

MEMORANDUM

RITA

TO: Heritage Markham Committee

FROM: Evan Manning, Senior Heritage Planner

DATE: April 9, 2025

SUBJECT: Major Heritage Permit Application

151 Main Street, Unionville ("Samuel Eakin House")

Proposed Enclosure of the Rear Porch

FILE: 25 111194 HE

Property/Building Description: One-and-a-half storey former dwelling built c.1869,

remodelled c.1923 as per municipal records

Use: Commercial

Heritage Status: 151 Main Street North is designated under Part V of the

Ontario Heritage Act as part of the Unionville Heritage Conservation District (the "UHCD") and is categorised as

a Class 'A' building within the UHCD Plan.

Application/Proposal

- The City has received a Major Heritage Permit (HE) application seeking permission to enclose the existing rear porch at 151 Main Street (the "Subject Property" or the "Property") to create approximately 9.1m² (98sq.ft) of additional indoor space. The porch is located at the southeast corner of the heritage building.
- The Subject Property contains a former brick dwelling fronting Main Street with a board-and-batten rear addition. The Property was converted to commercial use in the 1980s.
- As per the applicant, relief from the zoning by-law is not required.

Legislative Context

Ontario Heritage Act

- As per Section 42(4) of the Ontario Heritage Act, Council (or its delegate) must approve a heritage permit, with or without conditions, 90 days from the date the municipality serves notice to the applicant of receipt of the submission. While Heritage Section staff ("Staff") can approve a Major HE permit via delegated authority, only Council can deny a permit;
- Staff served notice to the applicant on March 24, 2025, resulting in a decision deadline of June 22, 2025.

Staff Comment

• Staff support the Major HE application as the cladding of the proposed enclosure will match that of the existing rear addition and will have a negligible visual impact on the heritage resource as viewed from Main Street.

Suggested Recommendation for Heritage Markham

THAT Heritage Markham has no objection from a heritage perspective to the proposed enclosure of the rear porch as detailed in the Major Heritage Permit application submitted for 151 Main Street.

ATTACHMENTS:

Appendix 'A' Images of the Subject Property and Location Map

Appendix 'B' Drawings

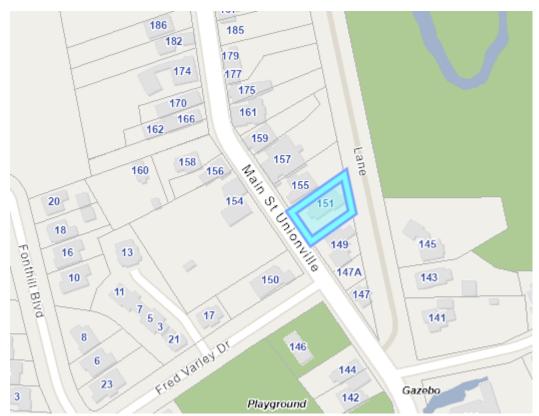
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Appendix 'A' *Images of the Subject Property and Location Map*





The primary (west) and south elevation [above] and the primary and north elevation [below] of the former dwelling on the Subject Property (Source: Google)



The Subject Property (outlined in blue) (Source: City of Markham)

Appendix 'B'

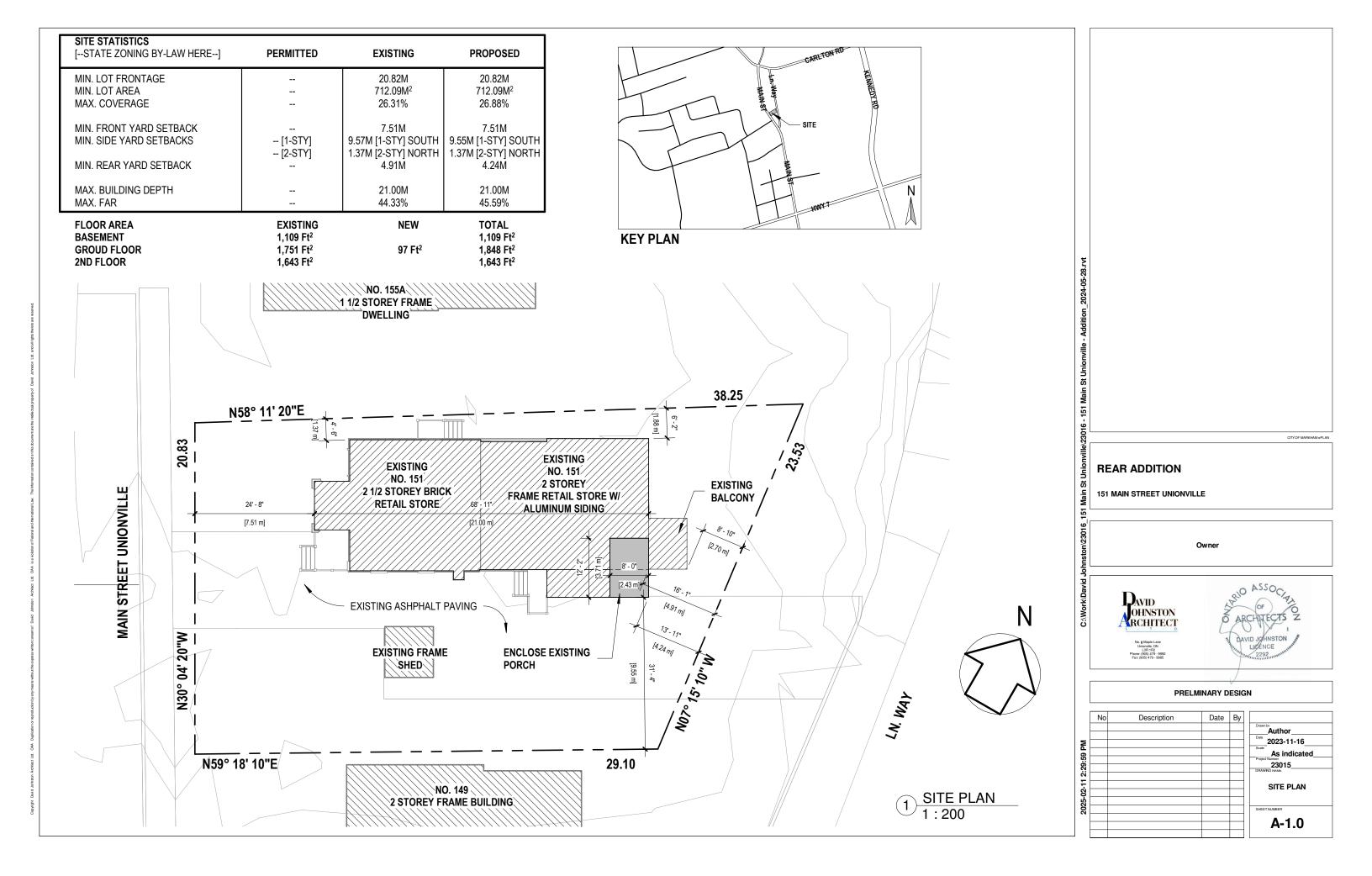
Drawings



REAR ADDITION 151 MAIN STREET, UNIONVILLE, ON **REAR ADDITION** 151 MAIN STREET UNIONVILLE Owner DAVID OHNSTON ARCHITECT

PRELMINARY DESIGN

Description	Date	Ву	
			Author
			2023-11-16
			Scale
			Project Number 23015
			DRAWING NAME
			COVER
			SHEET NUMBER
			A-0.1
			7 0.1



Excavation and Backfill

- Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities
- The topsoil and vegetable matter in unexcavated areas under a building shall be removed. The bottom of excavations for foundations shall be free of all organic material.
- If termites are known to exist, all stumps, roots and wood debris shall be removed to a minimum depth of 11 3/4" in excavatted areas under a building, and the clearance between untrated structual wood elements and the ground shall be no less than 17
- Backfill within 23 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in

Dampproofing and Drainage

- In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be dampproofed. Where hydrostatic pressure occurs, a waterproofing system is required
- Masonry foundation walls shall be parged with 1/4" of mortar coved over the footing prior to dampproofing
- 4" foundation drains shall be laid on level. undisturbed ground adjacent ot the footings at or below the top of the basement slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch dry well or sump
- · Window wells shall be drained to the footing
- Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building, and provisions shall be make to prevent soil erosion
- Concrete slabs in attached garages shall be sloped to drain to the exterior
- · The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not adversely affect adjacent properties.

Footings

- minimum 2200 psi poured concrete
- minimum 48" below finished grade
- Footings shall be founded on natural undistubed soil, rock or compacted granular fill with minimum bearing capacity of 1570 psf

Footing Size

Floors	Supporting	Supporting	Column			
Supported	Ext. Wall	Int. Wall	Area			
1	9 7/8"	9 7/8"	4.3 ft ²			
2	13 3/4"	13 3/4"	8.1 ft ²			
 Inforease footinfo/violeth by 2 5/81903/4 ach store 10/19 ft² 						

- brick veneer supported, and by 5 1/8" for each storey of masonry
- The projection of an unreinforced footing beyond the wall supported shall not be greater than its thickness

Step Footings

23 5/8" Max. for firm soils 15 3/4" Max. for sand or gravel Horizontal Run = 23 5/8" min.

Foundation Walls

- To be poured conrete, unit masonry of preserved wood (see drawings for type and thickness)
- · Dampproofing shall be a heavy coat of bituminous material
- · Foundation wall to extend minimim 5 7/8" above finished grade
- A drainage layer is required on the outside of a foundation wall where the interior insulation extends more than 2'-11" below exterior grade. A drainage layer shall consist of
- Min. 3/4" mineral fibre insulation with min. density of 3.6 lb/ft2
- Min. 4" of free drainage granular material,
- · An approved system which provides equivalent performance
- · Foundation walls shall be braced or have the floor joists installed before backfilling

Concrete Floor Slabs

- Garage, carport and exterior slabs and exterior steps shall be 4650psi concrete with 5-8% air entrainment
- Other slabs 3600psi concrete
- · Min. 3" thick, placed on a minimum of 4" of coarse, clean, granular material
- All fill other than coarse clean material placed beneath concrete slabs shall be comptaced to provide uniform support

Masonry Walls

- Where constructed of 3 1/2" brick, wall shall be bonded with header course every 6th course
- provided 2" solid masonry or continuous 1 1/2" plate under all roof and floor framing members
- . Masonry wall to be tied to each tier of joists with 1 9/16" x 3/16 corrosion resistant steel straps. keyed minimum 4" into masonry. When joists are parallel to wall, ties are to extend across at least 3 joists at 6"-7" o.c.
- · Inside back of wall to be parged and covered with No. 15 breather-type asphalt paper
- · For reduced foundation walls to allow a brick facing while maintaining lateral support, tie minimum 3 1/2" brick to minimum 3 1/2" back-up block with corrosion resistant ties at least 0.028in2 in cross sectional area, spaced 7 7/8" vertically and 2'-11" horizontally, with joints completely filled with mortar
- Masonry over openings shall be supported on corrosion resistant or prome painted steel lintels with a minimum of 5 7/8" end bearing

Masonry Veneer

- Minimum 2 3/4" thick if joints are not raked and 3 1/2" thick if joints are raked
- · Minimum 1" air space to sheathing
- Provide weep holes at 31 1/2" o.c. at the botton of the cavity and over doors and windows
- · Direct drainage through weep holes with 20 mil poly flashing extending minimum 5 7/8" up behind the sheathing paper
- Veneer ties minimum 0.030" thick x 7/8" wide corrosion resistant straps spaced at 23 5/8" vertically and 15 3/4" horizontally
- Fasten ties with corrosion resistant 0.125" diameter screws or spiral nails which penetrate at least 1-3/16" into studs

Wood Frame Construction

- All lumber shall be spruce-pine-fir No. 1&2, and shall be identified by a grade stamp Maximim moisture contect 19% at time of installation
- Wood framing members which are supported on concrete in direct contact with soil shall be separated

from the conrete with 6 mil polyethylene

- Walls

 Exterior walls shall consist of:
 - cladding sheathing paper lapped 4" at joints
 - 3/8" fibreboard or gypsum board or 1/4" plywood
- sheathing
- 2x6 studs at 16" o.c.
- 2x6 bottom plate and double 2x6 top plate
- 2x4 studs at 16" o.c. can be utilized provided the combined R value of the batt insulation and exterior rigid insulation achieves R24
- Interior load bearing walls shall consist of:
 - 2x4 studs at 16" o.c.
 - 2x4 bottom plate and double 2x4 top plate
 - 2x4 mid girts if not sheathed • 1/2" gypsum board sheathing

- See [General Notes 02] for floor joist size and spacing requirements
- joists to have minimum 1 1/2" of end bearing
- Joists shall bear on a sill plate fixed to foundation with 1/2" anchor bolts at 7'-10" o.c.
- Header joists between 3'-11" and 10'-6" in length shall be doubled. Header joists exceeding 10"-6" shall be sized by calculations
- Trimmer joists shall be doubled when supported header is between 2'-7" and 6'-7". Trimmer joists shall be sized by calculations when supported heade exceeds 6'-7" · 2x2 cross bridging required not more than 6'-11" from
- each support and from other rows of bridging
- Joists shall be supported on joist hangers at all flush beams, trimmers, and headers · Joists located under parallel non-loadbearing partitions
- shall be doubled • See [General Notes 02] for sub flooring requirements

Roof & Ceilings

- See [General Notes 02] for rafter, roof joist and ceiling joist size and spacing requirements
- Hip and valley rafter shall be 2" deeper than common
- 2x4 collar ties at rafter spacing with 1x4 continuous brace at mid span of collar tie exceeds 7'-10" in length
- See [General Notes 02] for roof sheathing requirements

Notching & Drilling of Trusses, Joists, Rafters

- Holes in floor, roof and ceiling members to be maximum 1/4 x actual depth of member and not less than 2" from edges
- Notches in floor, roof and ceiling members to be located on top of the member within 1/2 the actual depth from the edge of bearing and not greater than 1/3 joist depth
- Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if load bearing, and 1-9/16" if non-load bearing
- · Roof truss members shall not be notched. drilled or weakened unless accommodated in the design

- Roofing Fasteners for roofing shall be corrosion resistant roofing nails shall penetrate through or at least 1/2" into roof sheathing
- . Every asphalt shingle shall be fastened with at least 4
- · Eave protection shall extend 2'-11" up the roof slope from the edge, and at least 11-3/4" from the inside face of the exterior wall, and shall consist of Type M or Type S Roll Roofing laid with minimum 4" head and end laps cemented together, or glass Fibre or Polyester Fibre coated base sheets, or self sealing composite membranes consisting of modified bituminous coated material. Eave protection is not required for unheated buildings, for roofs exceeding a slope of 1 in 1.5, or where a low slope asphalt shingle application is provided
- Open valleys shall be flashed with 2 layers of roll roofing, or 1 layer of sheet metal min. 23 5/8" wide
- · Flashing shall be provided at the intersection of shingle roofs with exterior walls and chimneys
- Sheet metal flashing shall consist of not less than 1/16" sheet lead, 0.013" galvanized steel, copper, 0.018" zinc, or 0.019" aluminum

Low Slope Roofing

- Except for the first two courses, coverage shall be not less than three thicknesses of shingle over the entire roof, disregarding cutouts.
- Shingle tabs shall be secured with cold application cement applied at the rate of not less than 0.5 L/m² of cemented area, or hot application asphalt applied at the rate of 1 kg/m² of cemented area.
- The first course of shingles shall be secured by a continuous band of cement along the eaves applied so that the width of the band equals the shingle exposure plus 100 mm.
- The succeeding courses of shingles shall be secured. by a continuous band of cement applied so that the width of the band equals the shingle exposure plus 50 mm. The band shall be located not more than 50 mm above the butt of the overlying course of shingles
- Shingles on hips and ridges shall be not less than 300 mm wide applied to provide triple coverage. Shingles shall be cemented to the roof shingles and to each other with a coat of cement and fastened with nails or staples located 40 mm above the butt of the overlying shingle and 50 mm from each edge.

Columns, Beams & Lintels

- Steel beams and columns shall be shop primed.
- Minimum 3 1/2" end bearing for wood and steel beams. with 7 7/8" solid masonry beneath the beam
- Steel columns to have minimum outside diameter of 2 7/8" and minimum wall thickness of 3/16"
- · Wood columns for carports and garages shall minimum 3 1/2" x 3 1/2"; in all other cases either 5 1/2" x 5 1/2" or 7 1/4" round, unless calculations based on actual loads show lesser sizes are adequate. All columns shall be not less than the width of the supported member
- Masonry columns shall be a minimum of 11 3/8" x 11 3/8" or 9 1/2" x 15"
- Provide solid blocking the full width of the supported member under all concentrated loads.

Insulation & Weatherproofing

R60 Ceiling with attic R31 Roof without attic R19 + R5ci Exterior Wall Foundation Wall R20ci Foundation > 50% exposed R24 R31 Exposed Floor Slabs on Grade R10 Slabs below > 600mm Grade N/A Supply Ducts in unheated space

- · Insulation shall be protected with gypsum board or an equivalent interior finish, except for unfinished basements where 6 mil poly is sufficient for fibreglass type insulations
- Ducts passing through unheated space shall be made airtight with tape or sealant
- · Caulking shall be provided for all exterior doors and windows between the frame and the exterior cladding
- Weatherstripping shall be provided on all doors and access hatches to the exterior, except doors from a garage to the exterior
- Exterior walls, ceilings and floors shall be constructed so as to provide a continuous barrier to the passage of water vapour from the interior and to the leakage of air from the

REAR ADDITION

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151 MAIN STREET UNIONVILLE

Owner





PRELMINARY DESIGN

Nο Description Date By

Author 2023-11-16 _1/4" = 1'-0"_ 23015 GENERAL NOTES

A-1.1

Natural Ventilation

- Every roof space above an insulated ceiling shall be ventilated with unobstructed openings equal to not less than 1/300 of insulated area
- · Insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/150 of insulated area
- · Roof vents shall be uniformly distributed and designed to prevent the entry of rain, snow or insects
- Unheated crawl spaces shall be provided with 1.1 ft² of ventilation for each 538 ft2
- · Minimum natural ventilation areas, where mechanical ventilation is not provided, are:
- Bathrooms:
- · Other rooms:
- Unfinished basement: 0.2% of floor area

Doors and Windows

- Every floor level containing a bedroom and not served by an exterior door shall contain at least 1 window having an unobstructed open area of 3.8 ft2 and no dimension less than 15", which is openable from the inside without tools
- · Exterior house doors and windows within from grade shall be constructed to resist forced entry. Doors shall have a
- · The principal entry door shall have either a door viewer, transparent glazing or a sidelight

Exterior Walls

- No windows or other unprotected openings are permitted in exterior walls less than 3'-11" from property lines
- 5/8" fire rated drywall shall be installed on the inside face of attached garage exterior walls and gable ends of roofs which are less than 3'-11" from property lines
- Non-combustible cladding shall be installed on all exterior walls less than 23 5/8" from property lines

 When ceramic tile applied to a mortar bed with adhesive, the bed shall be a minimum of 1/2" thick & reinforced with galvanized diamond mesh lath, applied over polyethylene on subflooring on joists at no more than 16" o.c. with at least 2 rows cross bridging

Access to Attics and Crawl Spaces

Access hatch minimum 19 3/4" x 2'-4" to be provided to every crawl space and every roof space which is 108 ft2 or more in area an more than 23 5/8" in height

Garage Gasproofing

- The walls and ceiling of an attached garage shall be constructed and sealed so as tor porvide an effective barrier to exhaust fumes
- · All plumbing and other penetrations through the walls and ceiling shall be caulked
- Doors between the dwelling and attached garage may not open into a bedroom and shall be weatherstripped and have a self-close

Alarms and Detectors

- At least one smoke alarm shall be installed on or near the ceiling on each floor and basement level 2'-11" or more above an adjacent level
- . Smoke alarms shall be interconnected and located such that one is within 16'-5" of every bedroom door and no more than 49'-3" travel distance from any point on a floor
- A carbon monoxide detector shall be installed on or near the ceiling in every room containing a solid fuel burning fireplace or stove

- Stairs

 Maximum Rise
- 180 mm 180 mm Minimum Run 280 mm 280 mm · Minimum Tread 280 mm 280 mm
- · Minimum Head Room 1950 mm1950 mm Minimum Width 900 mm 900 mm • Curved stairs shall have a min. run of 5 7/8" at any point and
- a minimum average run of 7 7/8" Winders which converge to a point in stairs mush turn through an angle of no more than 90°, with no less than 30°
- or more than 45° per tread. Sets of winders must be separated by 3'-11" along the run of the stair · A landing minimum 2'-11" in length is required at the top of any stiar leading to the principal entrance to a dwelling, and
- other entrances with more than 3 risers · Exterior concrete stairs with more than 2 risers require foundations

Handrails and Guards

- A handrail is required for interior stairs containing more than 2 risers and exterior stairs containing more than 3 risers
- Guards are required around every accessible surface which is more than 23 5/8" above the adjacent level
- Interior and exterior guards min. 2'-11" high
- Exterior guards shall be 3'-6" high where height above adjacent surface exceeds 5'-11"
- Guards shall have no openings greater than 4", and no member between 4" and 2'-11" that will facilitate climbing
- · The minimum grade of softwood dimension lumber for exterior posts, rails and joists shall be Northern Species No.2., pressure
- · The minimum grade of softwood dimension lumber for exterior pickets shall be Northen Species, No.2. Picket grade, pressure
- · Wood for pickets shall be free of loose knots
- The minimum sizes of loadbearing elements of wood guards shall conform to the following table.

Guard Element	Minimum Size, mm (in)
Post	89 x 89 (4" x 4" nominal)
Top Rail	38 x 89 (2" x 4" nominal)
Bottom Rail	38 x 89 (2" x 4" nominal)
Picket / Baluster	32 x 32 (1-9/32" x 1-9/32")

- Every dwelling requires a kitchen sink, lavatory, water closet, bathtub or shower stall and the installation or availability of laundry facilities
- · A floor drain shall be installed in the basement, and connected to the sanitary sewer where gravity drainage is possible. In other cases, it shall be connected to a storm drain system, ditch or dry

- An exterior light controlled by an interior switch is required at every entrance
- · A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room, bathroom, vestibule, hallway, garage and carport. A switched receptacle may be provided instead of a light in bedrooms and
- · Stairs shall be lighted, and except where serving an unfinished basement shall be controlled by a 3 way switch at the head and foor of the stairs
- · Basements require a light for each 323 ft2, controlled by a switch at the head of the stairs

- A mechanical ventilation system is required with a total capacity at least equal to the sum of:
 - 10 cfm each for basement and master bedroom
 - 5 cfm for each other room
- A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such
- Supplemental exhaust shall be installed so that the total capacity of all kitchen, bathroom and other exhausts, less the principal exhaust, is not less than the total required capacity
- A Heat Recovery Ventilator may be employed in lieu of exhaust to provide ventilation. An HVR is required if any solid fuel burning appliances are installed
- Supply air intakes shall be located so as to avoid contamination from exhaust outlets

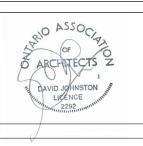
EXTERIOR WALLS CONSTRUCTION TAG DESCRIPTION **METAL PANEL WALL (NON-BEARING WALL TO EN-CLOSE THE PORCH)** EXTERIOR - PANEL MATCH EXISTING (REFER TO MANUFACTURER'S SPECS) - #15 BUILDING PAPER W/ LAPPED JOINTS OR TYVEK (W1)HOUSE WRAP AIR BARRIER - 1/2" EXTERIOR GRADE PLYWOOD SHEATHING - 2 X 6 WOOD STUD @16" O.C. MAX. INTERIOR MIN. R22 FIBERGLASS BATT INSULATION - 6 MIL POLY VAPOUR BARRIER WITH TAPED JOINTS - 1/2" GYPSUM BOARD CAULKED AT FLOOR AND CEILING **FLOOR TYPES** CONSTRUCTION DESCRIPTION TAG **TYPICAL FLOOR** - FLOOR FINISH F1 - 3/4" PLYWOOD TONGUE AND GROOVE SUBFLOOR, **GLUED AND SCREWED** - FLOOR JOIST - REFER TO PLAN DRAWINGS CONC.FOLSAB ON GRADE (CRAWL SPACE) W/5% -8% AIR ENTRAINMENT F2 - 10 MIL POLY VAPOUR BARRIER - 2" RIGID INSULATION ALONG PERIMETER, NOT LESS THAN 600MM, SB-12.3.1.1.7(5) - 4" GRAVEL OR CRUSHED STONE DRAINAGE COURSE **ROOF TYPES** TAG CONSTRUCTION **DESCRIPTION** FLAT ROOF **FLAT ROOF (EXISTING STRUCTURE** TO BE REMAIN) EXISTING ROOF (WATERPROOFING MEMBRANE AND R1` STRUCTURE TO BE REMAINED) - MIN. R31 CLOSED CELL HIGH DENSITY SPRAY FOAM **INSULATION** - 1/2" GYPSUM BOARD CEILING **DWELLING FOUNDATION WALLS** TAG CONSTRUCTION EXTERIOR 8" INSULATED CONCRETE FOUNDATION WALL FREE DRAINAGE FILL **FW1** - DRAINAGE SHEET - WATERPROOFING MEMBRANE - 8" CAST-IN-PLACE CONCRETE WALL SPRAY FOAM INSULATION (MIN. R20 CONTINUOUS) - 2 X 4 WOOD @16" O.C. - 1/2" GYPSUM WALL BOARD CAULKED AT FLOOR AND INTERIOR **CEILING**



151 MAIN STREET UNIONVILLE

Owner



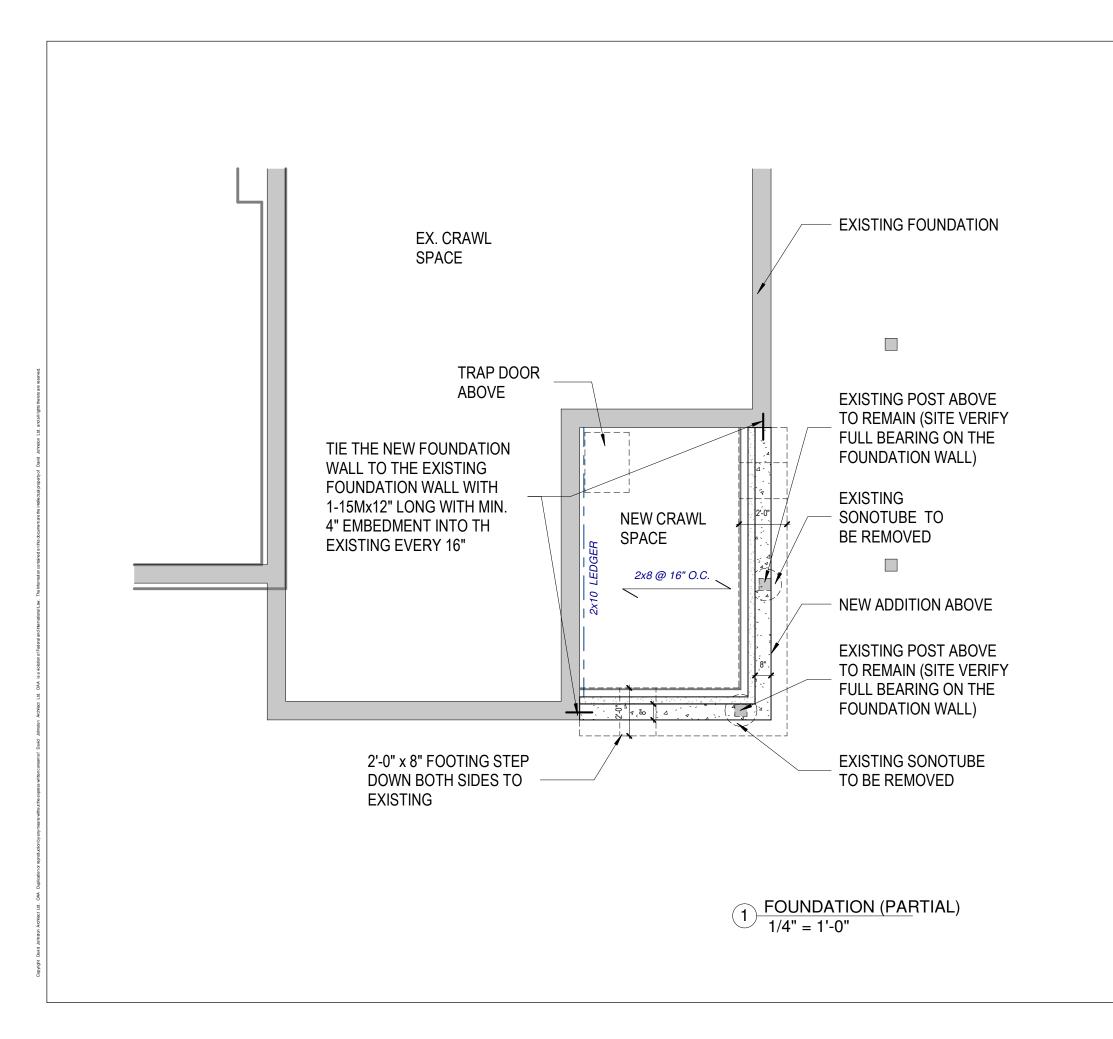


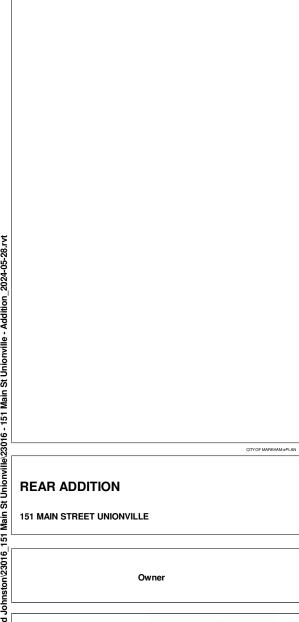
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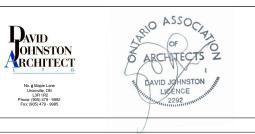
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Author 2023-11-16 As indicated 23015 GENERAL NOTES

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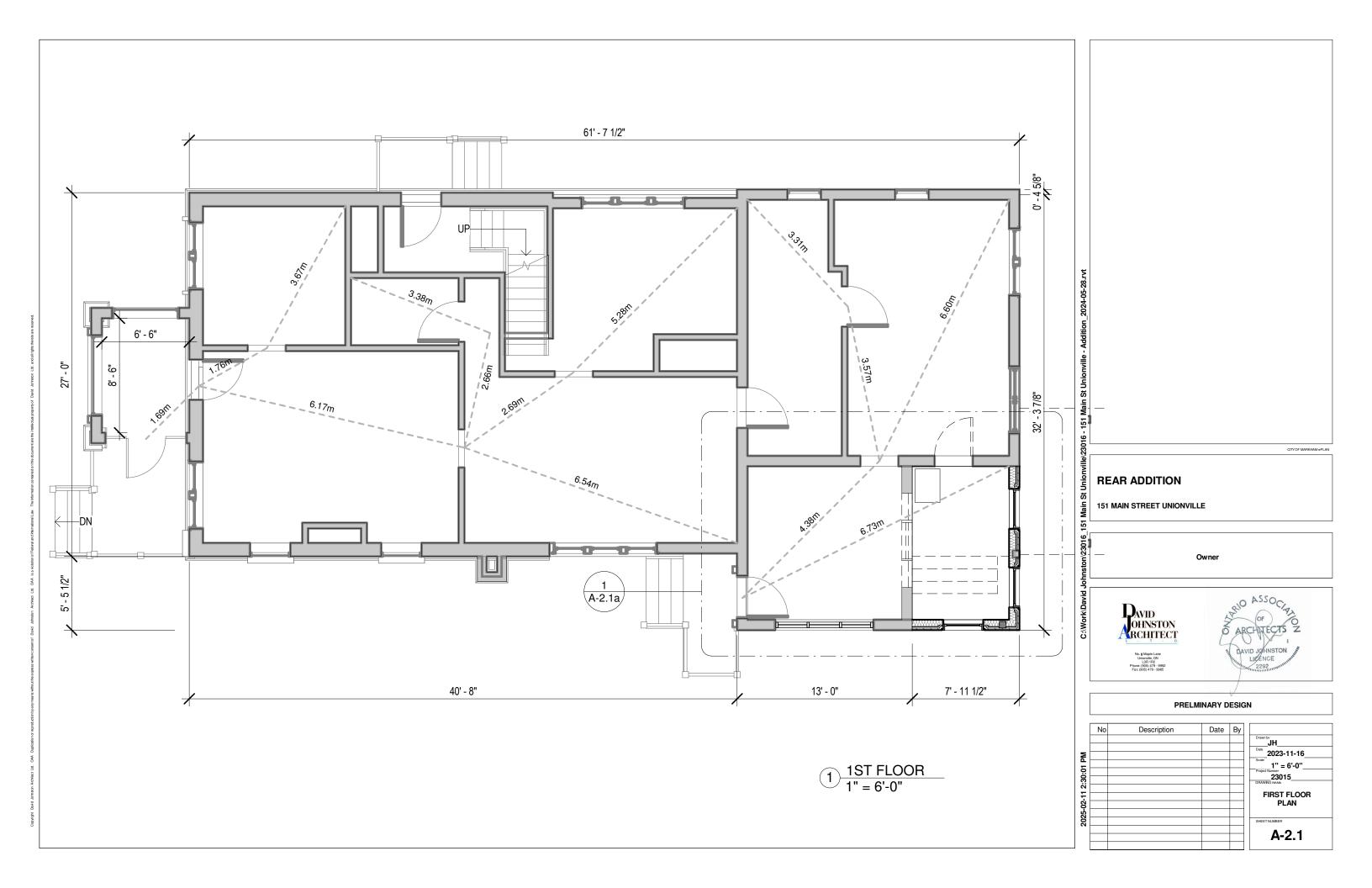


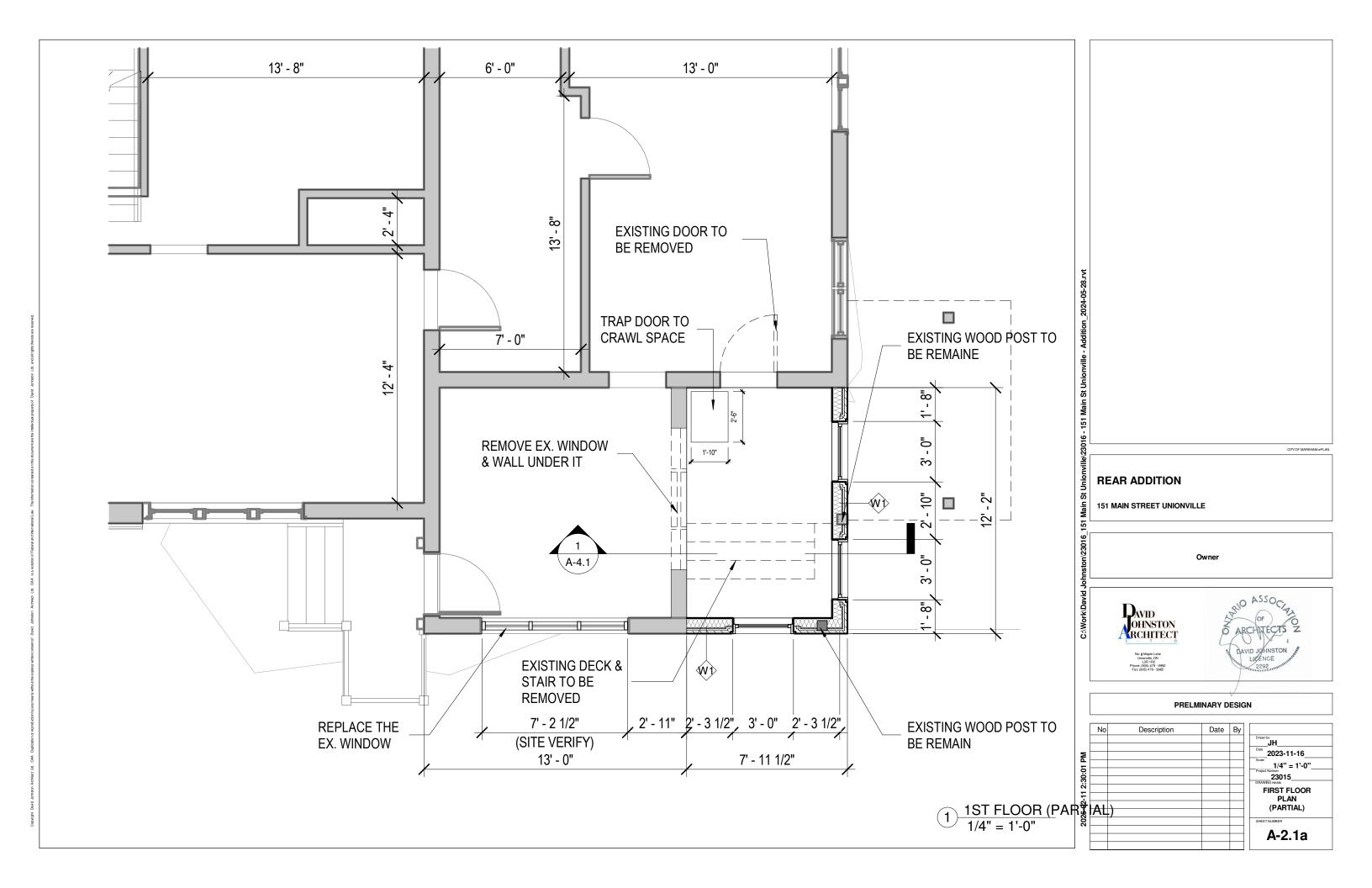


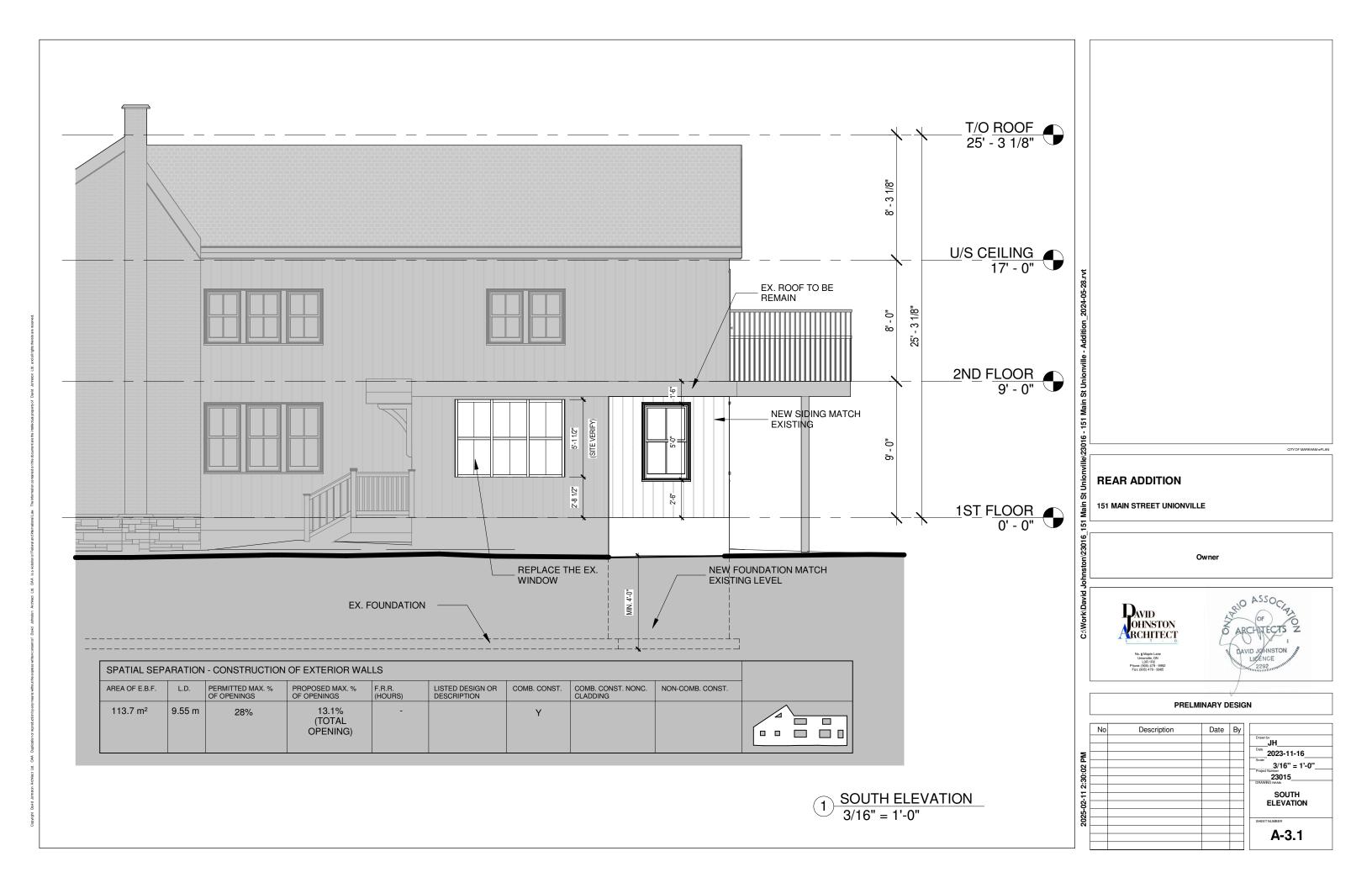
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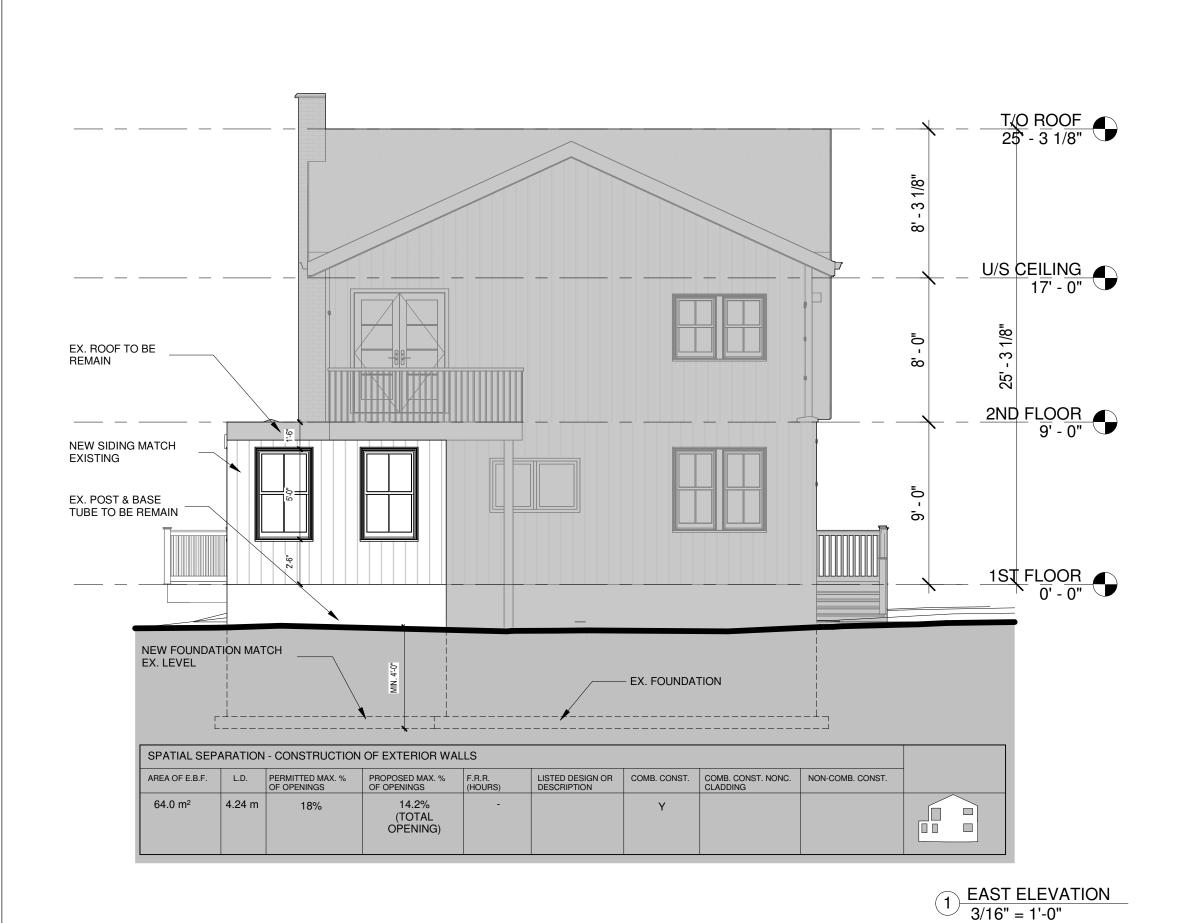
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REAR ADDITION 151 MAIN STREET UNIONVILLE Owner

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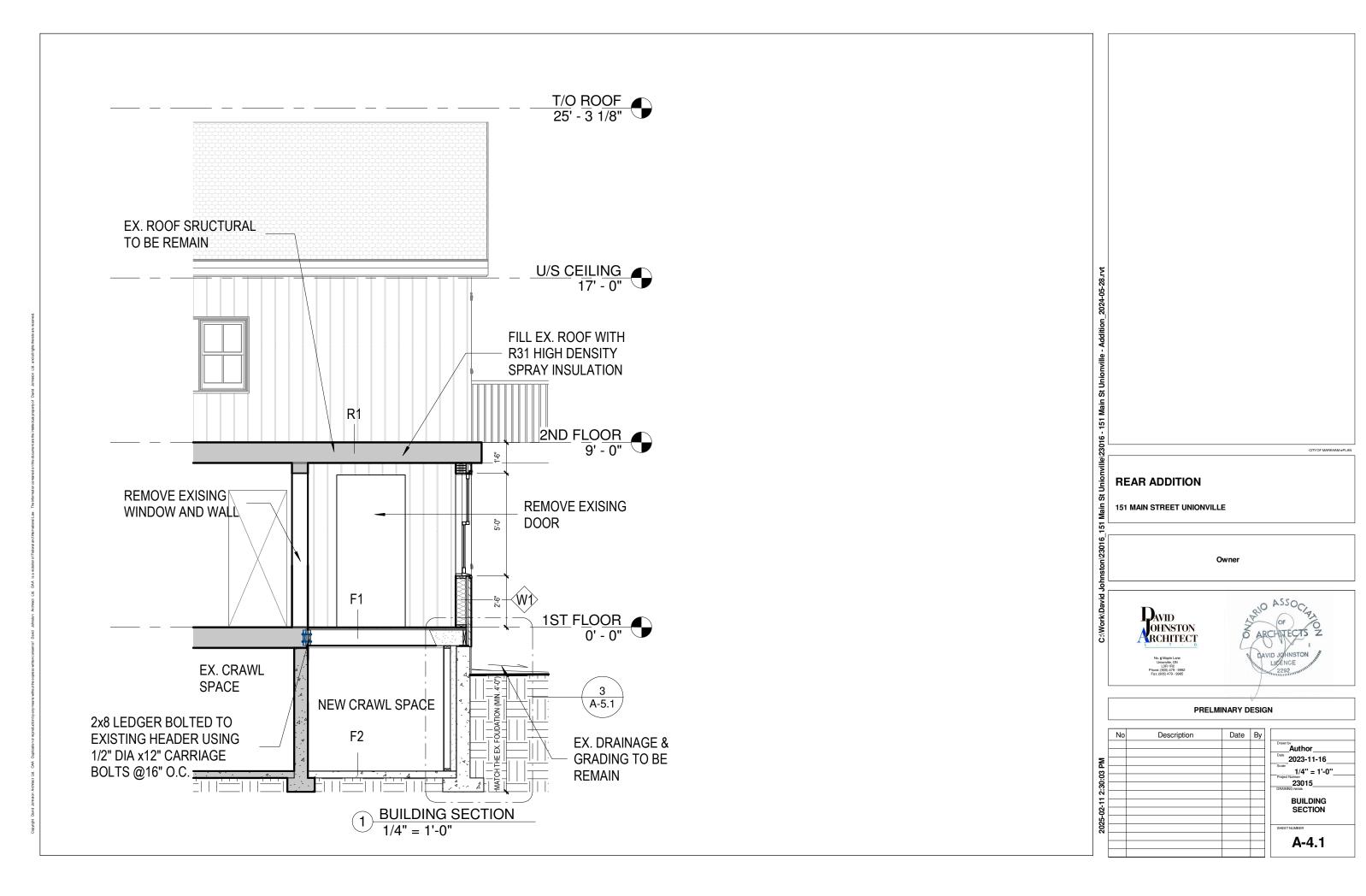
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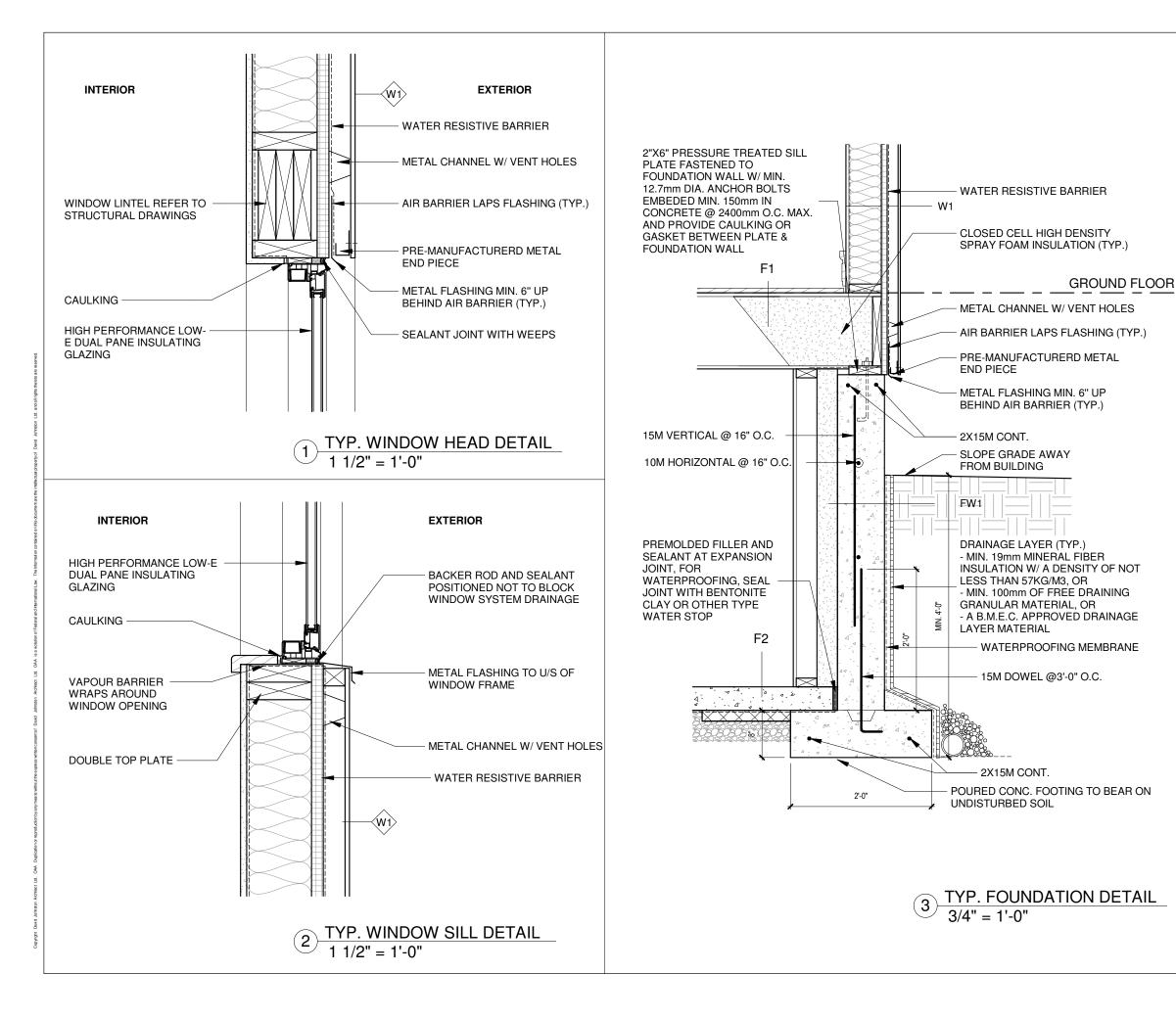
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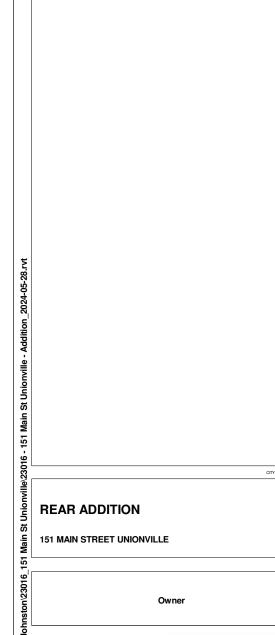
No. 8 Maple Lane Unionville, ON L3R 1R2 Phone: (905) 479 - 9992 Fax: (905) 479 - 9985

Date 2023-11-16 Scale _3/16" = 1'-0"_ ___23015__ EAST ELEVATION

A-3.2







DAVID
OHNSTON
RCHITECT
OHNSTON
No. 8 Maple Lare
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Fac (60) 479 - 9985
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PRELMINARY DESIGN

No Description Date By

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DETAILS

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