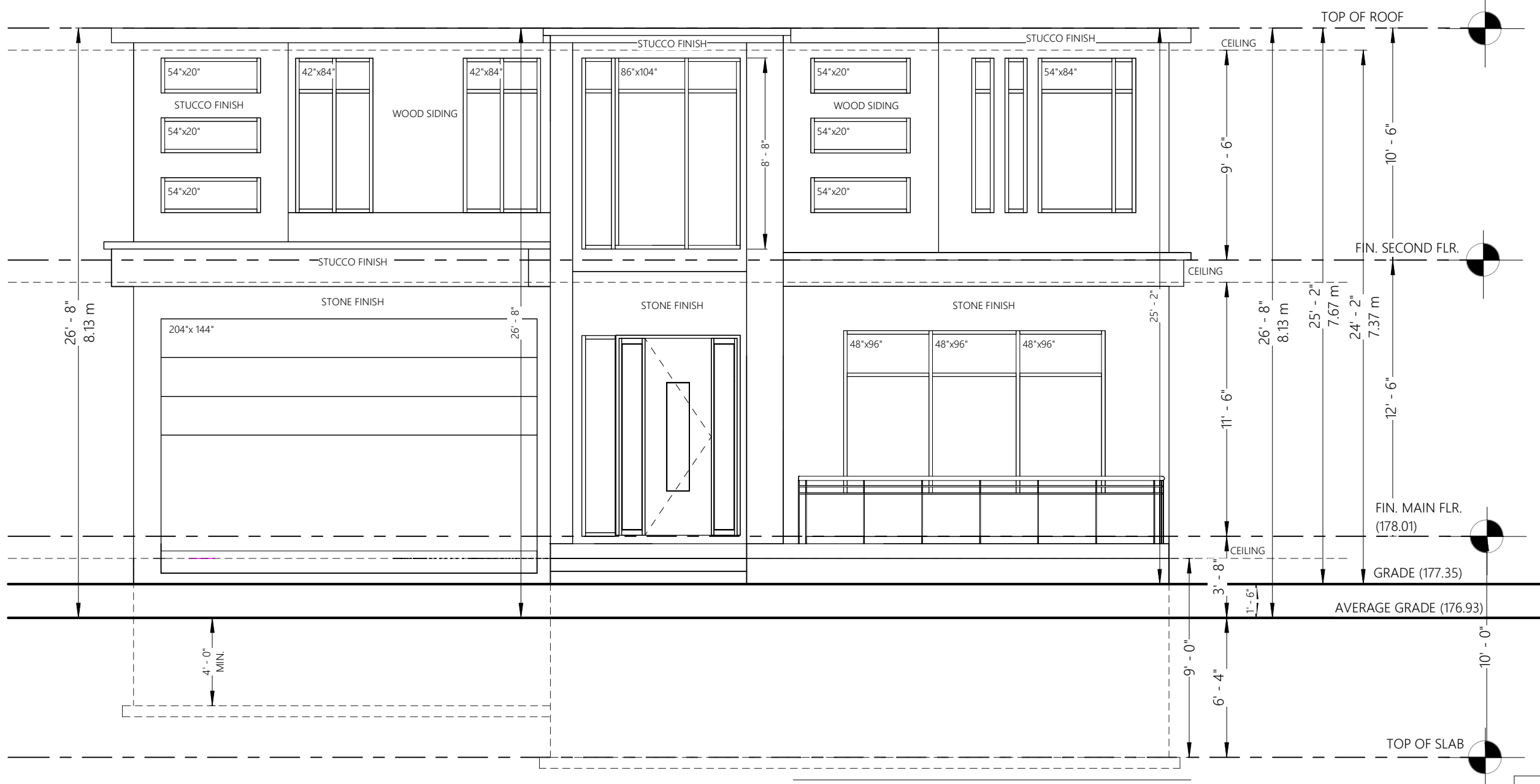
The Contractor should visit the site and become familiarized with all the characteristics affecting new and existing construction. Contractor shall check all dimension on working drawings and report any discrepancies to the Engineer/Designer before proceeding with the work. Any changes, alterations or revisions must be reported to the Engineer/Designer before proceeding with the work.

LOT 137  
 PIN 02986 - 0133  
 LOT 135  
 PIN 02986 - 0131

NO	DATE	DESCRIPTION

PROJECT			189 KRIEGHOFF AVENUE		
DRAWING TITLE			PROPOSED SITE PLAN		
1 : 180	2025-12-29		<b>A102</b>		
SCALE	DATE				
0001	BB	BB			
PROJECT NO	DRAWN BY	CHECK BY	DRAWING NO		

NOTE: TOP OF PLATE - 184.72



NO	DATE	DESCRIPTION

1

FRONT ELEVATION  
SCALE: 3/16" = 1'-0"

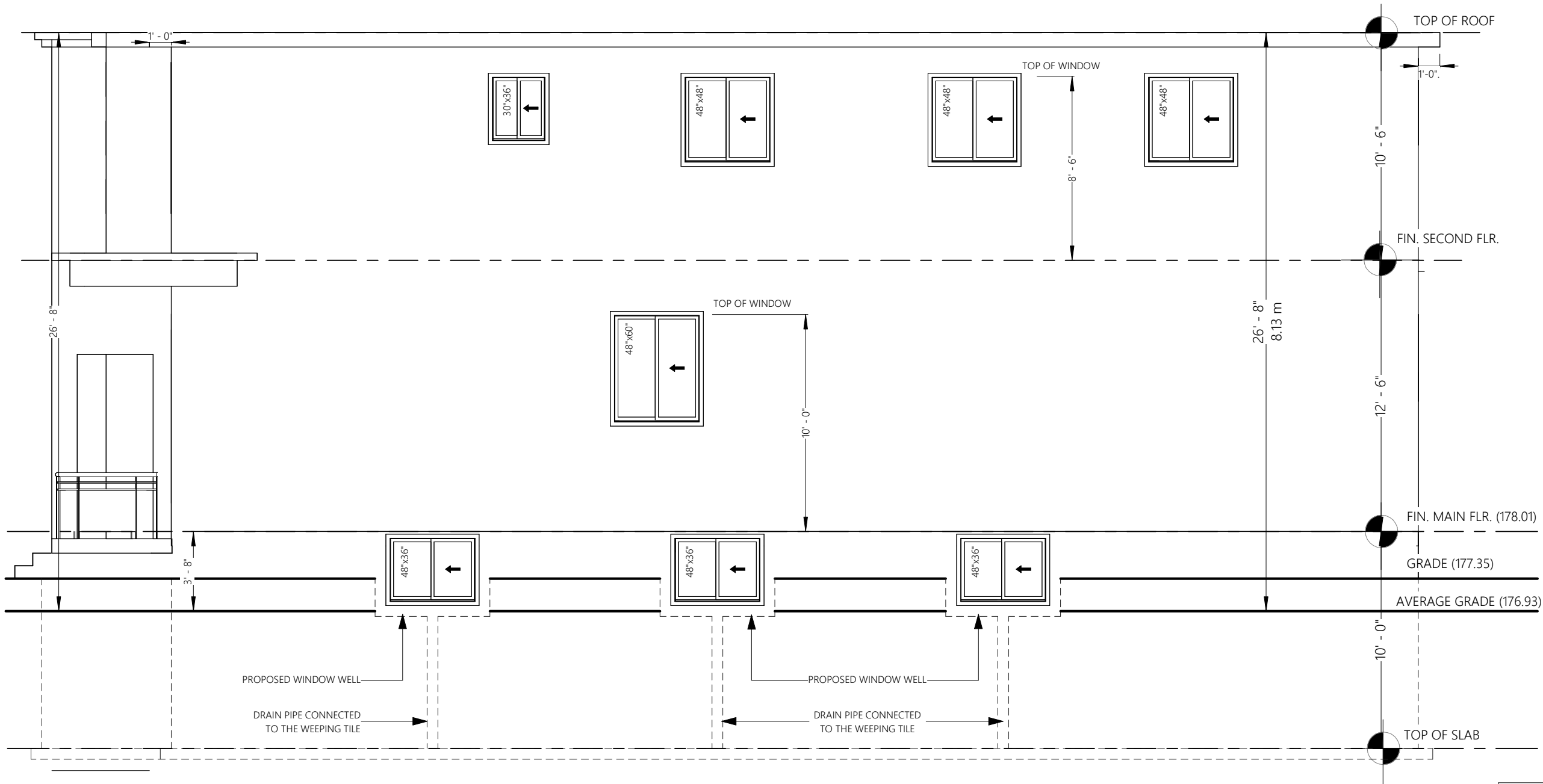
**GENERAL NOTES**

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PROJECT: 189 KRIEGHOFF AVENUE

DRAWING TITLE: FRONT ELEVATION

SCALE: 3/16" = 1'-0"	DATE: 2025-12-29	<b>A106</b>
PROJECT NO: 0001	DRAWN BY: TA CHECK BY: BB	



ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1530 SQFT
LIMITING DISTANCE	6'-7" (2.01 M)
ALLOWABLE OPENINGS @ 8%	122.4 SQFT
ACTUAL OPENINGS	94 SQFT

**GENERAL NOTES**

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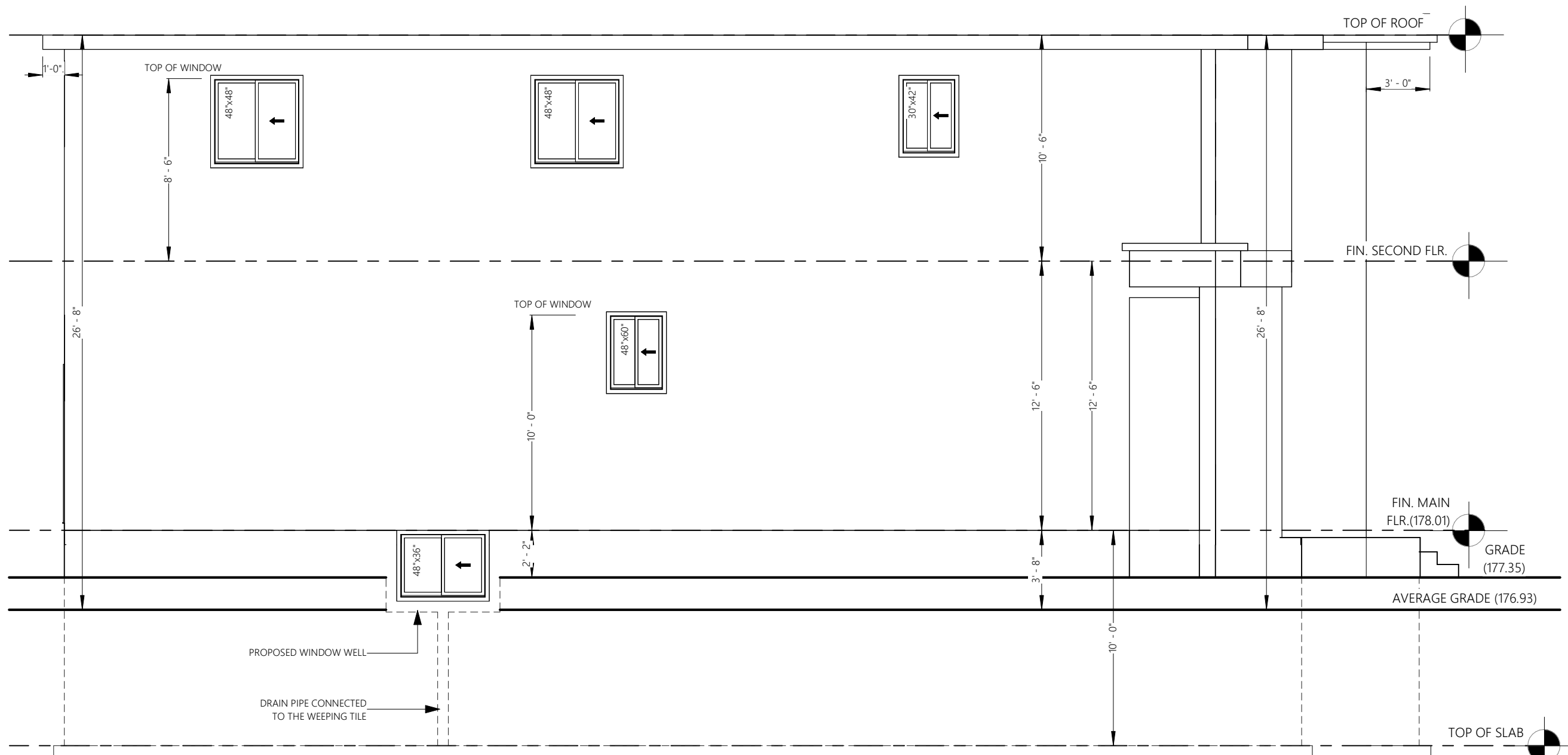
NO	DATE	DESCRIPTION

**1** SIDE ELEVATION - A  
SCALE: 3/16" = 1'-0"

PROJECT **189 KRIEGHOFF AVENUE**

DRAWING TITLE **SIDE ELEVATION - A**

SCALE 3/16" = 1'-0"	DATE 2025-12-29	<b>A107</b>
PROJECT NO 0001	DRAWN BY BB	



ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA	1343.22 SQFT
LIMITING DISTANCE	6'-7" (2.01 M)
ALLOWABLE OPENINGS @ 8%	107.45 SQFT
ACTUAL OPENINGS	51.42 SQFT

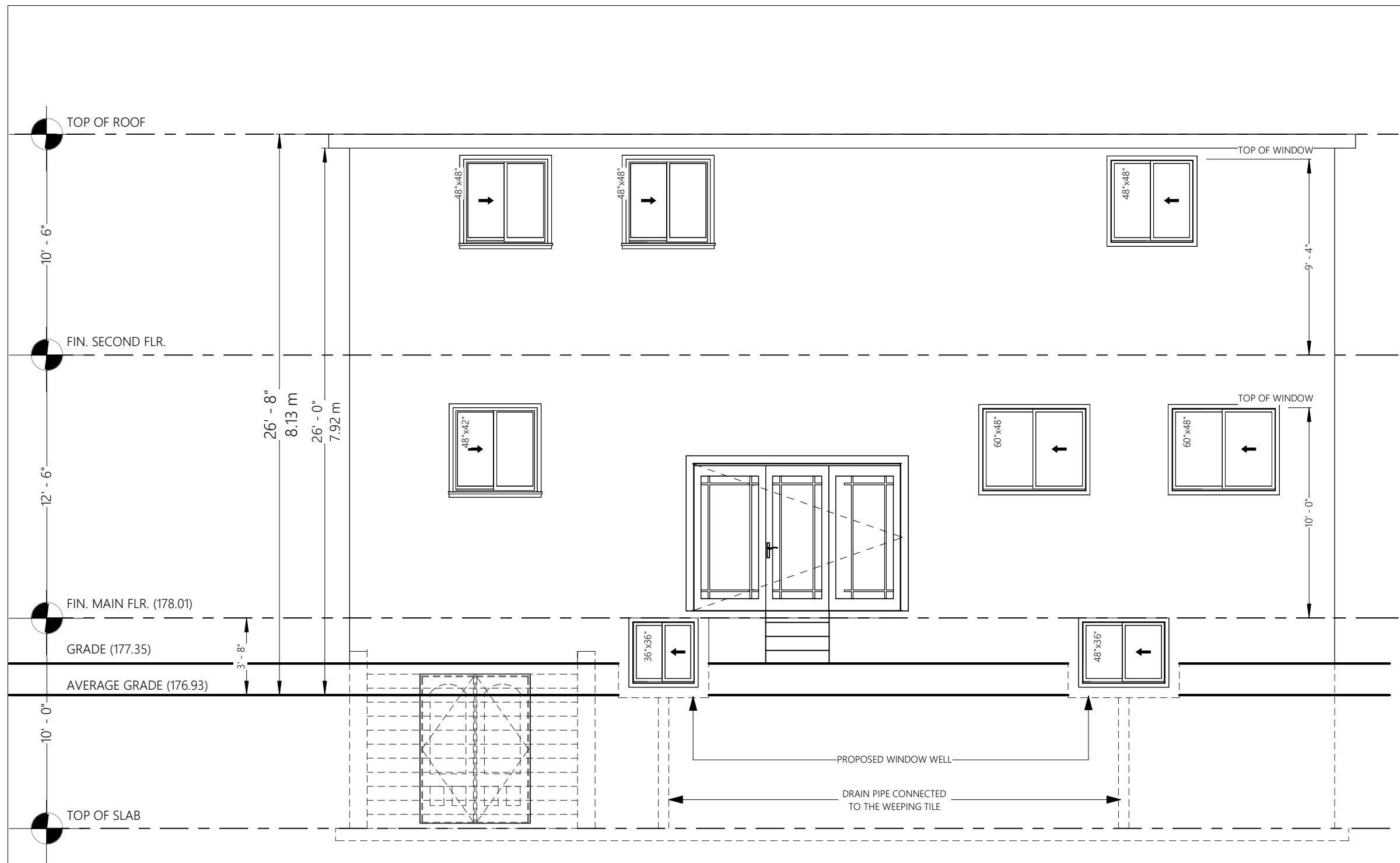
NO	DATE	DESCRIPTION

1 SIDE ELEVATION - B  
SCALE: 3/16" = 1'-0"

**GENERAL NOTES**

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PROJECT 189 KRIEGHOFF AVENUE  
DRAWING TITLE SIDE ELEVATION - B  
SCALE 3/16" = 1'-0" DATE 2025-12-29  
PROJECT NO 0001 DRAWN BY TA CHECK BY BB DRAWING NO A108



1 REAR ELEVATION  
 SCALE: 3/16" = 1'-0"

**GENERAL NOTES**

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NO	DATE	DESCRIPTION

PROJECT		189 KRIEGHOFF AVENUE	
DRAWING TITLE		REAR ELEVATION	
SCALE	3/16" = 1'-0"	DATE	2025-12-29
PROJECT NO	0001	DRAWN BY	BB
		CHECK BY	BB
		DRAWING NO	<b>A109</b>