



MEMORANDUM



TO: Heritage Markham Committee

FROM: Evan Manning, Senior Heritage Planner

DATE: April 9, 2025

SUBJECT: Committee of Adjustment Variance Application
117 Robinson Street, Markham Village
Proposed Second Storey Addition and Porch Expansion

FILE: A/015/25

Property/Building Description: One-and-a-half detached dwelling constructed c.1949 and a detached garage constructed c.2002 as per MPAC records

Use: Residential

Heritage Status: Designated under Part V of the *Ontario Heritage Act* as part of the Markham Village Heritage Conservation District (the “MVHCD”)

Application/Proposal

- The City has received a Minor Variance (“MNV”) Application seeking relief from the comprehensive zoning by-law to enable modifications to the existing dwelling at 117 Robinson Street (the “Subject Property” or the “Property”).
- Modifications include the construction of a full second storey and an expansion of the porch along the dwelling’s east and south elevations. Note that relief from the by-law is not required for the proposed vertical addition.
- Modifications to the existing detached garage are not proposed.

Requested Variances to the Zoning By-law

The applicant requires the following relief from By-law 2024-19 to permit:

- a) a front yard setback of 3.23metres; whereas the By-law requires a minimum of 8.84metres;
- b) a porch to project beyond the established building by 5.61metres, whereas the By-law permits 0.6metres.

Background

Context

- The Subject Property is located on the south side of Robinson Street along the western perimeter of the MVHCD. The property is bound by Robinson Street to the north and west, Robinson Creek, a tributary of the Rouge River, to the east, and a single-detached dwelling to the south.

Classification within the MVHCD Plan

- The Subject Property is categorized as a Type 'B' property. As described in Section 3.2 ('Building Classification') of the MVHCD Plan, Type 'B' properties possess the following characteristics within the District:
 - *Important in terms of contextual value;*
 - *They may not be of great historical or architectural value, however, they contribute substantially to the visual character of the townscape;*
 - *They support and help define the character of the historic district.*

Staff Comment

Requested Variances

- Heritage Section staff ("Staff") have no objection from a heritage perspective to the variance for a reduced front yard setback. While the front yard is functionally located and visually understood to be along the northern frontage of the Property, for zoning purposes the "front yard" is understood to be the Property's western frontage as it is the shorter of the two street frontages. Note that the requested variance reflects an existing rather than proposed condition as the western elevation of the existing dwelling has a 3.23m setback from the lot line.
- Staff also have no objection from a heritage perspective to the variance for proposed porch depth as it allows for an expansion of existing outdoor space in a manner compatible with the character of the dwelling.

Conceptual Design

- Staff have no significant objections from a heritage perspective to the proposed alterations to the existing Type 'B' dwelling as shown in Appendix 'B' of the memo. A more in-depth review will occur following future submission of a Major Heritage Permit application.

Next Steps

- Should the applicant be successful at the COA hearing tentatively scheduled for April 30, 2025, submission of a Major Heritage Permit application will be required prior to Building Permit issuance. Once submitted, Staff will bring the Major Heritage Permit application to Heritage Markham for comment.

Suggested Recommendation for Heritage Markham

THAT Heritage Markham has no objection from a heritage perspective to the proposed variances for front yard setback and porch depth at 117 Robinson Street.

ATTACHMENTS:

Appendix 'A'	Location Map and Aerial Image of the Subject Property
Appendix 'B'	Images of the Subject Property
Appendix 'C'	Drawings

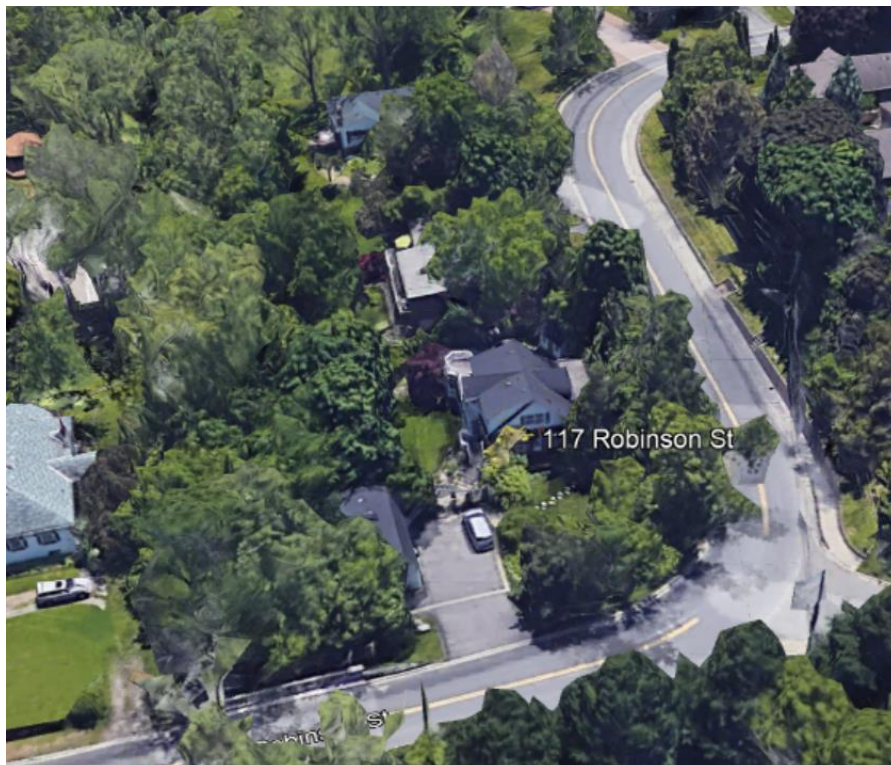
File Path: Q:\Development\Heritage\PROPERTY\ROBINSON\117\HMMemos & Extracts

Appendix 'A'

Location Map and Aerial Image of the Subject Property



Property map showing the location of the Subject Property [outlined in blue] (Source: City of Markham)



Aerial image looking south towards the Subject Property (Source: Google Earth)

Appendix 'B'

Images of the Subject Property



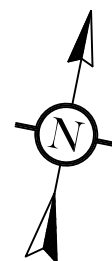
The north (primary) elevation of the dwelling as viewed from Robinson Street. Note that the frontage visible above is considered the Property's "side yard" from a zoning perspective (Source: Google).



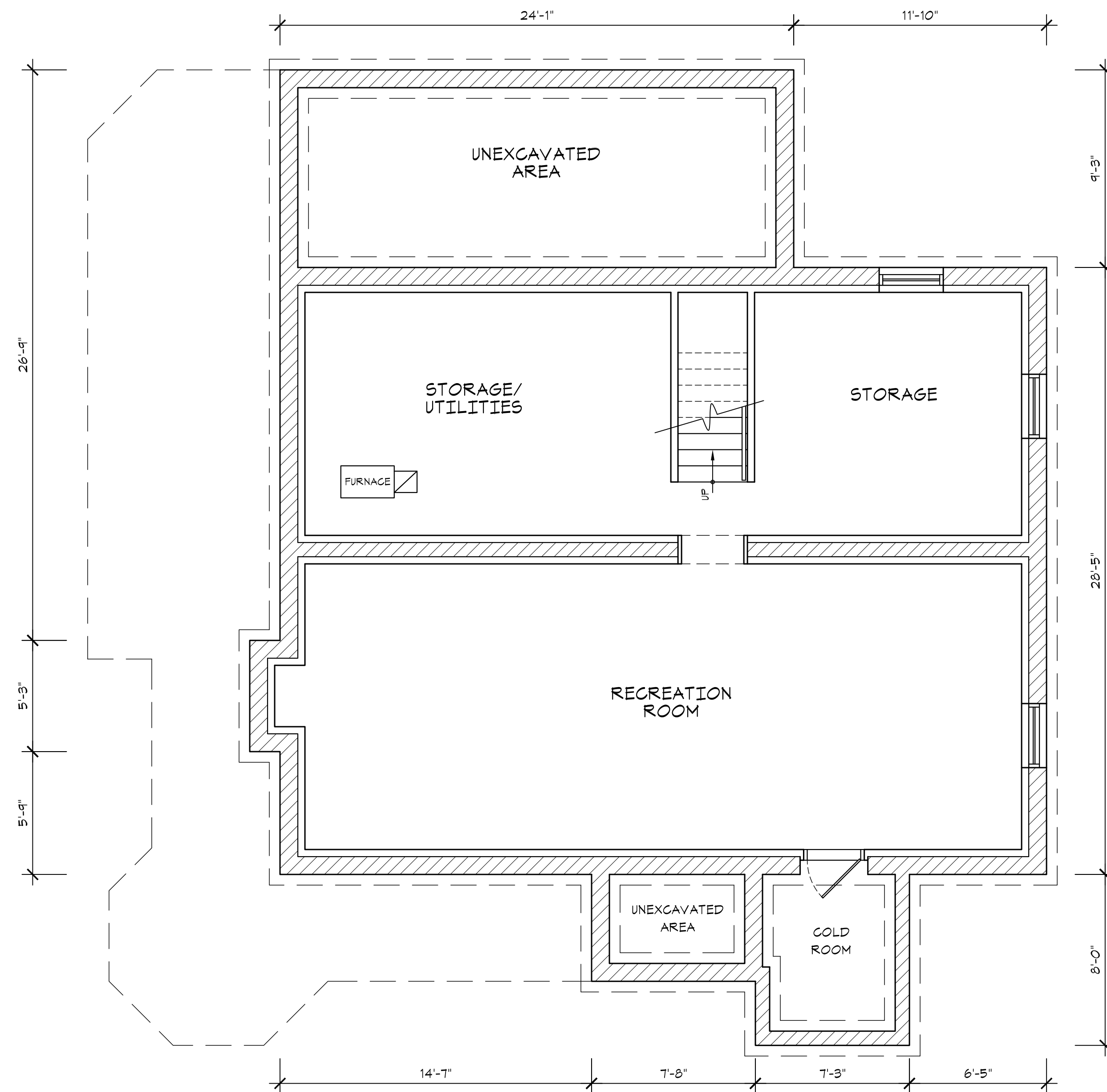
The west [left] and south [right] elevations of the dwelling as viewed from Robinson Street. Note that the frontage visible above is considered the Property's "front yard" from a zoning perspective (Source: Google).

Appendix ‘C’

Drawings



SITE INFORMATION	
PART OF LOT 12, CONCESSION 1	
CITY OF MARKHAM	
SITE STATISTICS	
LOT COVERAGE	
LOT AREA	= 1,397.02 sq.m.
GROUND FLOOR BUILDING AREA	= 114.00 sq.m. (1.201 sq.ft.)
PERCENTAGE	= 8.40 %
SECOND FLOOR BUILDING AREA	= 114.82 sq.m. (1.236 sq.ft.)
PERCENTAGE	= 8.58 %
TOTAL BUILDING AREA	= 239.82 sq.m. (2.517 sq.ft.)
MAXIMUM LOT COVERAGE	
(INC. ACCESSORY BUILDINGS)	= 217.76 sq.m. (2.344 sq.ft.)
	= 16.26 %

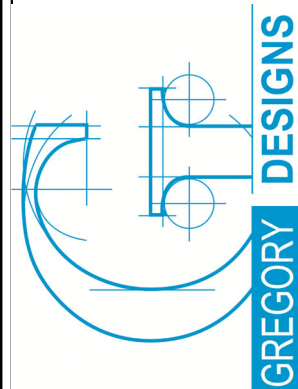


- All construction is to conform to section "g" of the Ontario Building Code (latest edition). - Contractor shall check and verify all notes and dimensions. - Do not scale drawings. - Owner / contractor / designer is responsible to re-claim and destroy all previous and unrevised copies of the drawing. - These drawings are the property of Gregory Designs and/or its clients only. - Building permits to be obtained prior to commencing construction.	I review and take responsibility for the design work on behalf of a firm registered under subsector 3.2.4 of Division C. of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual B.C.I.N. - 258252 Firm B.C.I.N. - 30506 Russ Gregory
--	---

[illegible]

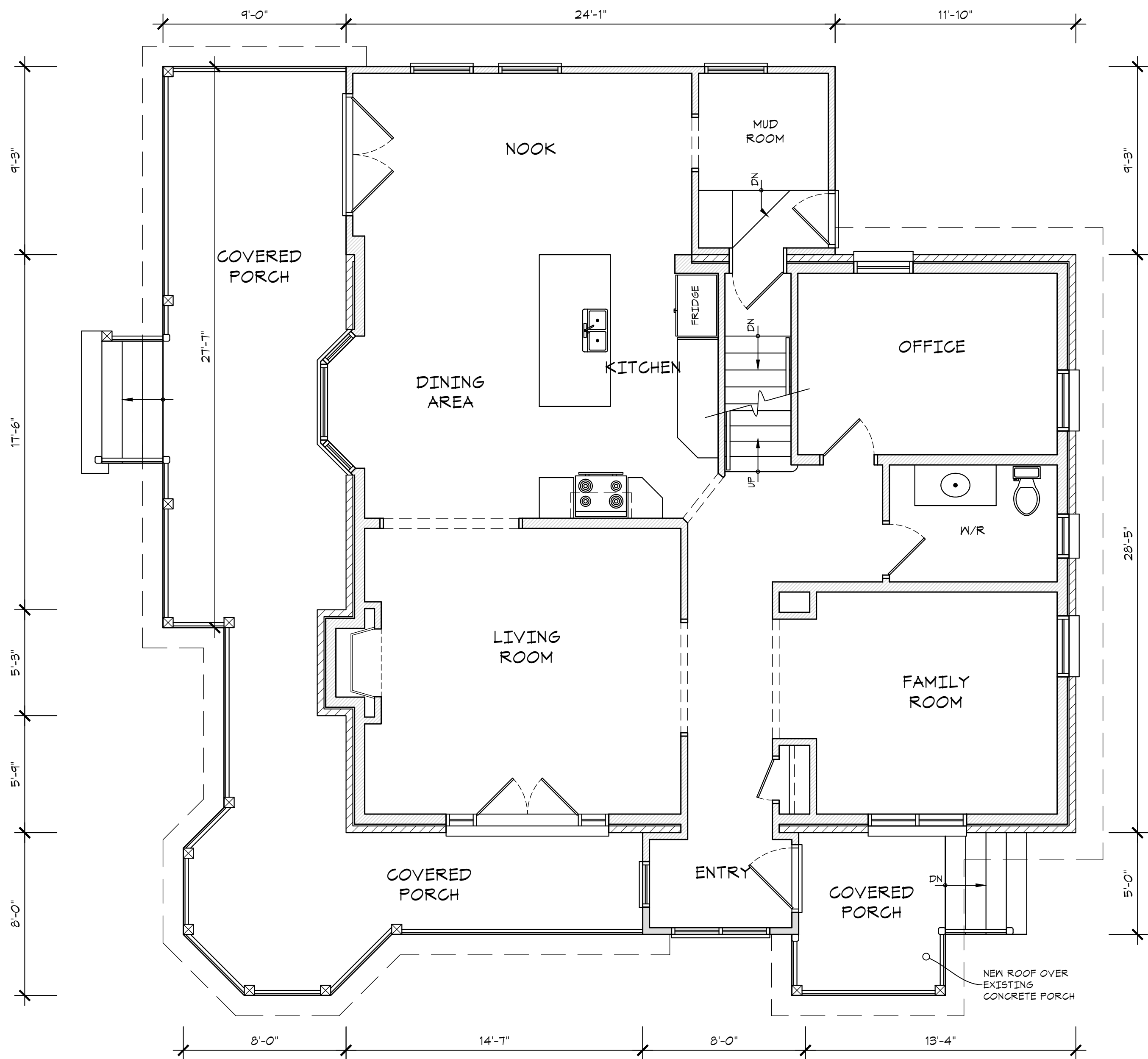
PROPOSED ADDITION
117 ROBINSON STREET
CITY OF MARKHAM

48 George Street
Markham, Ontario
L3P 2R7
416-520-0978
shane@gregorydesigngroup.net



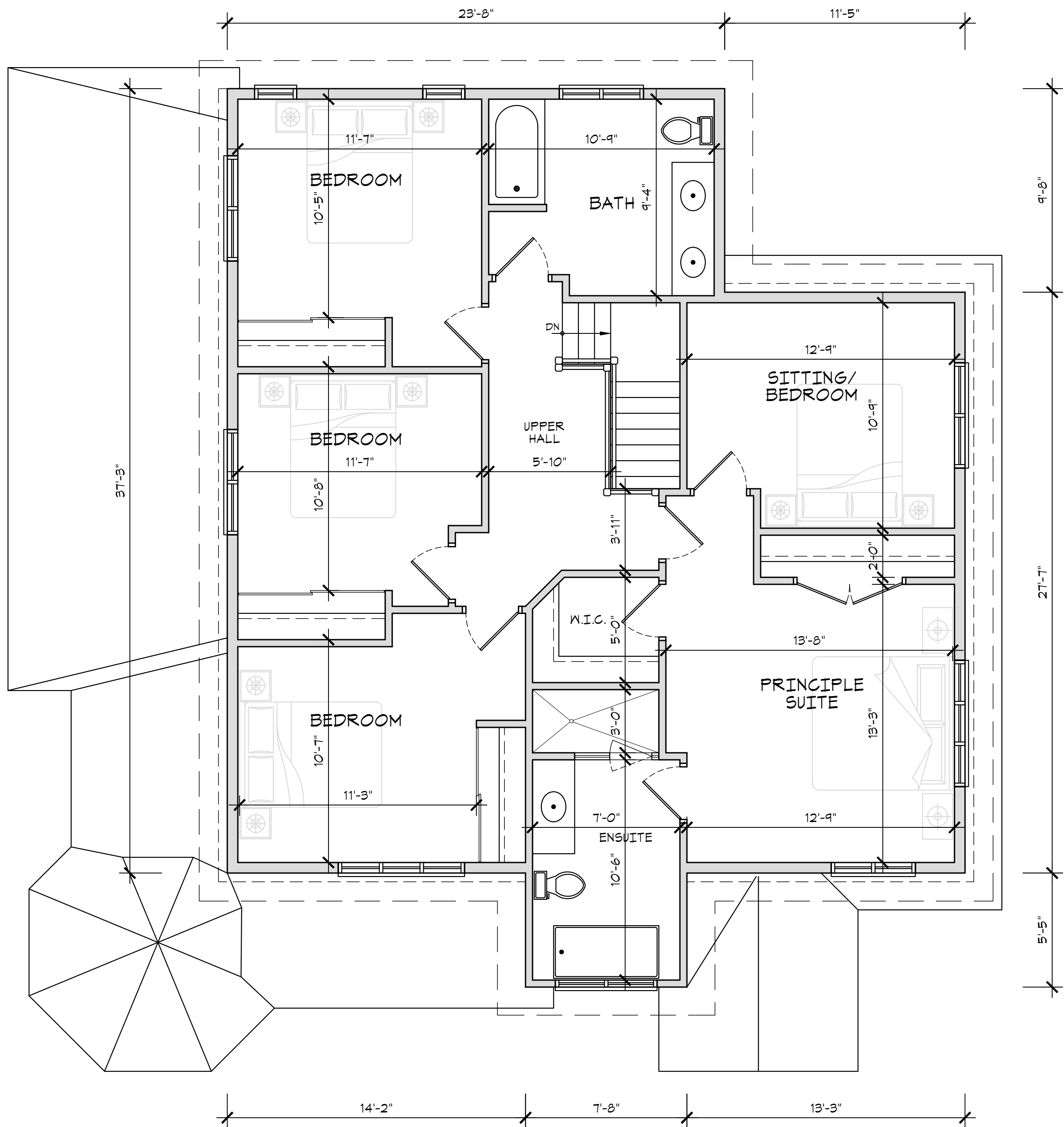
DATE	01/07/25
SCALE	1/4"=1'-0"
PROJECT NUMBER	24-41
DRAWN BY	S.Gregory

1. 1. A



GROUND FLOOR PLAN  - EXISTING WALLS

PROPOSED LAYOUT
FLOOR AREA = 1,281 sq.ft. (119.00 sq.m.)
BUILDING AREA = 1,782 sq.ft. (165.55 sq.m.)



SECOND FLOOR PLAN  - NEW WALLS

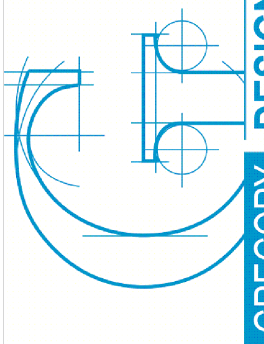
PROPOSED LAYOUT
FLOOR AREA = 1,236 sq.ft. (114.82 sq.m.)

SHEET NUMBER

A2.1

DATE	11/25/24
SCALE	1/4"=1'-0"
PROJECT NUMBER	24-41
DRAWN BY	S.Gregory

PROPOSED ADDITION
117 ROBINSON STREET
CITY OF MARKHAM

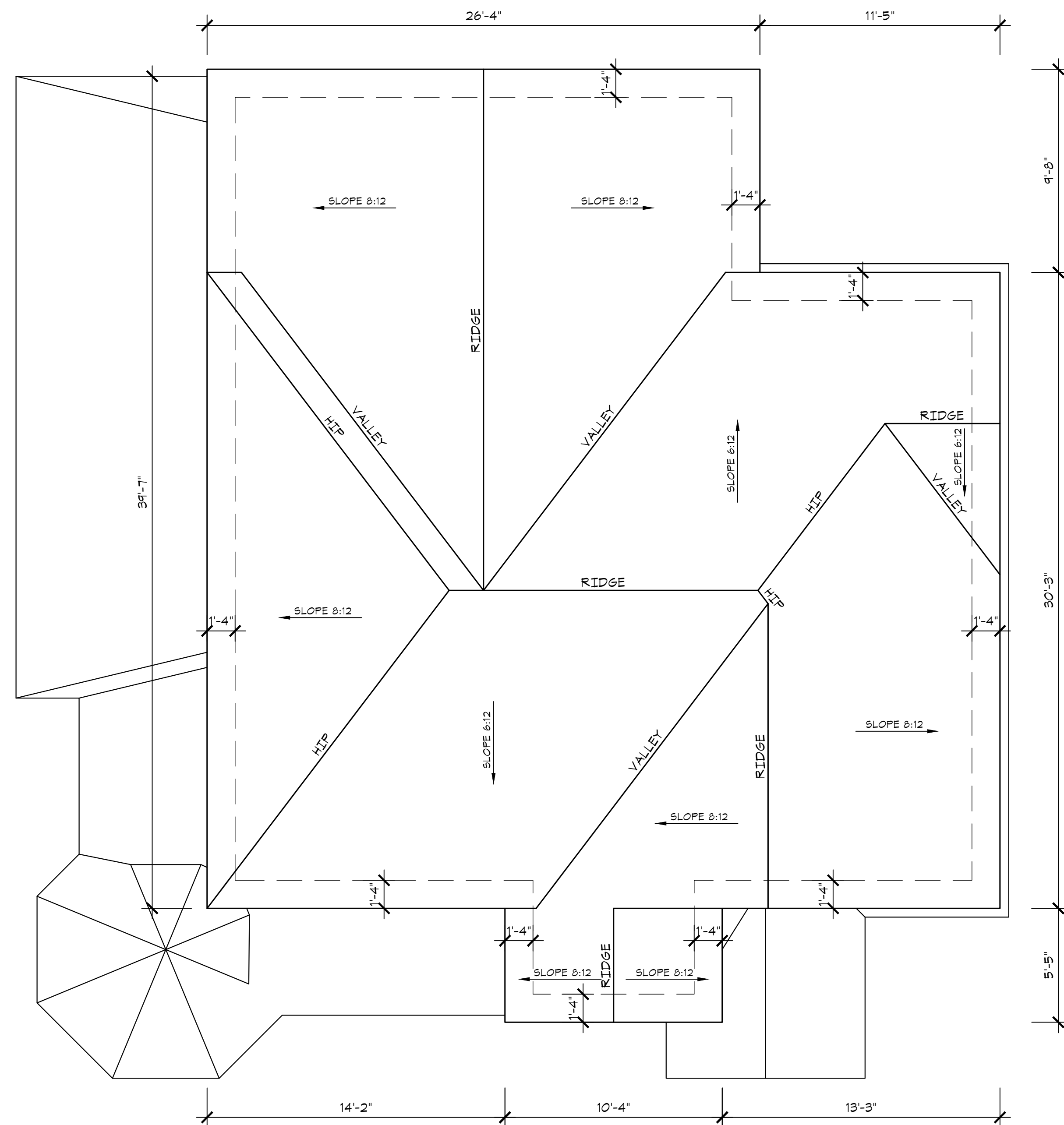


48 George Street
Markham, Ontario
L3P 2R7
416-520-0978
shane@gregorydesigngroup.net

REVISIONS AND DATA	DATE

- All construction is to conform to section "9" of the Ontario Building Code (latest edition).
- Contractor shall check and verify all notes and dimensions.
- Do not scale drawings.
- Owner / contractor / designer is responsible to re-claim and destroy all drawings and documents after the project is completed.
- These drawings are the property of Gregory Designs and/or its clients only.
- Building permits to be obtained prior to commencing construction.

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C. of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual B.C.I.N. - 265205
Firm B.C.I.N. - 30506
Russ Gregory



ROOF PLAN

PROPOSED LAYOUT

SHEET NUMBERS

2.
2.
~~4~~

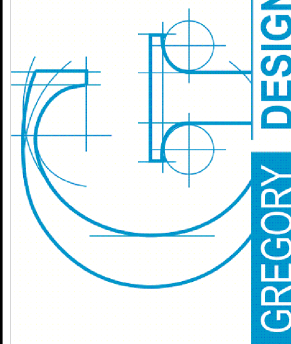
DATE 11/25/24

SCALE
1/4"=1'-0"

PROJECT NUMBER
24-41

DRAWN BY
S. Gregory

PROPOSED ADDITION
117 ROBINSON STREET
CITY OF MARKHAM



48 George Street
Markham, Ontario
L3P 2R7
416-520-0978
shane@gregorydesigngroup.net

- All construction is to conform to section "9" of the Ontario Building Code (latest edition).
Contractor shall check and verify all notes and dimensions.
Do not scale drawings.
Owner / contractor / designer is responsible to re-claim and destroy all previous and un-revised copies of this drawing.
These drawings are the property of Gregory Designs and/or its clients only.
Building permits to be obtained prior to commencing construction.

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C, of the Building Code, I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual B.C.I.N. - 25825
Firm B.C.I.N. - 30506
Russ Gregory



FRONT (EAST) ELEVATION



RIGHT SIDE (NORTH) ELEVATION

SHEET NUMBER

A3.1

DATE

11/25/24

SCALE

1/4"=1'-0"

PROJECT NUMBER

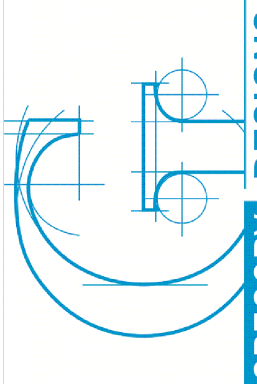
24-41

DRAWN BY

S.Gregory

PROPOSED ADDITION
117 ROBINSON STREET
CITY OF MARKHAM

48 George Street
Markham, Ontario
L3P 2R7
416-520-0978
shane@gregorydesigngroup.net



- All construction is to conform to section "g" of the Ontario Building Code (latest edition).
- Contractor shall check and verify all notes and dimensions.
- Do not scale drawings.
- Owner / contractor / designer is responsible to re-claim and destroy all drawings after the project is completed.
- These drawings are the property of Gregory Designs and/or its clients only.
- Building permits to be obtained prior to commencing construction.

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C. of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual B.C.I.N. - 25825
Firm B.C.I.N. - 30506
Russ Gregory



REAR (SOUTH) ELEVATION



LEFT SIDE (WEST) ELEVATION

SHEET NUMBER

A3.2

DATE 11/25/24

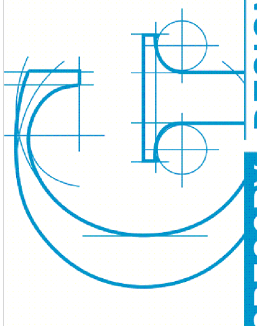
SCALE 1/4"=1'-0"

PROJECT NUMBER 24-41

DRAWN BY S.Gregory

PROPOSED ADDITION
117 ROBINSON STREET
CITY OF MARKHAM

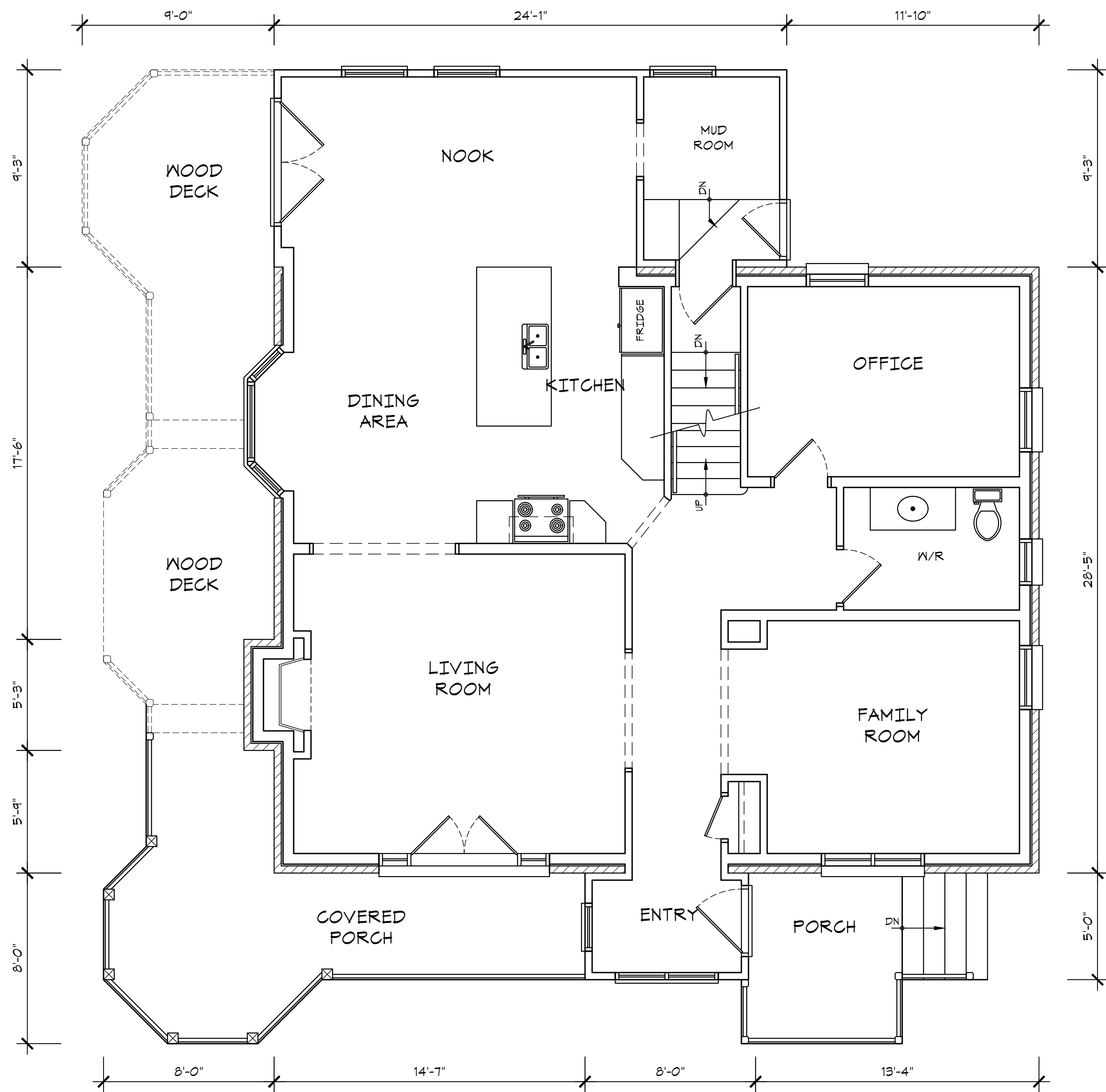
48 George Street
Markham, Ontario
L3P 2R7
416-520-0978
shane@gregorydesigngroup.net



GREGORY DESIGNS

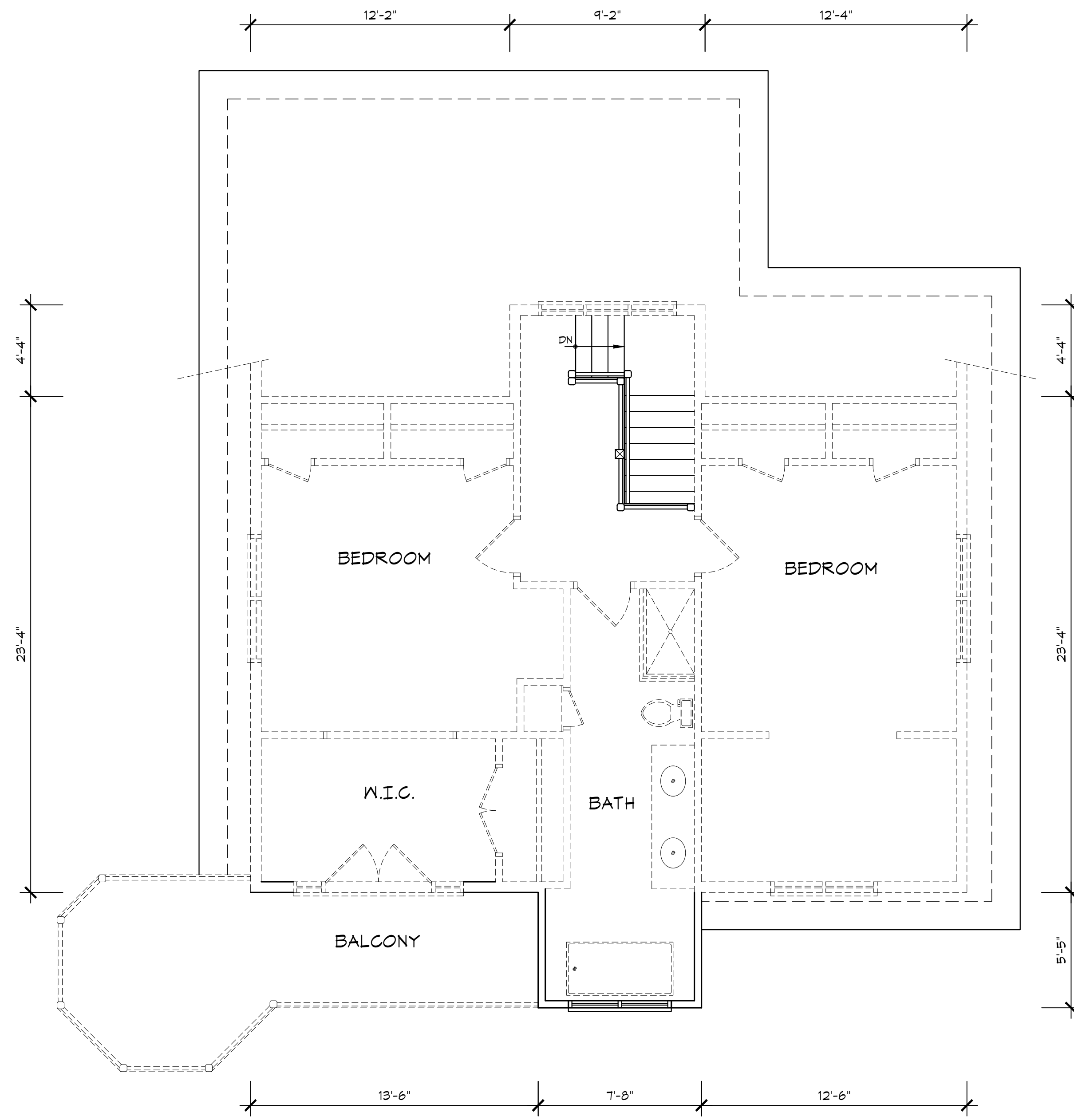
- All construction is to conform to section "g" of the Ontario Building Code (latest edition).
- Contractor shall check and verify all notes and dimensions.
- Do not scale drawings.
- Owner / contractor / designer is responsible to re-claim and destroy all drawings after the project is completed.
- These drawings are the property of Gregory Designs and/or its clients only.
- Building permits to be obtained prior to commencing construction.

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C. of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Firm B.C.I.N. - 25525
Firm B.C.I.N. - 30506
Russ Gregory



GROUND FLOOR PLAN

EXISTING LAYOUT
FLOOR AREA = 1,281 sq.ft.
BUILDING AREA = 1,430 sq.ft.



SECOND FLOOR PLAN

EXISTING LAYOUT
FLOOR AREA = 864 sq.ft.

----- EXISTING WALLS/ITEMS
TO BE DEMOLISHED

SHEET NUMBER

A4.1

DATE
11/25/24

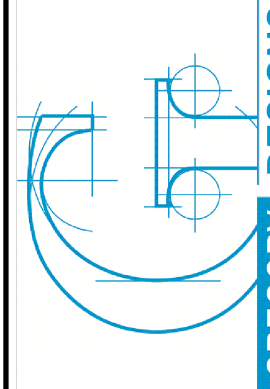
SCALE
1/4"=1'-0"

PROJECT NUMBER
24-41

DRAWN BY
S.Gregory

PROPOSED ADDITION
117 ROBINSON STREET
CITY OF MARKHAM

48 George Street
Markham, Ontario
L3P 2R7
416-520-0978
shane@gregorydesigngroup.net



REVISIONS AND DATA

DATE

- All construction is to conform to section "9" of the Ontario Building Code (latest edition).
- Contractor shall check and verify all notes and dimensions.
- Do not scale drawings.
- Owner / contractor / designer is responsible to re-claim and destroy all drawings and documents once the project is completed.
- These drawings are the property of Gregory Designs and/or its clients only.
- Building permits to be obtained prior to commencing construction.

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4 of Division C. of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual B.C.I.N. - 258205
Firm B.C.I.N. - 30506
Russ Gregory