



## MEMORANDUM



**TO:** Heritage Markham Committee

**FROM:** Peter Wokral, Senior Heritage Planner

**DATE:** April 9, 2025

**SUBJECT:** Committee of Adjustment Variance Application  
293 Main Street North, Markham Village Heritage Conservation District  
Proposed 2-Storey Rear Addition and Sunroom  
MNV 24 195830, A/125/24

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**Property/Building Description:** New 2-storey dwelling constructed in 2014

**Use:** Residential

**Heritage Status:** Designated under Part V of the Ontario Heritage Act

### **Application/Proposal**

- The owners of the property wish to construct a 2-storey addition with a 2<sup>nd</sup> floor sunroom at the rear of the existing dwelling which requires the approval of 5 variances in order to be constructed.
- The first floor of the addition would provide additional living space and a parking space.

### **Background**

- The variances required to permit the construction of the proposed addition are as follows:
  - A minimum side yard setback of 3.54 ft. whereas the By-law requires a minimum side yard setback of 4 ft.;
  - A maximum lot coverage of 44.4%, whereas the By-law permits a maximum lot coverage of 35%;
  - A maximum building depth of 25.18m, whereas the By-law permit a maximum building depth of 16.8m;
  - A maximum net floor area ratio of 65.07%, whereas the By-law permits a maximum net floor area ratio of 45%;
  - A deck to be located on the second floor, whereas the By-law only permits s deck to be below the level of the first floor.
- The applicant also owns the properties immediately adjacent to 293 Main Street North, at 289 and 295 Main Street North

### **Staff Comment**

- Heritage Planning staff is satisfied that the proposed addition generally complies with the policies and guidelines contained in the Markham Village Heritage Conservation District Plan as they apply to additions to new buildings, except for the proposed glass railing on the balcony
- Heritage Staff do not believe that that approval of the variances will negatively impact the historic character of the District (please see attached evaluation).
- Staff will work with the owner during the Major Heritage Permit application process to address any bird friendly guidelines related to the use of glass on residential dwellings.

### **Suggested Recommendation for Heritage Markham**

THAT Heritage Markham has no objection to the requested variances from a heritage perspective to permit the construction of the proposed rear addition and sunroom at 293 Main Street North and delegates review of the future Major Heritage Permit application to the Heritage Section Staff, provided the proposed glass railing of the rear balcony is revised to a traditional wood or simple metal railing.

Attachments.

Location Map

Google Streetview of the Existing Dwelling

Proposed Site Plan

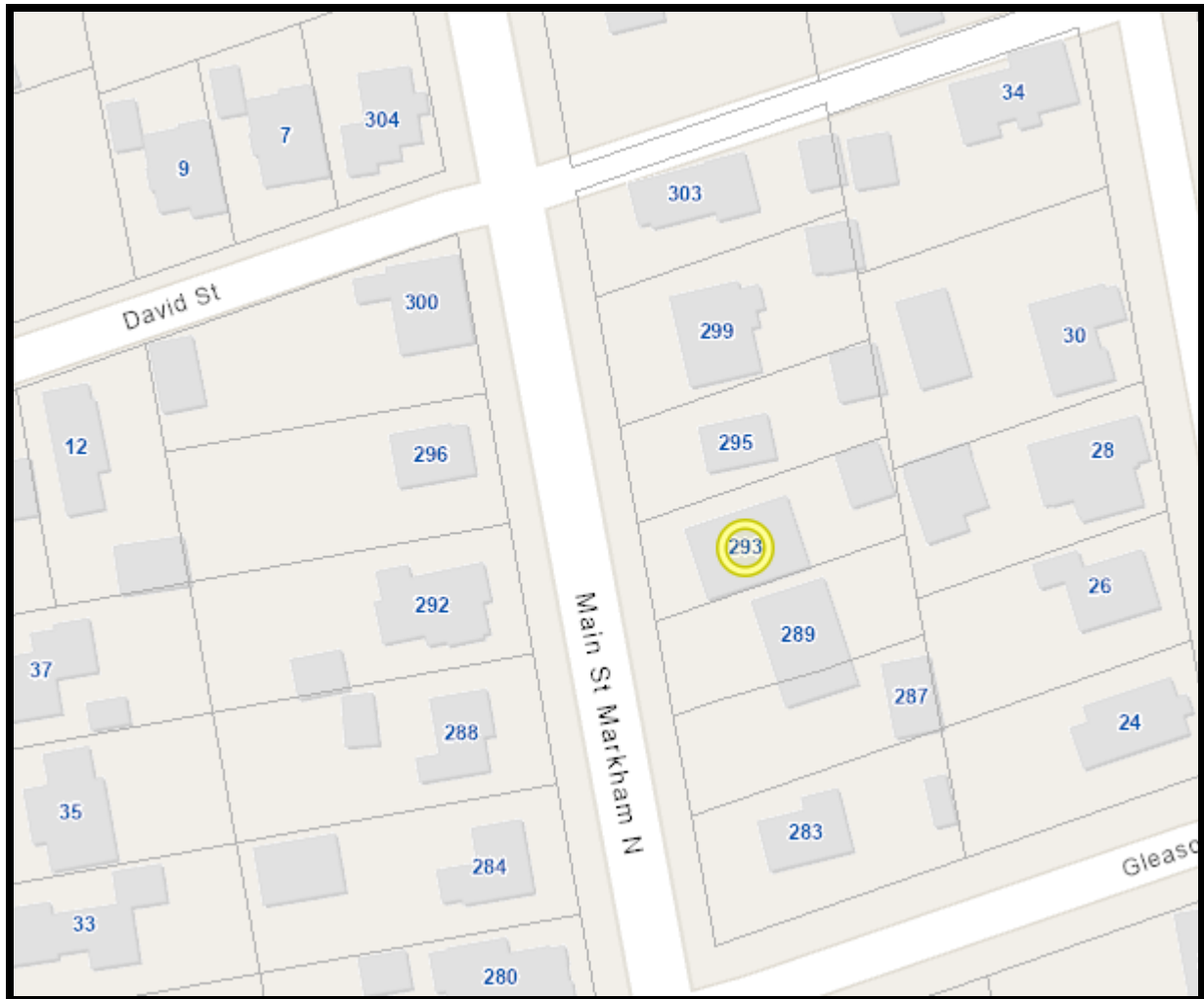
Proposed Floor Plans

Proposed Elevations

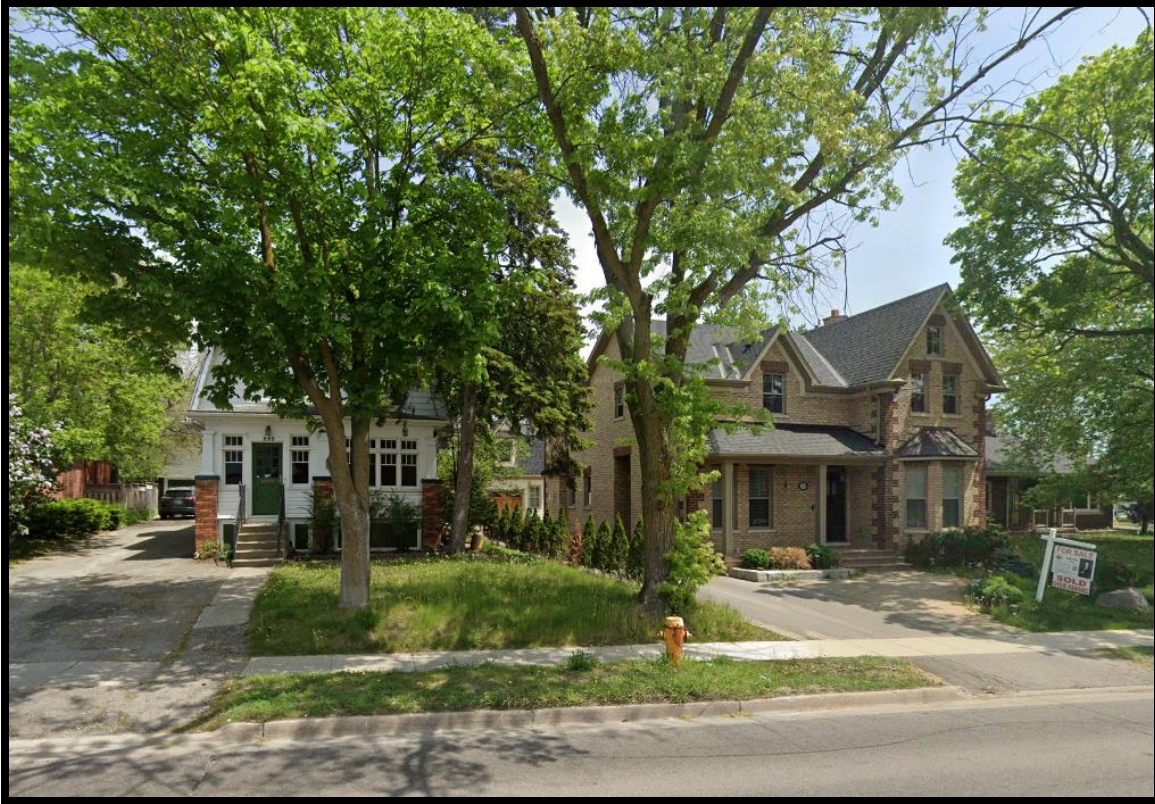
Evaluation of Addition with District Plan

File: 293 Main St. N.

## Location Map



## Google Streetview of the Existing Dwelling



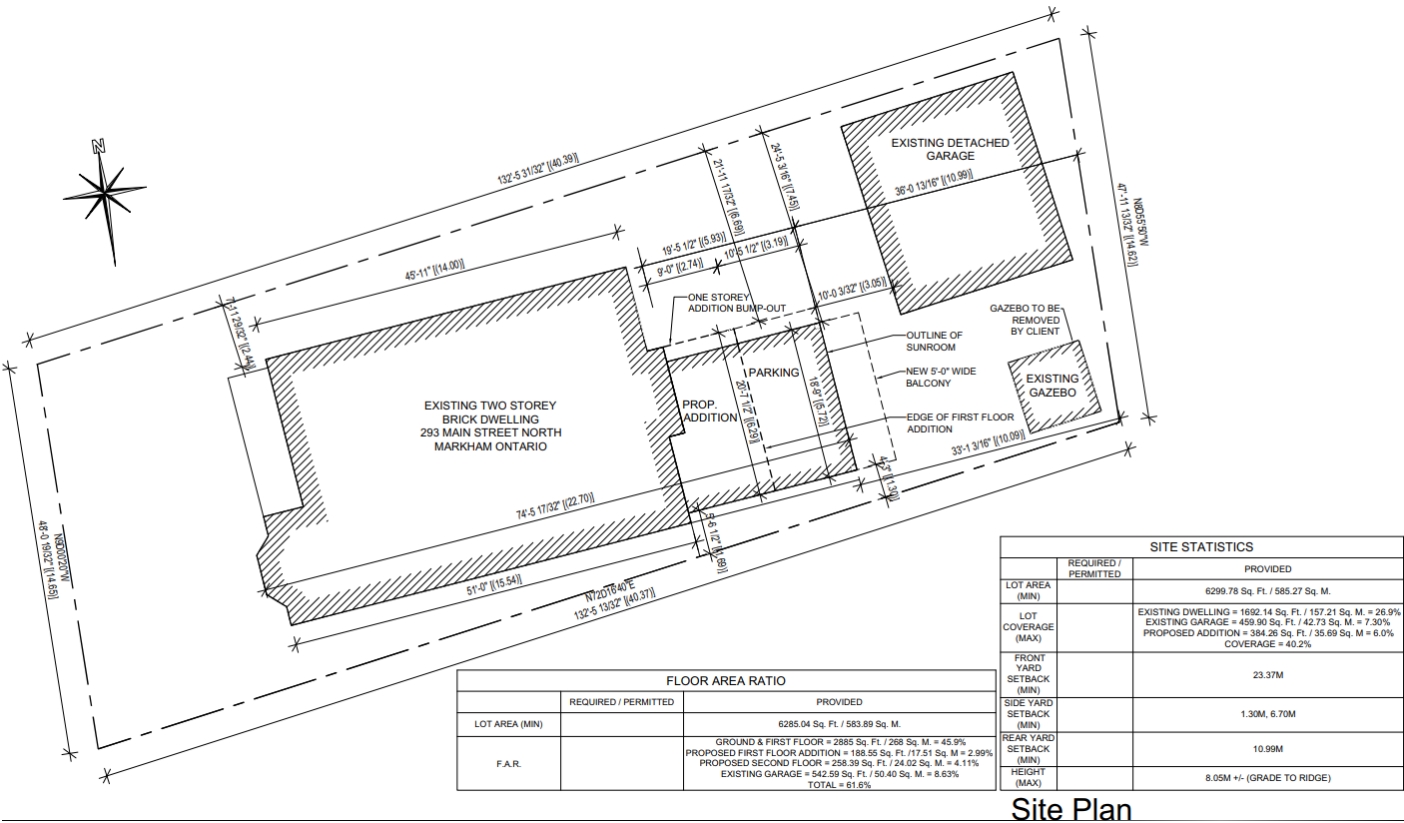
Looking south east



Looking northeast

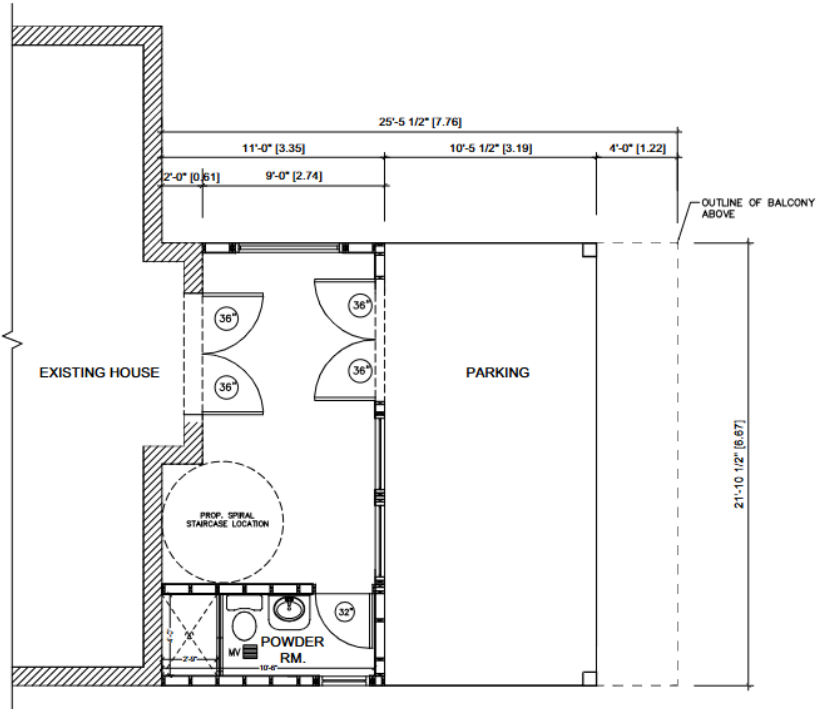


Proposed Site Plan

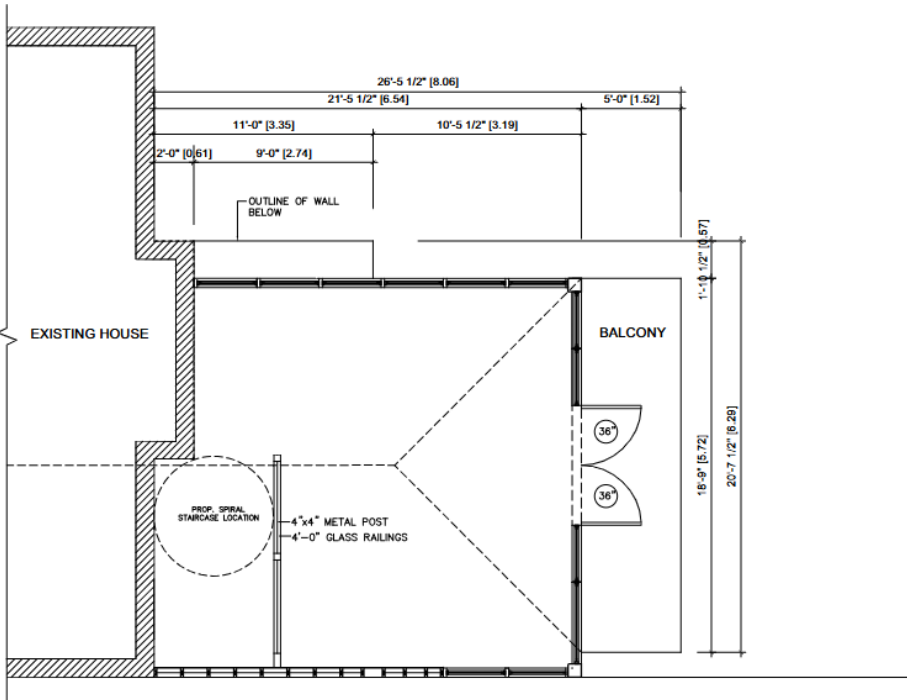


Site Plan

# Proposed Floor Plans



First Floor Plan Addition



Second Floor Plan Addition

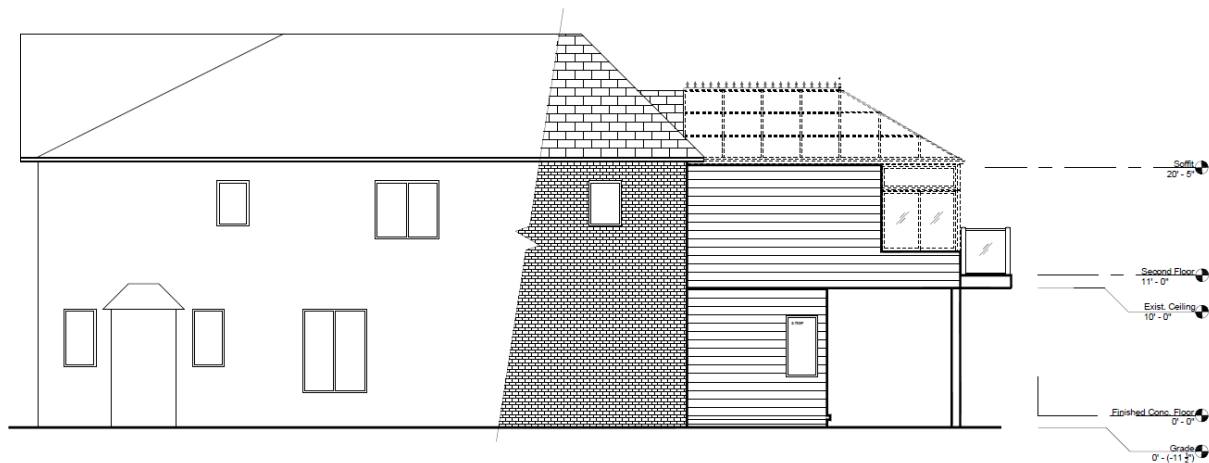
# Proposed Elevations



North Elevation



East Elevation



South Elevation

**Markham Village Heritage Conservation District**  
**New Residential Infill**

\* Markham Village Heritage Conservation District Plan should be consulted for specific wording, if necessary

Address: 293 Main Street North, Markham Village Heritage Conservation District

<b>Plan Policy or Guideline</b>	<b>Specific Application Comment</b>
<b>3.1 Heritage Approach</b> a) <u>Restoration</u> – care needed to ensure that the reproduction of an entire building is typical of the period without pretending to be original. b) <u>Complementary by Approximation</u> - understanding overall designs, patterns, urban form with reference to heritage buildings c) <u>Modern Complementary</u> - more modern approach for architectural style – maintain scale, massing, proportions of heritage buildings	Proposed addition is considered to be Complementary by Approximation as it uses the same roof type and resembles a 19 <sup>th</sup> century glass conservatory.
<b>4.2 Residential Building Guidelines</b> - approach will differ according to sub-area, and adjacent buildings characteristics - assess each situation on individual basis	
<b>4.2.1 Residential Proportions/Height</b> - be compatible in terms of height, massing and proportions with adjacent heritage buildings - size of new structures –neither dominate adjacent heritage buildings nor be diminutive.	The proposed addition is lower than the existing house and utilizes the same hipped roof of the main house. Its location is not highly visible from public realm and does not dominate or overwhelm adjacent structures.
<b>4.2.2 Residential Setbacks and Siting</b> - new infill not to obscure adjacent heritage buildings. - new infill and garages, fences etc to correspond and complements adjacent buildings unless adjacent is con-conforming - garages, parking should be inconspicuous and separate from public face- rear and side yards.	The addition does not obscure adjacent heritage buildings, proposed new parking space is not visible from public realm and tucked under the second storey addition.
<b>3.6 Policies – New Buildings Policy</b> - not required to look like a restoration - judged on compatibility with adjacent bldgs. - in terms of massing, proportions and size	The proposed addition is compatible with adjacent buildings in terms of massing proportions and size.
<b>3.6 Roof Policy (New Construction)</b> <u>Roof shape</u> - complement dominant roof forms of adjacent buildings (gable roofs) <u>Materials</u> - asphalt, wood shingles	The hipped roof shape is the same as that of the existing house, and the use of the glass is not highly visible from the public realm.
<b>4.3.1 Roofs Guidelines</b> - complement established pattern of adjacent	



historical buildings – pitched gable in single or multiple forms - do not use: tile, plastic, other synthetics - roof vents, skylights away from public views	
<b>3.6 Window Policy (New Construction)</b> <u>Shape</u> – follow proportions of heritage type buildings – no picture windows	The proposed windows of the addition are compatible with the windows of the side elevations on the existing house.
<b>4.3.3 Window and Doors Guidelines</b> - no specific guidelines for new construction	
<b>3.6 Materials Policy (New Construction)</b> - brick masonry or wood siding - stucco or stone may be acceptable if it complements the surroundings	The proposed addition uses brick and stucco which are complementary to the brick of the existing house.
<b>4.3.2 Exterior Finish Guidelines</b> - materials and type of finish should complement heritage structures in district - wood cladding –horizontal clapboard or vertical board and batten as per historical methods	
<b>3.6 Colour Policy (New Construction)</b> -brick colour- red or yellow in harmony with other buildings - paint colour- appropriate to historical period of district	Paint colour has not yet been determined but will be reviewed and approved by the City.
<b>4.3.4 Paint and Colour Guidelines</b> - paint surfaces that are historically painted - do not strip wood or leave unpainted - do not paint brick surfaces -colour selection- compatible with surrounding heritage buildings and preferred colours for walls and trim are identified (for walls: historical white, beige, light grey, sandy yellow and terra cotta.	Paint colour has not yet been determined but will be reviewed and approved by the City.