



## MEMORANDUM



**TO:** Heritage Markham Committee

**FROM:** Evan Manning, Senior Heritage Planner

**DATE:** April 9, 2025

**SUBJECT:** **Major Heritage Permit Application**  
151 Main Street, Unionville (“Samuel Eakin House”)  
Proposed Enclosure of the Rear Porch

**FILE:** 25 111194 HE

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**Property/Building Description:** One-and-a-half storey former dwelling built c.1869, remodelled c.1923 as per municipal records

**Use:** Commercial

**Heritage Status:** 151 Main Street North is designated under Part V of the *Ontario Heritage Act* as part of the Unionville Heritage Conservation District (the “UHCD”) and is categorised as a Class ‘A’ building within the UHCD Plan.

### **Application/Proposal**

- The City has received a Major Heritage Permit (HE) application seeking permission to enclose the existing rear porch at 151 Main Street (the “Subject Property” or the “Property”) to create approximately 9.1m<sup>2</sup> (98sq.ft) of additional indoor space. The porch is located at the southeast corner of the heritage building.
- The Subject Property contains a former brick dwelling fronting Main Street with a board-and-batten rear addition. The Property was converted to commercial use in the 1980s.
- As per the applicant, relief from the zoning by-law is not required.

### **Legislative Context**

#### *Ontario Heritage Act*

- As per Section 42(4) of the *Ontario Heritage Act*, Council (or its delegate) must approve a heritage permit, with or without conditions, 90 days from the date the municipality serves notice to the applicant of receipt of the submission. While Heritage Section staff (“Staff”) can approve a Major HE permit via delegated authority, only Council can deny a permit;
- Staff served notice to the applicant on March 24, 2025, resulting in a decision deadline of June 22, 2025.

**Staff Comment**

- Staff support the Major HE application as the cladding of the proposed enclosure will match that of the existing rear addition and will have a negligible visual impact on the heritage resource as viewed from Main Street.

**Suggested Recommendation for Heritage Markham**

THAT Heritage Markham has no objection from a heritage perspective to the proposed enclosure of the rear porch as detailed in the Major Heritage Permit application submitted for 151 Main Street.

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**ATTACHMENTS:**

Appendix 'A'	Images of the Subject Property and Location Map
Appendix 'B'	Drawings

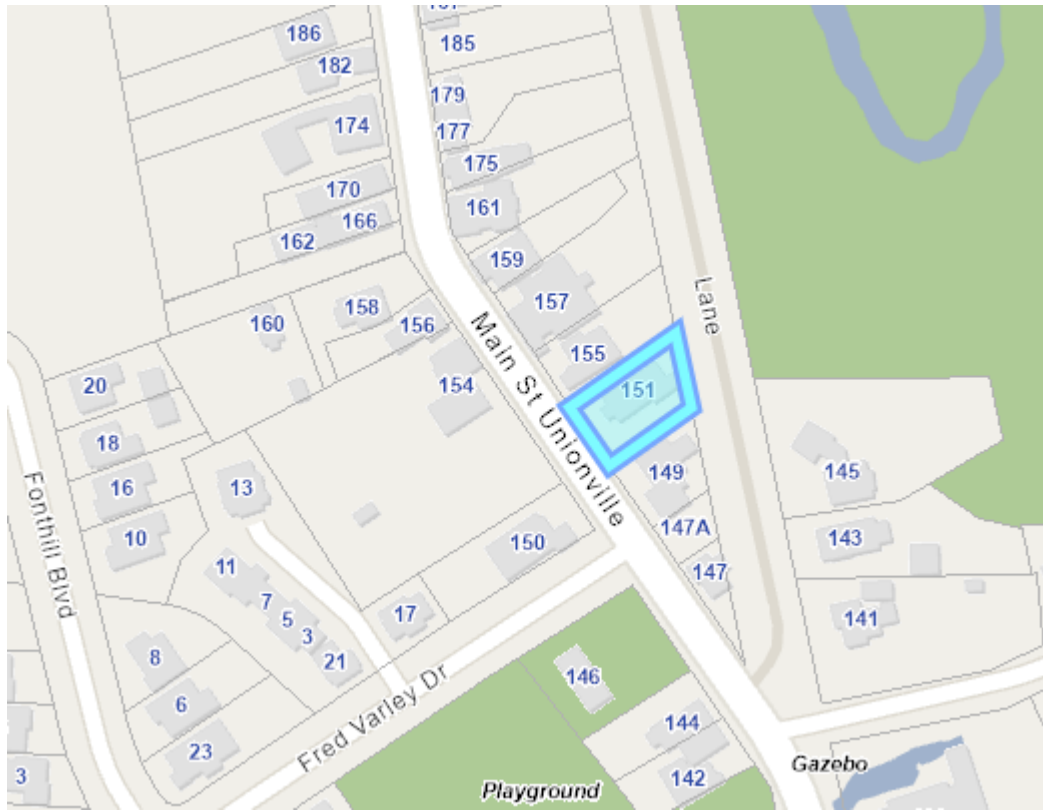
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## Appendix 'A'

### *Images of the Subject Property and Location Map*



*The primary (west) and south elevation [above] and the primary and north elevation [below] of the former dwelling on the Subject Property (Source: Google)*



*The Subject Property (outlined in blue) (Source: City of Markham)*

**Appendix 'B'**  
*Drawings*



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Drawn by	<b>Author</b>
Date	<b>2023-11-16</b>
Scale	
Project Number	<b>23015</b>
DRAWING NAME	
<b>COVER</b>	
SHEET NUMBER	
<b>A-0.1</b>	



## CITY OF MARKHAM ePLAN

## Owner



## PRELIMINARY DESIGN

Drawn by	Author
Date	2023-11-16
Scale	$1/4" = 1'-0"$
Project Number	23015
DRAWING NAME	
GENERAL NOTES	
SHEET NUMBER	
A-1.1	

- Every roof space above an insulated ceiling shall be ventilated with unobstructed openings equal to not less than 1/300 of insulated area
- Insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/150 of insulated area
- Roof vents shall be uniformly distributed and designed to prevent the entry of rain, snow or insects
- Unheated crawl spaces shall be provided with 1.1 ft<sup>2</sup> of ventilation for each 538 ft<sup>2</sup>
- Minimum natural ventilation areas, where mechanical ventilation is not provided, are:
  - Bathrooms: 0.97 ft<sup>2</sup>
  - Other rooms: 3 ft<sup>2</sup>
  - Unfinished basement: 0.2% of floor area

- Every floor level containing a bedroom and not served by an exterior door shall contain at least 1 window having an unobstructed open area of 3.8 ft<sup>2</sup> and no dimension less than 15", which is openable from the inside without tools
- Exterior house doors and windows within from grade shall be constructed to resist forced entry. Doors shall have a deadbolt lock.
- The principal entry door shall have either a door viewer, transparent glazing or a sidelight

- No windows or other unprotected openings are permitted in exterior walls less than 3'-11" from property lines
- 5/8" fire rated drywall shall be installed on the inside face of attached garage exterior walls and gable ends of roofs which are less than 3'-11" from property lines
- Non-combustible cladding shall be installed on all exterior walls less than 23 5/8" from property lines

- When ceramic tile applied to a mortar bed with adhesive, the bed shall be a minimum of 1/2" thick & reinforced with galvanized diamond mesh lath, applied over polyethylene on subflooring on joists at no more than 16" o.c. with at least 2 rows cross bridging

- Access hatch minimum 19 3/4" x 2'-4" to be provided to every crawl space and every roof space which is 108 ft<sup>2</sup> or more in area and more than 23 5/8" in height

- The walls and ceiling of an attached garage shall be constructed and sealed so as to provide an effective barrier to exhaust fumes
- All plumbing and other penetrations through the walls and ceiling shall be caulked
- Doors between the dwelling and attached garage may not open into a bedroom and shall be weatherstripped and have a self-closer

- At least one smoke alarm shall be installed on or near the ceiling on each floor and basement level 2'-11" or more above an adjacent level
- Smoke alarms shall be interconnected and located such that one is within 16'-5" of every bedroom door and no more than 49'-3" travel distance from any point on a floor
- A carbon monoxide detector shall be installed on or near the ceiling in every room containing a solid fuel burning fireplace or stove

- Maximum Rise 180 mm 180 mm
- Minimum Run 280 mm 280 mm
- Minimum Tread 280 mm 280 mm
- Minimum Head Room 1950 mm 1950 mm
- Minimum Width 900 mm 900 mm
- Curved stairs shall have a min. run of 5 7/8" at any point and a minimum average run of 7 7/8"
- Winders which converge to a point in stairs must turn through an angle of no more than 90°, with no less than 30° or more than 45° per tread. Sets of winders must be separated by 3'-11" along the run of the stair
- A landing minimum 2'-11" in length is required at the top of any stair leading to the principal entrance to a dwelling, and other entrances with more than 3 risers
- Exterior concrete stairs with more than 2 risers require foundations.

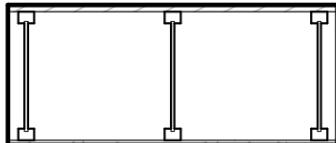
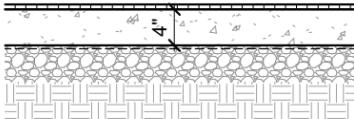
- A handrail is required for interior stairs containing more than 2 risers and exterior stairs containing more than 3 risers
- Guards are required around every accessible surface which is more than 23 5/8" above the adjacent level
- Interior and exterior guards min. 2'-11" high
- Exterior guards shall be 3'-6" high where height above adjacent surface exceeds 5'-11"
- Guards shall have no openings greater than 4", and no member between 4" and 2'-11" that will facilitate climbing
- The minimum grade of softwood dimension lumber for exterior posts, rails and joists shall be Northern Species No.2., pressure treated
- The minimum grade of softwood dimension lumber for exterior pickets shall be Northern Species, No.2. Picket grade, pressure treated
  - Wood for pickets shall be free of loose knots
- The minimum sizes of loadbearing elements of wood guards shall conform to the following table.

- Every dwelling requires a kitchen sink, lavatory, water closet, bathtub or shower stall and the installation or availability of laundry facilities
- A floor drain shall be installed in the basement, and connected to the sanitary sewer where gravity drainage is possible. In other cases, it shall be connected to a storm drain system, ditch or dry well

- An exterior light controlled by an interior switch is required at every entrance
- A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room, bathroom, vestibule, hallway, garage and carport. A switched receptacle may be provided instead of a light in bedrooms and living rooms
- Stairs shall be lighted, and except where serving an unfinished basement shall be controlled by a 3 way switch at the head and foot of the stairs
- Basements require a light for each 323 ft<sup>2</sup>, controlled by a switch at the head of the stairs

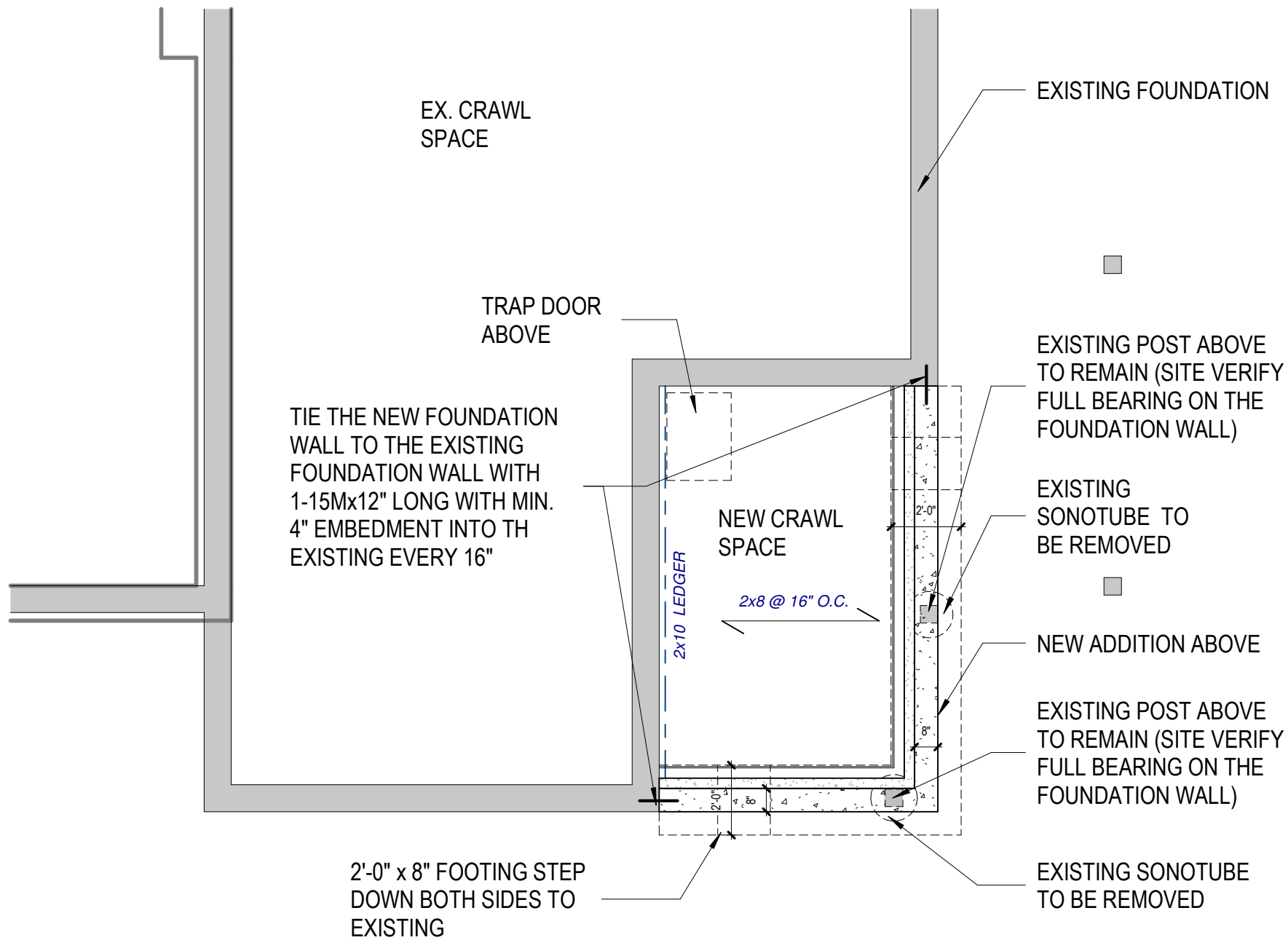
- A mechanical ventilation system is required with a total capacity at least equal to the sum of:
  - 10 cfm each for basement and master bedroom
  - 5 cfm for each other room
- A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such
- Supplemental exhaust shall be installed so that the total capacity of all kitchen, bathroom and other exhausts, less the principal exhaust, is not less than the total required capacity
- A Heat Recovery Ventilator may be employed in lieu of exhaust to provide ventilation. An HVR is required if any solid fuel burning appliances are installed
- Supply air intakes shall be located so as to avoid contamination from exhaust outlets

TAG	CONSTRUCTION	DESCRIPTION
<div data-bbox="1420 221 1507 249">W1</div>		<p><b>METAL PANEL WALL (NON-BEARING WALL TO EN-CLOSE THE PORCH)</b></p> <ul style="list-style-type: none"> <li>- PANEL MATCH EXISTING (REFER TO MANUFACTURER'S SPECS)</li> <li>- #15 BUILDING PAPER W/ LAPPED JOINTS OR TYVEK HOUSE WRAP AIR BARRIER</li> <li>- 1/2" EXTERIOR GRADE PLYWOOD SHEATHING</li> <li>- 2 X 6 WOOD STUD @16" O.C. MAX.</li> <li>- MIN. R22 FIBERGLASS BATT INSULATION</li> <li>- 6 MIL POLY VAPOUR BARRIER WITH TAPED JOINTS</li> <li>- 1/2" GYPSUM BOARD CAULKED AT FLOOR AND CEILING</li> </ul>

TAG	CONSTRUCTION	DESCRIPTION
F1		<b>TYPICAL FLOOR</b> <ul style="list-style-type: none"> <li>- FLOOR FINISH</li> <li>- 3/4" PLYWOOD TONGUE AND GROOVE SUBFLOOR, GLUED AND SCREWED</li> <li>- FLOOR JOIST - REFER TO PLAN DRAWINGS</li> </ul>
F2		<b>CONC. SLAB ON GRADE (CRAWL SPACE)</b> <ul style="list-style-type: none"> <li>- 4" CAST-IN-PLACE CONCRETE SLAB; 25Mpa @28 DAYS W/ 5% -8% AIR ENTRAINMENT</li> <li>- 10 MIL POLY VAPOUR BARRIER</li> <li>- 2" RIGID INSULATION ALONG PERIMETER, NOT LESS THAN 600MM, SB-12.3.1.1.7(5)</li> <li>- 4" GRAVEL OR CRUSHED STONE DRAINAGE COURSE</li> </ul>

TAG	CONSTRUCTION	DESCRIPTION
<div data-bbox="1420 1199 1507 1227">R1</div>	<div data-bbox="1529 1199 1728 1260"> <p>FLAT ROOF</p>  <p>DWELLING</p> </div>	<div data-bbox="1749 1199 2275 1288"> <p><b>FLAT ROOF (EXISTING STRUCTURE TO BE REMAIN)</b></p> <ul style="list-style-type: none"> <li>- EXISTING ROOF (WATERPROOFING MEMBRANE AND STRUCTURE TO BE REMAINED)</li> <li>- MIN. R31 CLOSED CELL HIGH DENSITY SPRAY FOAM INSULATION</li> <li>- 1/2" GYPSUM BOARD CEILING</li> </ul> </div>

TAG	CONSTRUCTION	
<div data-bbox="1420 1588 1507 1620">FW1</div>		<div data-bbox="1802 1588 2284 1620"> <b>8" INSULATED CONCRETE FOUNDATION WALL</b> </div> <div data-bbox="1802 1624 2284 1691"> <ul style="list-style-type: none"> <li>- FREE DRAINAGE FILL</li> <li>- DRAINAGE SHEET</li> <li>- WATERPROOFING MEMBRANE</li> <li>- 8" CAST-IN-PLACE CONCRETE WALL</li> <li>- SPRAY FOAM INSULATION (MIN. R20 CONTINUOUS)</li> <li>- 2 X 4 WOOD @16" O.C.</li> <li>- 1/2" GYPSUM WALL BOARD CAULKED AT FLOOR AND CEILING</li> </ul> </div>



① FOUNDATION (PARTIAL)  
1/4" = 1'-0"

CITY OF MARKHAM ePLAN

## REAR ADDITION

**151 MAIN STREET UNIONVILLE**

Owner



No. 8 Maple Lane  
Unionville, ON  
L3R 1R2  
Phone: (905) 479-9999  
Fax: (905) 479-9988



## PRELIMINARY DESIGN

[illegible]

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1 1ST FLOOR (PARIAL)  
1/4" = 1'-0"

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CITY OF MARKHAM ePLAN

## REAR ADDITION

151 MAIN STREET UNIONVILLE

Owner



No. 8 Maple Lane  
Unionville, ON  
L3R 1R2  
Phone: (905) 479 - 9992  
Fax: (905) 479 - 9985



## PRELIMINARY DESIGN

[illegible]

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Date	<b>2023-11-16</b>
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Project Number	<b>23015</b>
DRAWING NAME	
<b>FIRST FLOOR PLAN (PARTIAL)</b>	
SHEET NUMBER	
<b>A-2.1a</b>	

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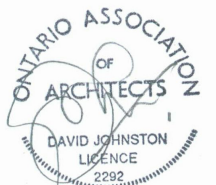
CITY OF MARKHAM ePLAN

151 MAIN STREET UNIONVILLE

Owner



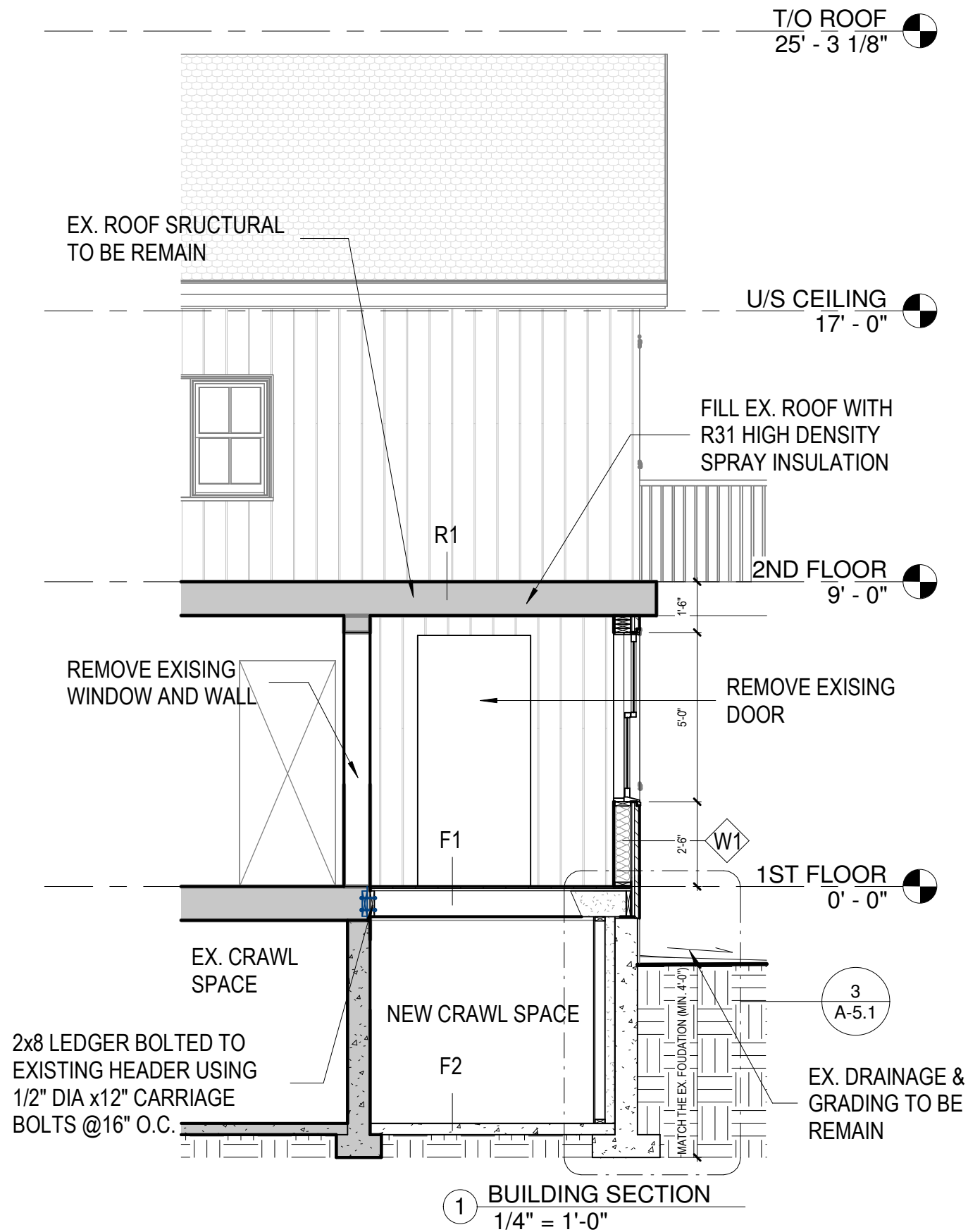
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## PRELIMINARY DESIGN

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CITY OF MARKHAM ePLAN

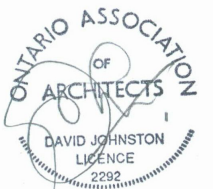
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Owner

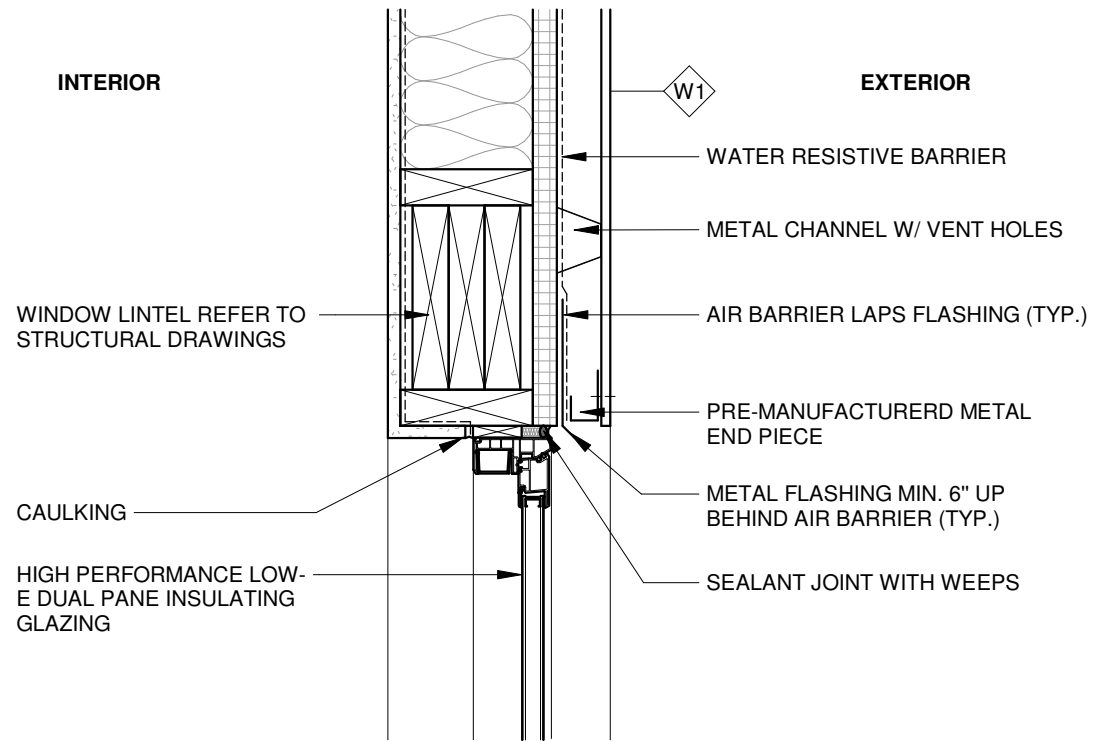


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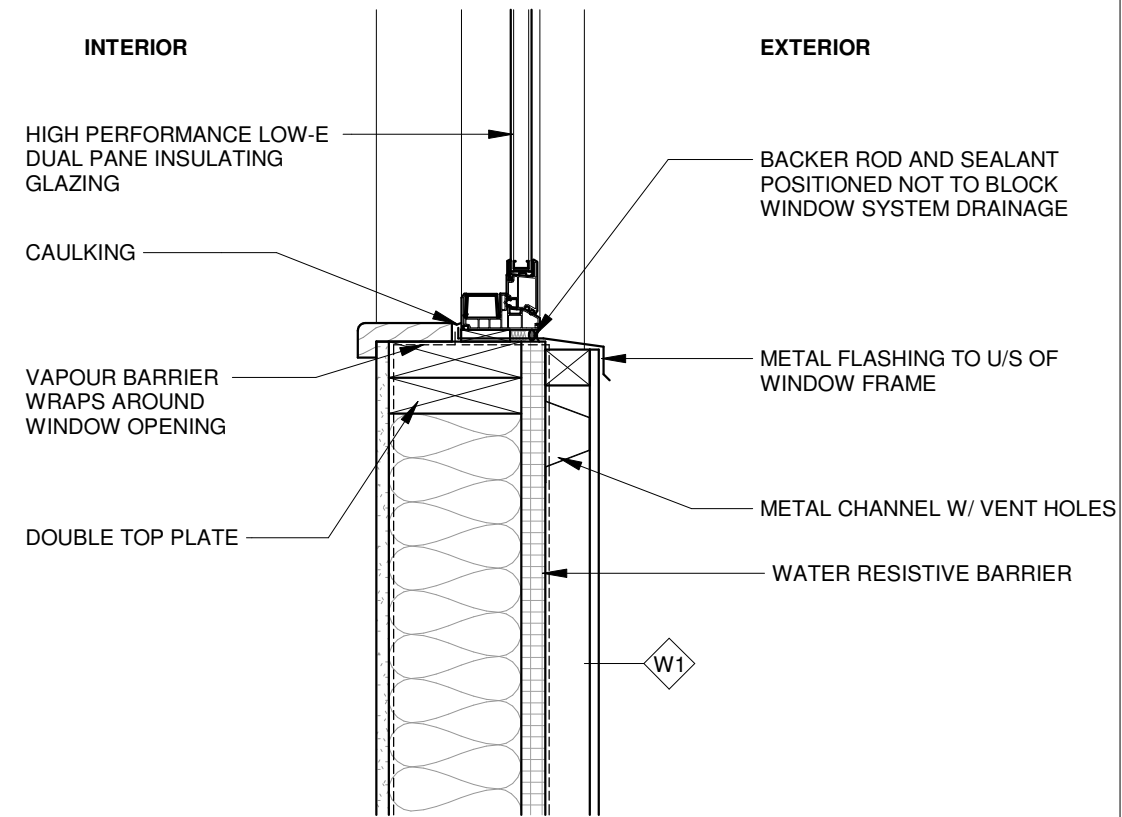


## PRELIMINARY DESIGN

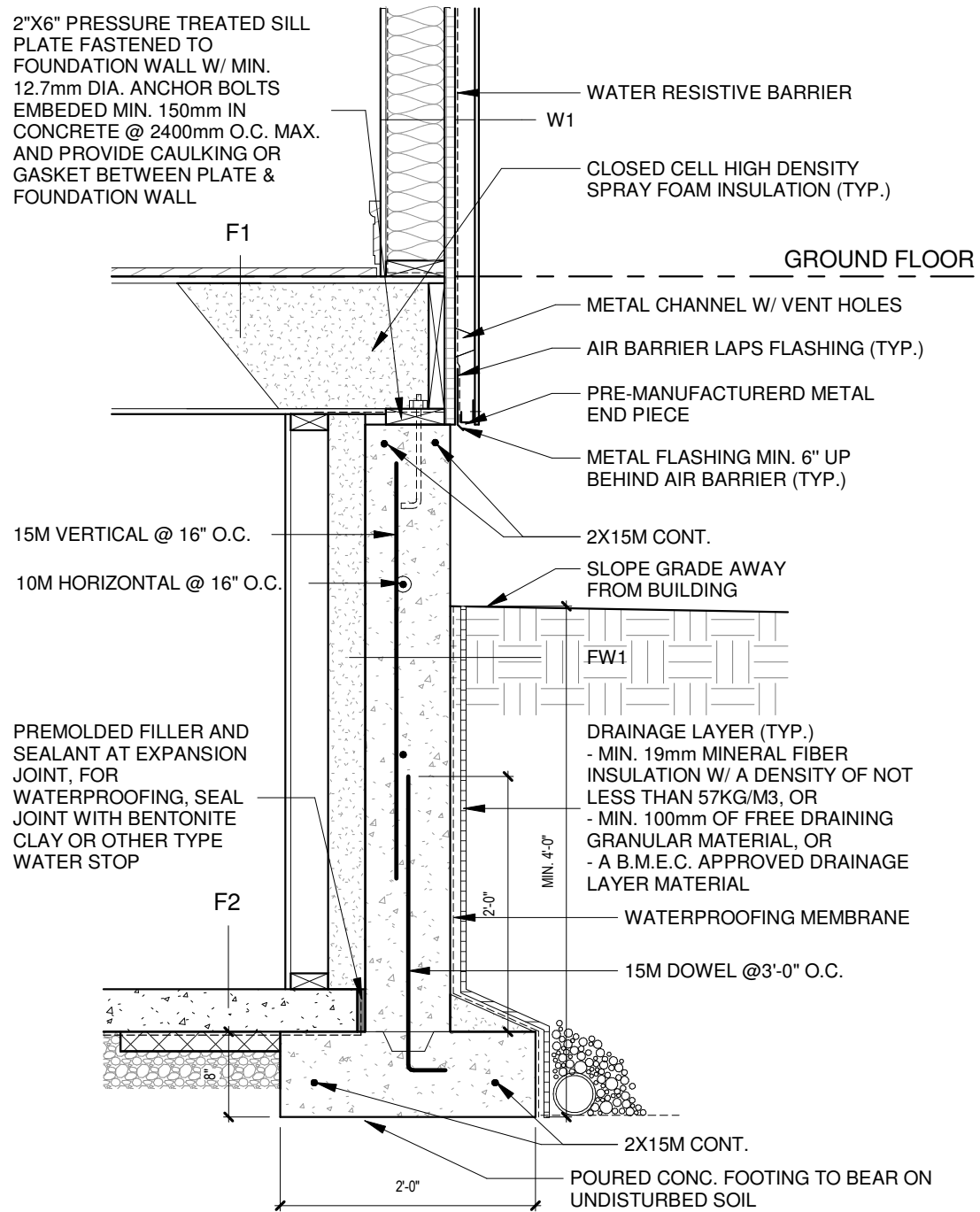
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1 TYP. WINDOW HEAD DETAIL  
1 1/2" = 1'-0"



② TYP. WINDOW SILL DETAIL  
1 1/2" = 1'-0"



3 TYP. FOUNDATION DETAIL  
3/4" = 1'-0"

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## PRELIMINARY DESIGN

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