



Committee of Adjustment Meeting Agenda

April 22, 2026

7:00 pm

Electronic Meeting
Pages

1. CALL TO ORDER

We begin today by acknowledging the traditional territories of Indigenous peoples and their commitment to stewardship of the land. We acknowledge the communities in circle. The North, West, South and Eastern directions, and Haudenosaunee, Huron- Wendat, Anishnabeg, Seneca, Chippewa, and the Mississaugas of the Credit peoples. We share the responsibility with the caretakers of this land to ensure the dish is never empty and to restore relationships that are based on peace, friendship, and trust. We are committed to reconciliation, partnership and enhanced understanding.

2. DISCLOSURE OF PECUNIARY INTEREST

3. APPROVAL OF PREVIOUS MINUTES

4. REQUESTS FOR DEFERRAL

5. PREVIOUS BUSINESS

Agent Name: Arcadis Professional Services (Canada) Inc. (Simon Yee)
2830 16th Avenue, Markham
PL 65M3184 PT LT 2 PT BLK 3 65R19878 1 TO 5

The applicant is requesting relief from the requirements of By-law 2024-19, as amended, to permit the following:

- a. **By-law 2024-19, Section 9.4.2.1:** an outdoor display and sales area, whereas the by-law does not permit an outdoor display and sales area associated with a motor vehicle fueling station;
- b. **By-law 2024-19, Section 5.10.4(A):** 7 drive-through service establishment stacking spaces for a restaurant use, whereas the by-law requires a minimum of 10 drive-through service establishment stacking spaces for a restaurant use;
- c. **By-law 2024-19, Section 4.9.7 a)(ii):** a minimum 5.8 metre north lot line landscape strip, whereas the by-law requires a minimum landscape strip of 6.0 metres adjacent to the north lot line; and
- d. **By-law 2024-19, Section 9.4.2.2(G):** a minimum height of 4.8 metres within 12 metres of any lot line that serves as the boundary of a street, whereas the by-law requires a minimum height of 6.0 metres;

as it relates to a proposed gasoline island and a convenience store with a quick serve restaurant and drive-through.

(West District, Ward 2)

Agent Name: Adstruct Ltd. (Farhad Vatandoost)
41 Kirk Drive, Thornhill
PLAN 4184 LOT 20

The applicant is requesting relief from the requirements of By-law 2024-19, as amended, to permit the following:

- a. **By-law 2024-19, Section 6.3.2.2, Special Standard (xiv)**: a maximum combined main building coverage of 629.6 square metres, whereas the by-law permits a maximum combined main building coverage of 500 square metres;
- b. **By-law 2024-19, Section 6.3.2.2 (e)**: a maximum first storey main building distance from the established building line of 23.63 metres, whereas the by-law permits a maximum first storey main building distance from the established building line of 19.5 metres;
- c. **By-law 2024-19, Section 6.3.2.2 (e)**: a maximum second storey main building distance from the established building line of 19.82 metres, whereas the by-law permits a maximum second storey main building distance from the established building line of 14.5 metres;
- d. **By-law 2024-19, Section 6.2.1 (b)**: a maximum roof projection above the maximum outside wall height of 1.94 metres for roofs with a pitch of less than 25 degrees, whereas the by-law permits a maximum roof projection above the maximum outside wall height of 1 metre for roofs with a pitch of less than 25 degrees; and
- e. **By-law 2024-19, Section 4.8.8 (c)(2)**: a maximum rear balcony encroachment from the main wall of 3.18 metres, whereas the by-law permits a maximum rear balcony encroachment from the main wall of 1.8 metres;

as it relates to a proposed two-storey residential dwelling.

(West District, Ward 1)

6. NEW BUSINESS

Agent Name: JKO Planning Services Inc. (Jim Kotsopoulos)
10 River Bend Road, Markham
PLAN 3684 PT LOT 24 CONCESSION 6 PART LOT 10

The Owner is requesting provisional consent to:

- a. **sever and convey** a parcel of land (Part 2) with an approximate lot frontage of 15.75 metres, and an approximate lot area of 685.7 square metres;
- b. **sever and convey** a parcel of land (Part 3) with an approximate lot frontage 16.91 metres, and an approximate lot area of 700.4 square metres;
- c. **sever and convey** a parcel of land (Part 4) with an approximate lot frontage of 16.13 metres, and an approximate lot area of 751.8 square metres;
- d. **sever and convey** a parcel of land (Part 5) to the City of Markham with an approximate width of 75.16 metres, and an approximate lot area of 3013.3 square metres; and
- e. **retain** a parcel of land (Part 1) with an approximate lot frontage of 15.24 metres, and an approximate lot area of 709.3 square metres;

The purpose of this application is to sever the subject lands to facilitate the creation of three new residential lots, and one new greenway lot to be conveyed to the City of Markham.

This application is related to PLAN 24 189460 which has been previously approved.

(Central District, Ward 3)

Agent Name: Twinscape Construction Inc. (Nick Dinatale)
75 John Street, Thornhill
PLAN 3537 PT LOT 17 RS65R16635 PART 1

The applicant is requesting relief from the requirements of By-law 2024-19, as amended, to permit the following:

- a. **By-law 2024-19, Section 4.8.3 b)**: a deck projection of 4.9 metres from the main wall closest to the rear lot line, whereas the by-law permits a maximum deck projection of 3.7 metres where decks have a height greater than 1.0 metres above the lowest ground surface at any point around the perimeter of the platform;

as it relates to an existing deck for a residential dwelling.

(Heritage District, Ward 1)

Agent Name: Jeff Cogliati
190 Henderson Avenue, Thornhill
PLAN 9766 LOT 12

The applicant is requesting relief from the requirements of By-law 2024-19, as amended, to permit the following:

- a. **By-law 2024-19, Section 4.9.10 g)**: a garden home to be located 32.78 metres from the lot line abutting a street, whereas the By-law requires a garden home to be located no further than 30 metres from the lot line abutting a street; and
- b. **By-law 2024-19, Section 4.8.1.2(d)(i)**: a maximum permitted height for an accessory building of 4.5 metres, whereas the building permits a maximum height of 4.0 metres for an accessory building;

as it relates to a proposed one-storey garden home.

(West District, Ward 1)

Agent Name: Arcica Inc. (Narges Nassiri)
70 Highland Park Boulevard, Thornhill
PLAN 2446 LOT 150

The applicant is requesting relief from the requirements of By-law 2024-19, as amended, to permit the following:

- a. **By-law 2024-19, Section 6.3.2.2 c:** a main building coverage of 27.6 percent (1931.29 square feet) for the second storey, whereas the By-law permits a maximum main building coverage of 20 percent (1400 square feet) of the lot area for any storey above the first;
- b. **By-law 2024-19, Section 6.3.2.2 e:** a main building distance of 16.33 metres for the second storey, whereas the By-law permits a maximum distance of 14.5 metres for any storey above the first from the established building line;

as it relates to a new two-storey detached dwelling.

(West District, Ward 1)

7. ADJOURNMENT



Notice of Public Hearing

Minor Variance / Permission

(Section 45 of the *Planning Act*)

COMMITTEE OF ADJUSTMENT

MEETING DATE AND TIME: Wednesday, April 22, 2026, at 7:00 pm

LOCATION: This Public Hearing will be held virtually. Participants or attendees are required to email Staff at COA@markham.ca for more information on how to participate.

File Number: A/019/25
Agent: Arcadis Professional Services (Canada) Inc.
Property Address: 2830 16th Avenue, Markham
Legal Description: PL 65M3184 PT LT 2 PT BLK 3 65R19878 1 TO 5
Zoning: By-law 2024-19, as amended; EMP-SE
Ward: 2

PURPOSE OF THE APPLICATION:

The applicant is requesting relief from the requirements of By-law 2024-19, as amended, to permit the following:

- a) **By-law 2024-19, Section 9.4.2.1:** an outdoor display and sales area, whereas the by-law does not permit an outdoor display and sales area associated with a motor vehicle fueling station;
- b) **By-law 2024-19, Section 5.10.4(A):** 7 drive-through service establishment stacking spaces for a restaurant use, whereas the by-law requires a minimum of 10 drive-through service establishment stacking spaces for a restaurant use;
- c) **By-law 2024-19, Section 4.9.7 a)(ii):** a minimum 5.8 metre north lot line landscape strip, whereas the by-law requires a minimum landscape strip of 6.0 metres adjacent to the north lot line; and
- d) **By-law 2024-19, Section 9.4.2.2(G):** a minimum height of 4.8 metres within 12 metres of any lot line that serves as the boundary of a street, whereas the by-law requires a minimum height of 6.0 metres;

as it relates to a proposed gasoline island and a convenience store with a quick serve restaurant and drive-through.

NOTICE REQUIREMENTS FOR LANDLORDS AND CONDOMINIUM CORPORATIONS:

A copy of this notice must be posted by the Owner(s) of any land that contains seven or more residential units in a location that is visible to all the residents.

THE COMMITTEE OF ADJUSTMENT (THE "COMMITTEE") AND MINOR VARIANCES:

The Committee's role offers flexibility in dealing with minor adjustments to Zoning By-law permissions. The Committee forms its opinions through its detailed review of all material filed with an application, letters received, deputations made at the public hearing, and results of site inspections. After hearing the Applicant and every person who desires to be heard in respect to this application, the Committee may approve, refuse, modify, or otherwise alter the application at the hearing without further notice provided.

HOW TO ATTEND AND PARTICIPATE AT THE MEETING

As required by the *Planning Act*, you are provided written notice to ensure that you may make your views known by either of the two following options:

1. Watch via live stream at <https://www.markham.ca>.
2. Request to attend the ZOOM meeting in writing, along with a completed [Interested Party Comment and Deputation Form](#) at (<https://www.markham.ca/sites/default/files/economic-development-business/What%20to%20Expect%20at%20a%20COA%20Hearing/COA%2BInterested%2BP>)



Notice of Public Hearing

Minor Variance / Permission

(Section 45 of the *Planning Act*)

[arty%2BComment%2Band%2BDeputation%2BForm%2Bno%2Bsubmit%20\(1\).pdfmailto:COA@markham.ca](mailto:arty%2BComment%2Band%2BDeputation%2BForm%2Bno%2Bsubmit%20(1).pdfmailto:COA@markham.ca)

OR

Deliver a letter in person to the DROP BOX at the Civic Centre (Thornhill Entrance), or by mail or email to the undersigned.

Written comments must be received no later than 4:00 pm, two days prior to the Hearing date to ensure the Committee members can review all written comments prior to the hearing.

NOTE: Under The Municipal Freedom of Information Act: personal information collected in response to this planning notice will be used to assist City staff and Council to process this application and will be a part of the public record.

TO VIEW THE MATERIALS IN THE APPLICATION FILE:

Materials will be posted on the Council and Committee Meetings webpage at the link below prior to the scheduled meeting date.

<https://www.markham.ca/about-the-city-of-markham/city-hall/council-and-committee-meetings>

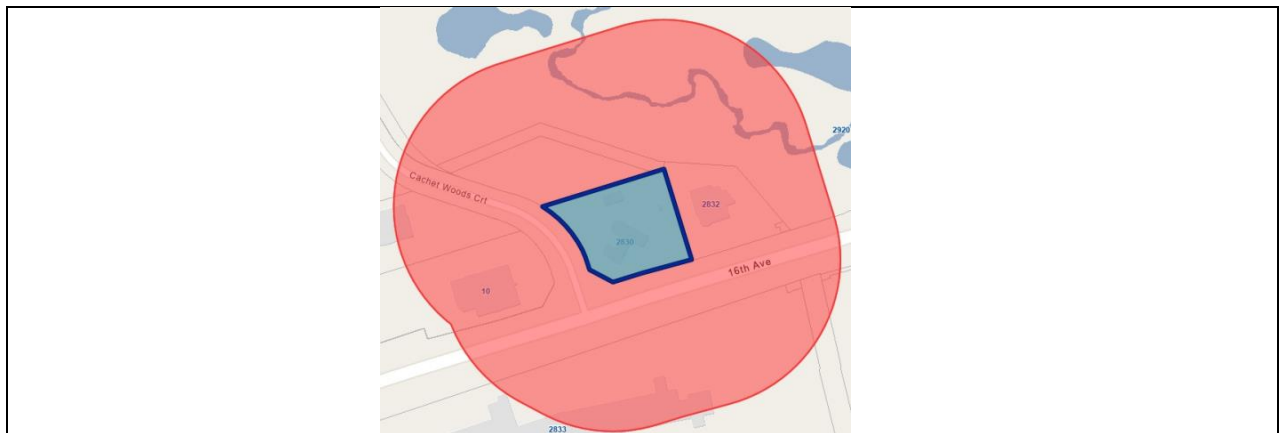
NOTICE OF DECISION and ONTARIO LAND TRIBUNAL PROCEEDINGS

Any person wishing to comment on this application, but who is unable to attend, may send a signed written submission to the Secretary Treasurer prior to the Hearing. A submission received prior to the Hearing is not considered a Notice of Appeal.

A copy of the decision will be sent to the Applicant and Agent. Any other person or agency wishing to receive a copy of the decision, or any notice of relevant Ontario Land Tribunal hearings, must submit a written request for a copy of the decision, or you would not be entitled to receive notice of any further proceedings.

IMPORTANT NOTICE TO OWNERS AND/OR AGENTS:

The Applicant or representative for the Applicant **MUST** appear at the hearing in support of the application. Failure to appear would result in dismissal of this application.



Shawna Houser
Secretary-Treasurer, Committee of Adjustment

For more information about this matter, contact:

☎ 905.475.4721 🖨 905.479.7768 ✉ COA@markham.ca

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST

Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS

At Grade Condition (check to confirm the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from finished grade.
- Development contains no glass greater than 2m² within 16m from finished grade.

Roof Landscape Condition (check to confirm one of the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from roof level finished grade.
- Development contains no glass panel within 16m from roof level finished grade.

Treatment (check to confirm one of the below is applied)

* Refer to Guidelines for requirements

- Stripes
- Dots
- Netting
- Frit and Etched Patterns

Specifications (check to confirm one of the below is applied)

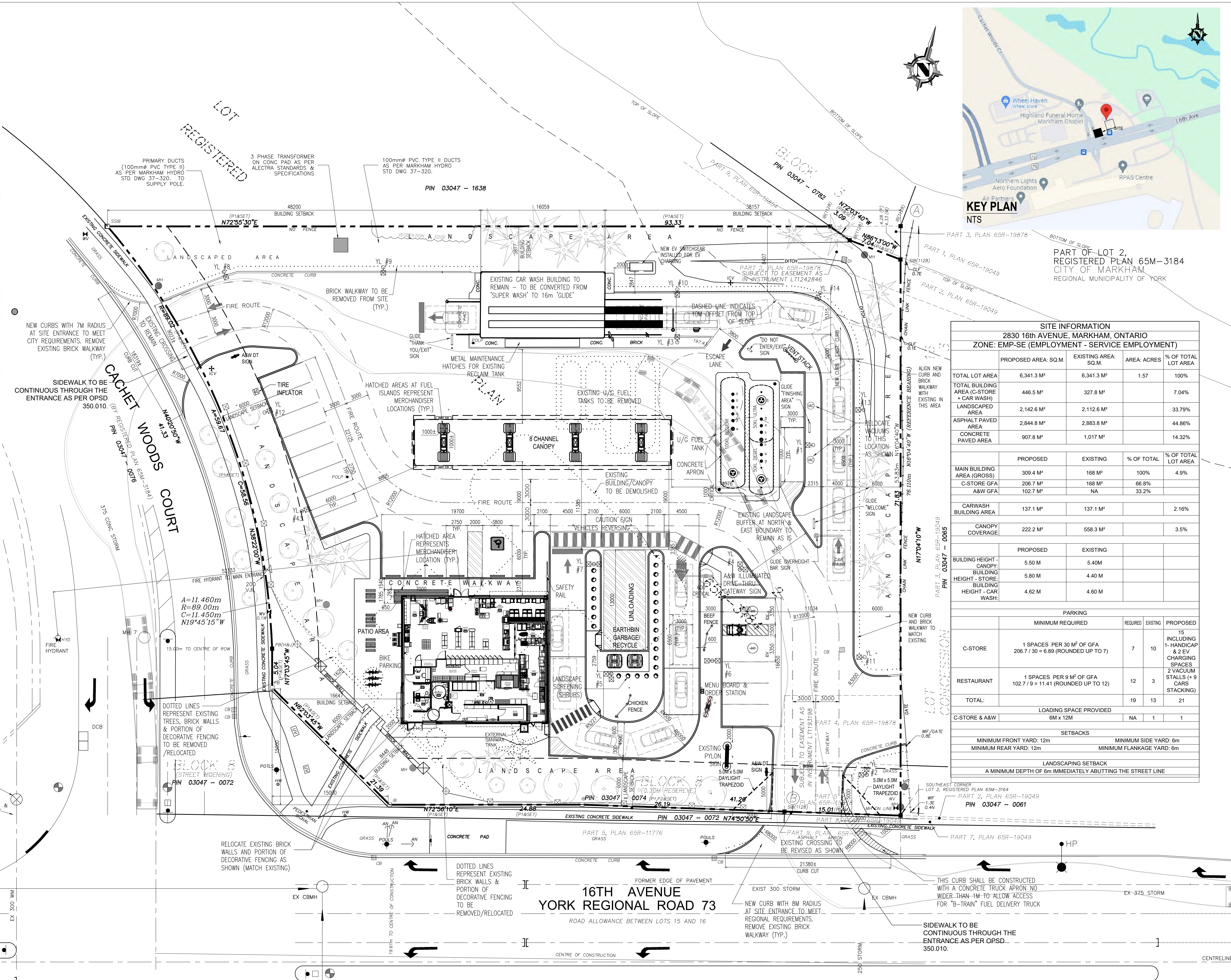
- Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.
- Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.

MARKHAM BIRD FRIENDLY LIGHTING CHECKLIST

Applicant to include checklist on Electrical Engineering Drawing(s) at first landscape plan submission. Drawing(s) to be stamped and signed by a P.Eng.

MANDATORY LIGHTING CRITERIA FOR ALL DEVELOPMENTS (check to confirm below is applied)

- The use of exterior up lighting is eliminated.
- There is no exterior light spill outside of property line.



PART OF LOT 2, REGISTERED PLAN 65M-3184 CITY OF MARKHAM, REGIONAL MUNICIPALITY OF YORK

SITE INFORMATION
2830 16TH AVENUE, MARKHAM, ONTARIO
ZONE: EMP-SE (EMPLOYMENT - SERVICE EMPLOYMENT)

	PROPOSED AREA: SQ.M	EXISTING AREA: SQ.M	AREA: ACRES	% OF TOTAL LOT AREA
TOTAL LOT AREA	6,341.3 M ²	6,341.3 M ²	1.57	100%
TOTAL BUILDING AREA (GROSS)	446.5 M ²	327.8 M ²		7.04%
LANDSCAPED AREA	2,142.6 M ²	2,112.6 M ²		33.79%
ASPHALT PAVED AREA	2,844.8 M ²	2,883.8 M ²		44.86%
CONCRETE PAVED AREA	907.8 M ²	1,017 M ²		14.32%
	PROPOSED	EXISTING	% OF TOTAL	% OF TOTAL LOT AREA
MAIN BUILDING AREA (GROSS)	309.4 M ²	168 M ²	100%	4.9%
C-STORE GFA	206.7 M ²	168 M ²	66.6%	
ASW GFA	102.7 M ²	NA	33.2%	
CARWASH BUILDING AREA	137.1 M ²	137.1 M ²		2.16%
CANOPY COVERAGE	222.2 M ²	558.3 M ²		3.5%
	PROPOSED	EXISTING		
BUILDING HEIGHT - CANOPY	5.50 M	5.40 M		
BUILDING HEIGHT - STORE	5.80 M	4.40 M		
BUILDING HEIGHT - CAR WASH	4.62 M	4.60 M		

	PARKING			PROPOSED INCLUDING 15 1-HANDICAP & 2 EV CHARGING SPACES
	MINIMUM REQUIRED	REQUIRED	EXISTING	
C-STORE	1 SPACES PER 30 M ² OF GFA 206.7 / 30 = 6.89 (ROUNDED UP TO 7)	7	10	
RESTAURANT	1 SPACES PER 9 M ² OF GFA 102.7 / 9 = 11.41 (ROUNDED UP TO 12)	12	3	2 VACUUM STALLS (+ 9 CARS STACKING)
TOTAL:		19	13	21
LOADING SPACE PROVIDED				
C-STORE & A&W	6M x 12M	NA	1	1

SETBACKS			
MINIMUM FRONT YARD:	12m	MINIMUM SIDE YARD:	6m
MINIMUM REAR YARD:	12m	MINIMUM FLANKAGE YARD:	6m

LANDSCAPING SETBACK
A MINIMUM DEPTH OF 6m IMMEDIATELY ABUTTING THE STREET LINE

ISSUED

NO.	DATE	DESCRIPTION
01	2025-02-03	ISSUED FOR SPA
02	2025-08-26	RE-ISSUE FOR SPA

REVISION

NO.	DATE	DESCRIPTION
1	2025-02-03	REMOVE EVC, ADD DAYLIGHT TRAPEZOID TO 16th AVE ACCESS, DIMENSION FH TO MAIN ENTRANCE, ADD SIDEWALK TO CIV ENTRANCE
2	2025-06-02	REVISE CAR STACKING DIMENSIONS TO 6.5m LONG
3	2025-07-07	REVISED CAR WAS STACKING LANE TO MAINTAIN CURRENT LANDSCAPE BUFFER
4	2025-08-06	UPDATES TO SITE STATS TABLE, TOP OF SLOPE AND 10M OFFSET ADDED
5	2025-08-19	EXISTING CAR WASH BUILDING TO REMAIN, CONVERT TO 16M GLIDE, C-STORE FL. PL.
6	2025-08-28	ADDED EV CHARGING WITH 2 CHARGING SPACES
7	2025-10-01	INCREASED LOADING AREA TO 13M DEPTH & REVISED SITE ENTRANCE CURB & RADI
8	2025-11-03	UPDATE YARD LIGHTS AS PER PHOTOMETRICS

SEAL

The contractor will check and verify dimensions and report errors and omissions to the designer and the design professional whose seal is affixed to this drawing. Do not scale the drawings.

This drawing will not be used for construction purposes until issued for construction by the design professional whose seal is affixed to this drawing and whose signature is below.

ISSUED FOR CONSTRUCTION DATE

DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE PREMISES

K PAUL ARCHITECT INC.
TORONTO • VANCOUVER • ORLANDO
2660 Sherwood Heights Dr. Suite 200, Oakville, Ontario, L6J 7Y8
www.kpaularchitect.com
(905)337-9800 fax (905)337-1986

CLIENT
PETRO-CANADA
A Suncor business

DRAWING TITLE
PROPOSED SITE LAYOUT

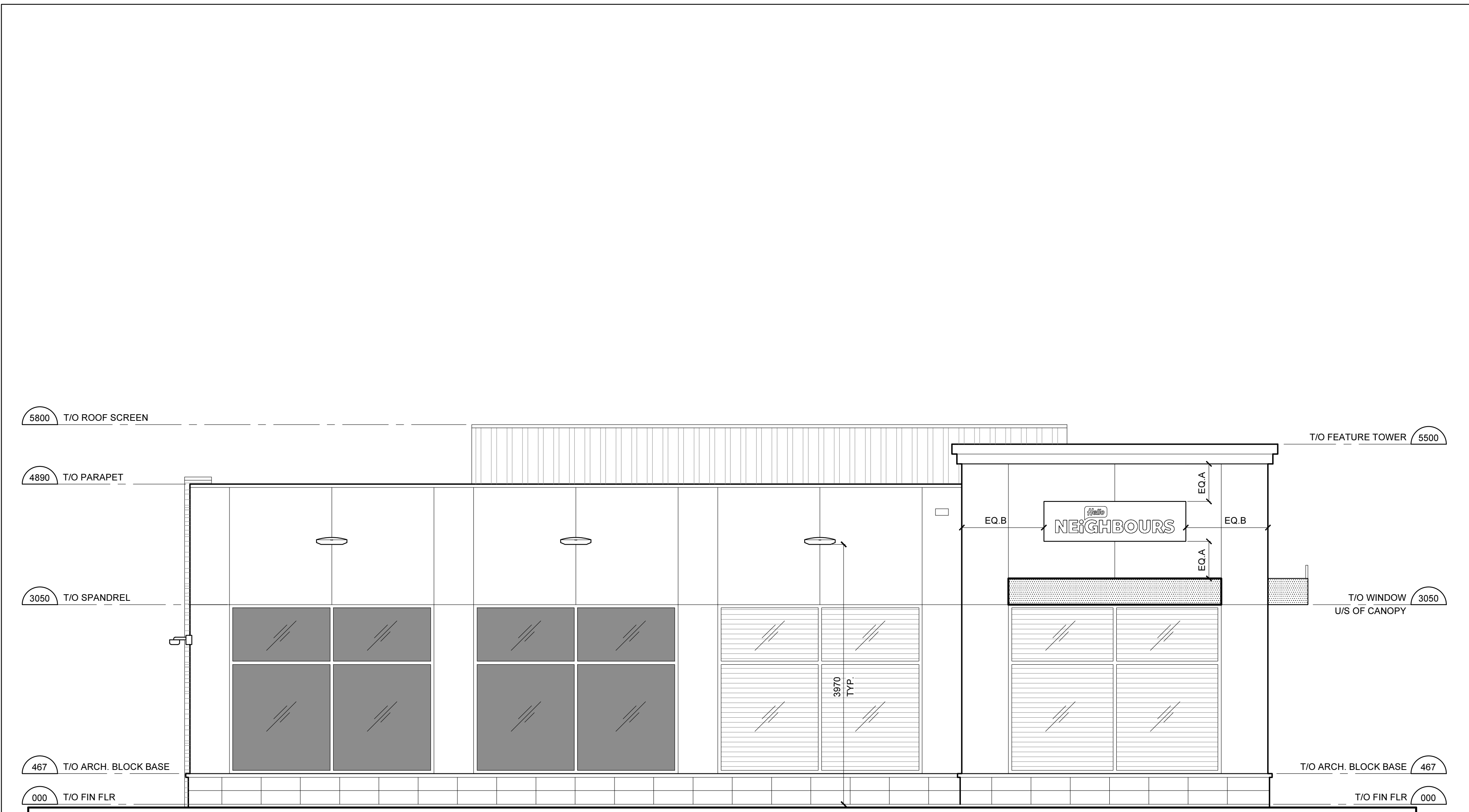
PROJECT
2830 16TH AVE.
@ CACHET WOODS CRT.
MARKHAM, ON

DRAWN	CHECKED
J.N/F.E	
SCALE	DATE
1:200	2025-08-28
PROJECT NO.	DRAWING NO.
34871	SP1

34871 - SP1 - 2025-11-03.dwg 07:57:04 11/04/2025

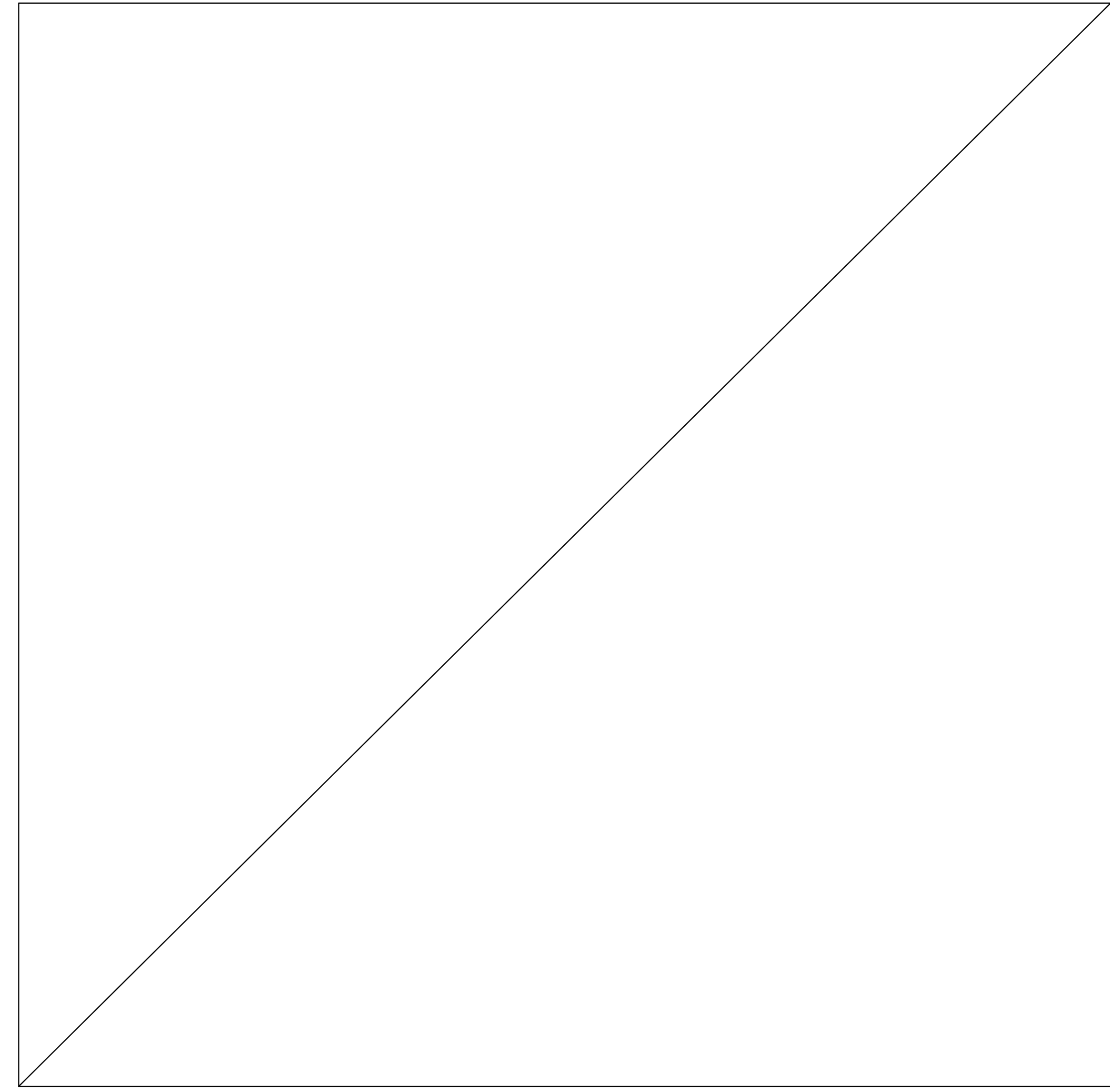


1 SOUTH ELEVATION
SCALE: 1:50



2 EAST ELEVATION
SCALE: 1:50

	ELEVATION WITHIN 16m ABOVE GRADE					
	NORTH	SOUTH	EAST	WEST	TOTAL (m ²)	TOTAL (%)
GLAZING AREA (m ²)	12.4	31.4	14.8	8.9	67.5	100%
UNTREATED AREA (m ²)	3.0	3.0	0	2.1	8.1	12.0%
TREATED AREA (m ²) BY VISUAL MARKER	9.4	28.4	14.8	6.8	59.4	88.0%



3 N/A
SCALE:

REVISION TABLE		
REV.	DESCRIPTION	DRAWN APP'D. DATE

ISSUE TABLE		
TO	FOR	DATE
OWNER	ISSUED FOR REVIEW	06 AUG 24

METRIC
ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. CONTRACTOR TO CHECK/VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED TO THE PROJECT DESIGNER. DO NOT SCALE DRAWINGS.

SEAL:

CONSULTANT:
K PAUL ARCHITECT INC.
TORONTO • VANCOUVER • ORLANDO
2660 Sherwood Heights Dr. Suite 200, Oakville, Ontario, L4J 7Y8
www.kpaularchitect.com
(905)337-9800 Fax: (905)337-1986



DRAWING TITLE:
EXTERIOR ELEVATIONS

PROJECT:
**NEIGHBOURS N3000(A&W)
2830 16TH AVE
MARKHAM, ON**

DRAWN BY: RG	CAD INFO: SHEET SIZE: D (559 x 864)
DRAWING SCALE: 1:50	PETRO-CANADA CAD FILE No.
DATE DRAWN: JULY 2024	CONSULTANT CAD FILE No.
CHECKED BY:	PLOT SCALE
APPROVED BY:	PLOT DATE
	PLOT CONFIGURATION

STD No./OUTLET No. **34871** **A2.1**



1 NORTH ELEVATION
SCALE: 1:50



2 WEST ELEVATION
SCALE: 1:50

3 N/A
SCALE: N.T.S.

REVISION TABLE

REV.	DESCRIPTION	DRAWN	APP'D.	DATE

ISSUE TABLE

TO	FOR	DATE
OWNER	ISSUED FOR REVIEW	06 AUG 24

METRIC

ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. CONTRACTOR TO CHECK/VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED TO THE PROJECT DESIGNER. DO NOT SCALE DRAWINGS.

SEAL:

CONSULTANT:

 TORONTO • VANCOUVER • ORLANDO
 2660 Sherwood Heights Dr. Suite 200, Oakville, Ontario, L4J 7Y8
 www.kpaularchitect.com
 (905) 337-9800 Fax: (905) 337-1986



DRAWING TITLE:
EXTERIOR ELEVATIONS

PROJECT:
NEIGHBOURS N3000(A&W)
2830 16TH AVE
 MARKHAM, ON

DRAWN BY:	RG	CAD INFO:	SHEET SIZE
DRAWING SCALE:	1:50		D (559 x 864)
DATE DRAWN:	JULY 2024		PETRO-CANADA
CHECKED BY:			CAD FILE No.
APPROVED BY:			CONSULTANT
			CAD FILE No.
			PLOT SCALE
			PLOT DATE
			PLOT CONFIGURATION

STD No./OUTLET No. 34871 A2.2

	ELEVATION WITHIN 16m ABOVE GRADE					
	NORTH	SOUTH	EAST	WEST	TOTAL (m²)	TOTAL (%)
GLAZING AREA (m²)	33.62	12.45	8.62	15.07	69.76	100%
UNTREATED AREA (m²)	2.96	2.96	1.0	0	6.92	9.9%
TREATED AREA (m²) BY VISUAL MARKER	30.66	9.49	7.62	15.07	62.84	90.1%

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST
 Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS
 A. At Grade Condition (check to confirm the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m2 and within 16m from finished grade.
- Development contains no glass greater than 2m2 within 16m from finished grade.

B. Roof Landscape Condition (check to confirm one of the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m2 and within 16m from roof level finished grade.
- Development contains no glass panel within 16m from roof level finished grade.

Treatment (check to confirm one of the below is applied)
 * Refer to Guidelines for requirements

	A) At Grade	B) Roof Landscape
Stripes	<input type="checkbox"/>	<input type="checkbox"/>
Dots	<input type="checkbox"/>	<input type="checkbox"/>
Netting	<input type="checkbox"/>	<input type="checkbox"/>
Frit and Etched Patterns	<input type="checkbox"/>	<input type="checkbox"/>

Specifications (check to confirm one of the below is applied)

- Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.
- Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST ELECTRICAL ENGINEERING
 Applicant to include checklist on Electrical Engineering Drawing(s) at first landscape plan submission. Drawing(s) to be stamped and signed by a P.Eng.

MANDATORY LIGHTING CRITERIA FOR ALL DEVELOPMENTS
 (check to confirm below is applied)

- The use of exterior up lighting is eliminated.
- There is no exterior light spill outside of property line.

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST LANDSCAPE
 Applicant to include checklist on Landscape Plan(s) and Detail(s) at first submission. Drawing(s) to be stamped and signed by a Landscape Architect who is a full member, in good standing, of the Ontario Association of Landscape Architects.

Lighting Specifications (check to confirm below is applied)

- Where exterior lighting is proposed within the development, Landscape Details include lighting specifications.
- The following notation is included on Landscape Plans: "All lighting is to be downlit and dark sky compliant. No exterior light spill is permitted outside of the property line."

REVISION TABLE		
REV.	DESCRIPTION	DRAWN / APP'D. DATE

ISSUE TABLE		
TO	FOR	DATE
CITY	ISSUED FOR SITE PLAN APPROVAL	2025/09/30

METRIC
 ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. CONTRACTOR TO CHECK/VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED TO THE PROJECT DESIGNER. DO NOT SCALE DRAWINGS.



CONSULTANT:
K PAUL ARCHITECT INC.
 TORONTO-VANCOUVER-CALGARY-ORLANDO
 2860 SHERWOOD HEIGHTS DRIVE, SUITE #200, OAKVILLE, ON L6J 7Y8

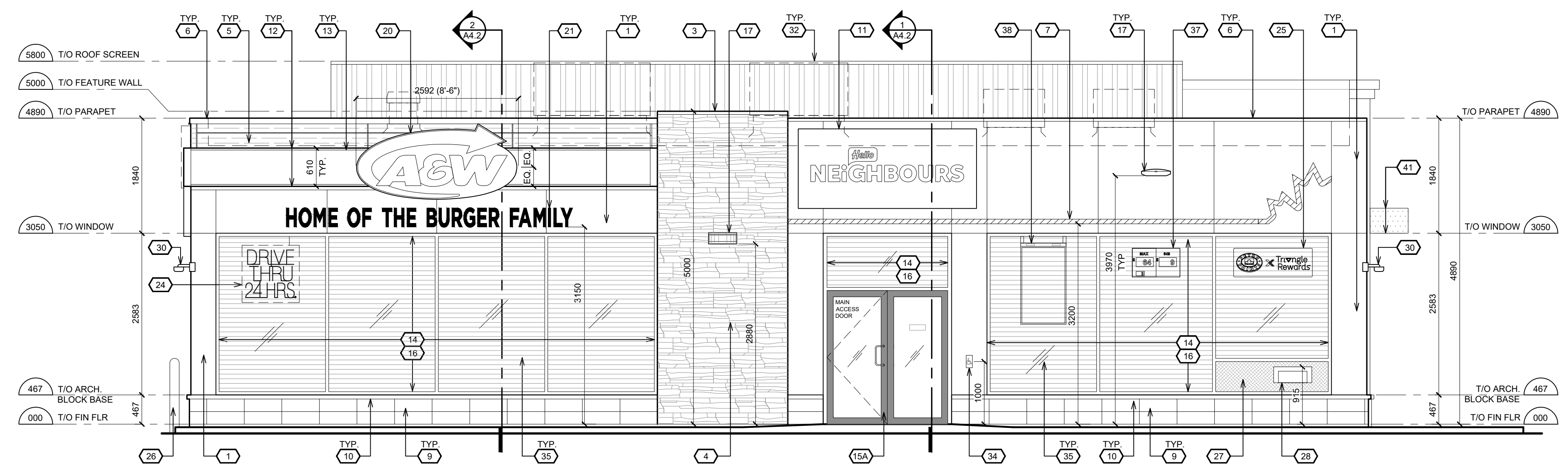


DRAWING TITLE:
EXTERIOR ELEVATIONS

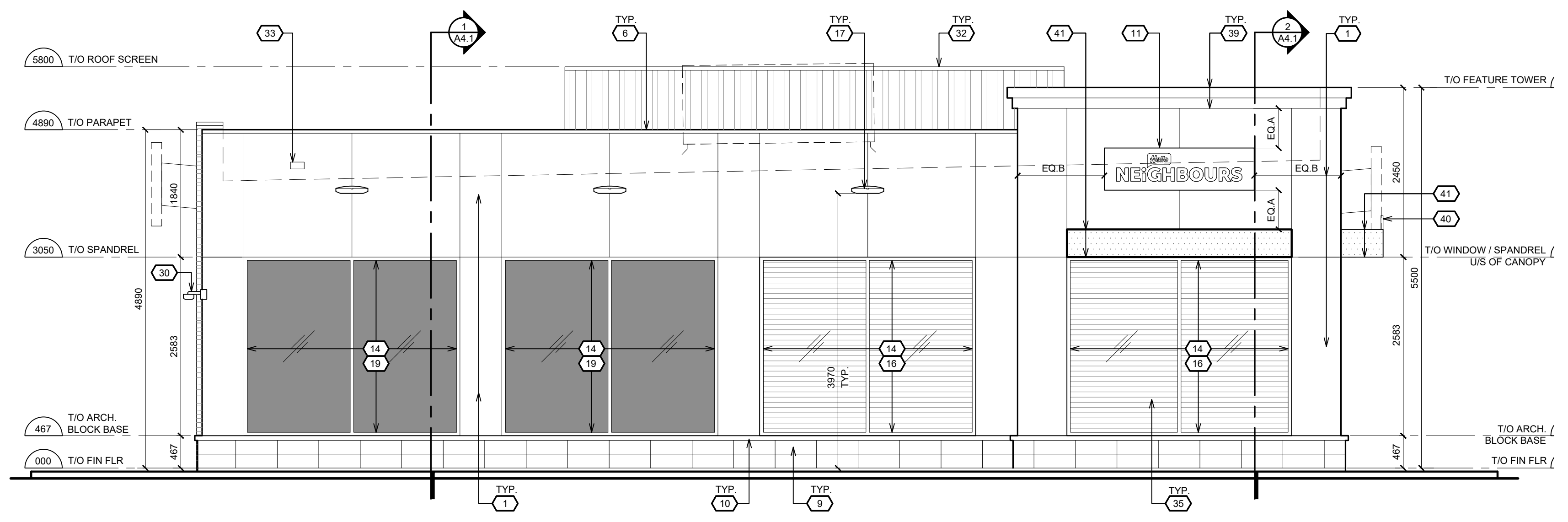
PROJECT:
 NEIGHBOURS N3200AW-D
 2830 16TH AVE
 MARKHAM, ON
 CITY FILE NO: PRCN 23 139251 000

DRAWN BY: **RG**
 SHEET SIZE: D (559 x 864)
 DRAWING SCALE: **1:50**
 DATE DRAWN: **SEP 2025**
 CHECKED BY: **SEP 2025**
 APPROVED BY: **SEP 2025**

STD No./OUTLET No. **34871**
A3.1



1 NORTH ELEVATION



2 WEST ELEVATION

NO.	PRODUCT	SPECIFICATION & COLOUR
1	ACM WALL PANEL SYSTEM	COLOUR : PCP WHITE
3	METAL FLASHING (STONE WALL)	PAINT TO MATCH COLOUR - SHERWIN WILLIAMS SW 7025 BACKDROP
4	CULTURED STONE WALL FINISH	PRO-FIT ALPINE LEDGESTONE COL. PHEASANT 420117
5	PRE-FINISHED WOOD GRAIN	KNOTWOOD - KED150 COLOUR : ATLANTIC CEDAR (6" DECKING BOARD)
6	METAL FLASHING (PARAPET)	COLOUR TO MATCH: PCP WHITE
7	ILLUMINATED LED RED LEAF BAND	75mm CONTINUOUS ILLUMINATED LED RED LEAF BAND
9	ARCHITECTURAL BLOCK BASE	SHOULDRICE DESIGNER STONE TEXTURE : TEX-STONE COLOUR : GALAXY SIZE: 393mm x 190mm x 190mm H STACKED APPLICATION
10	ARCHITECTURAL SILL CAP	SHOULDRICE DESIGNER STONE 224 SLOPED SILL, COLOUR: GALAXY
11	INTERNALLY ILLUMINATED SIGN (C-STORE)	COLOUR : A&W ORANGE
12	ILLUMINATED BOOMERANG LIGHT BOX	COLOUR : A&W ORANGE (PANTONE 165 C)
13	FLASHING (A&W BOOMERANG)	COLOUR : CLEAR ANODIZED
14	ALUMINUM WINDOW FRAMING	COLOUR : BLACK ANODIZED
15A	ALUMINUM DOOR LEAF FRAME	COLOUR : CLEAR ANODIZED
15B	ALUMINUM DOOR LEAF FRAME	COLOUR : CLEAR ANODIZED
16	THERMAL PANE GLASS	DOUBLE GLAZED
17	EXTERIOR LIGHT FIXTURE	FIXTURE COLOUR: BLACK
18	DRIVE-THRU WINDOW	COLOUR : CLEAR ANODIZED
19	SPANDREL GLASS PANEL	PPG EXTRUSION COATINGS: DURANAR COATINGS - UC43352 COLONIAL GRAY (OR APPROVED EQUAL)
20	INTERNALLY ILLUMINATED SIGN (A&W)	COLOUR : BLACK
21	NON ILLUMINATED LETTER SIGN (A&W)	SURFACE MOUNTED
22	A&W POSTER SNAP FRAME	INTERIOR SUSPENDED
24	A&W 'DRIVE-THRU ILLUMINATED SIGN	DOUBLE SIDES OPAQUE WINDOW APPLIED VINYL
25	PETRO-POINTS / TRIANGLE REWARD CLING	C/W PVC BOLLARD SLEEVE COLOUR : ORANGE (WITH WHITE TAPE) SPEC: POST GUARD BOLLARD COVER GL1385HD OR EQUAL
26	CONC. FILLED BOLLARD	COLOUR : CLEAR ANODIZED
27	INSULATED PANEL	SECURITY DRAWER
28	SECURITY DRAWER	COLOUR : SILVER ALUMINUM
30	PASS-THRU 360 CAMERA	32mm VERTICAL 24 GA. WF012036 ROOF SCREEN METAL CLADDING, FASTENED TO STRUCTURAL FRAMING.
32	METAL CLAD ROOF SCREEN	PAINT TO MATCH ADJACENT SURFACE
33	ROOF SCUPPER	DECORATIVE FILMS - SOLYX® BIRD SAFETY WINDOW FILMS
34	DOOR OPERATOR PUSH BUTTON	EXTERNAL SANIMAX TANK
35	FEATHER FRIENDLY WINDOW FILMS	LOTTO DIGITAL PANEL
36	EXTERNAL SANIMAX TANK	INTERIOR SUSPENDED
37	LOTTO DIGITAL PANEL	INTERIOR SUSPENDED
38	CINEPLEX DIGITAL MEDIA SCREEN	COLOUR : VIGWEST "CAMBRIDGE" WHITE (OR APPROVAL EQUAL)
39	METAL COVERED CORNICE	COLOUR : BLACK
40	NON-ILLUMINATED WELCOME LETTER SIGN	COLOUR : MATTE BLACK
41	METAL ENTRANCE CANOPY	COLOUR : CHARCOAL
42	A&W WINDOW FILMS	

3 EXTERIOR FINISH SCHEDULE
 SCALE: N.T.S.

BIRD-FRIENDLY DESIGN STATISTICS	ELEVATION WITHIN 16m ABOVE GRADE					
	NORTH	SOUTH	EAST	WEST	TOTAL (m²)	TOTAL (%)
GLAZING AREA (m²)	33.62	12.45	8.62	15.07	69.76	100%
UNTREATED AREA (m²)	2.96	2.96	1.0	0	6.92	9.9%
TREATED AREA (m²) BY VISUAL MARKER	30.66	9.49	7.62	15.07	62.84	90.1%

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST
 Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS
 A. At Grade Condition (check to confirm the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from finished grade.
- Development contains no glass greater than 2m² within 16m from finished grade.

B. Roof Landscape Condition (check to confirm one of the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from roof level finished grade.
- Development contains no glass panel within 16m from roof level finished grade.

Treatment (check to confirm one of the below is applied)
 * Refer to Guidelines for requirements

	A) At Grade	B) Roof Landscape
Stripes	<input type="checkbox"/>	<input type="checkbox"/>
Dots	<input type="checkbox"/>	<input type="checkbox"/>
Netting	<input type="checkbox"/>	<input type="checkbox"/>
Frit and Etched Patterns	<input type="checkbox"/>	<input type="checkbox"/>

Specifications (check to confirm one of the below is applied)

- Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.
- Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST ELECTRICAL ENGINEERING
 Applicant to include checklist on Electrical Engineering Drawing(s) at first landscape plan submission. Drawing(s) to be stamped and signed by a P.Eng.

MANDATORY LIGHTING CRITERIA FOR ALL DEVELOPMENTS
 (check to confirm below is applied)

- The use of exterior up lighting is eliminated.
- There is no exterior light spill outside of property line.

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST LANDSCAPE
 Applicant to include checklist on Landscape Plan(s) and Detail(s) at first submission. Drawing(s) to be stamped and signed by a Landscape Architect who is a full member, in good standing, of the Ontario Association of Landscape Architects.

Lighting Specifications (check to confirm below is applied)

- Where exterior lighting is proposed within the development, Landscape Details include lighting specifications.
- The following notation is included on Landscape Plans: "All lighting is to be downlit and dark sky compliant. No exterior light spill is permitted outside of the property line."

REVISION TABLE		
REV.	DESCRIPTION	DRAWN / APP'D. DATE

ISSUE TABLE		
TO	FOR	DATE
CITY	ISSUED FOR SITE PLAN APPROVAL	2025/09/30

METRIC
 ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. CONTRACTOR TO CHECK/VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED TO THE PROJECT DESIGNER. DO NOT SCALE DRAWINGS.



CONSULTANT:
K PAUL ARCHITECT INC.
 TORONTO-VANCOUVER-CALGARY-ORLANDO
 2660 SHERWOOD HEIGHTS DRIVE, SUITE #200, OAKVILLE, ON L6J 7Y8

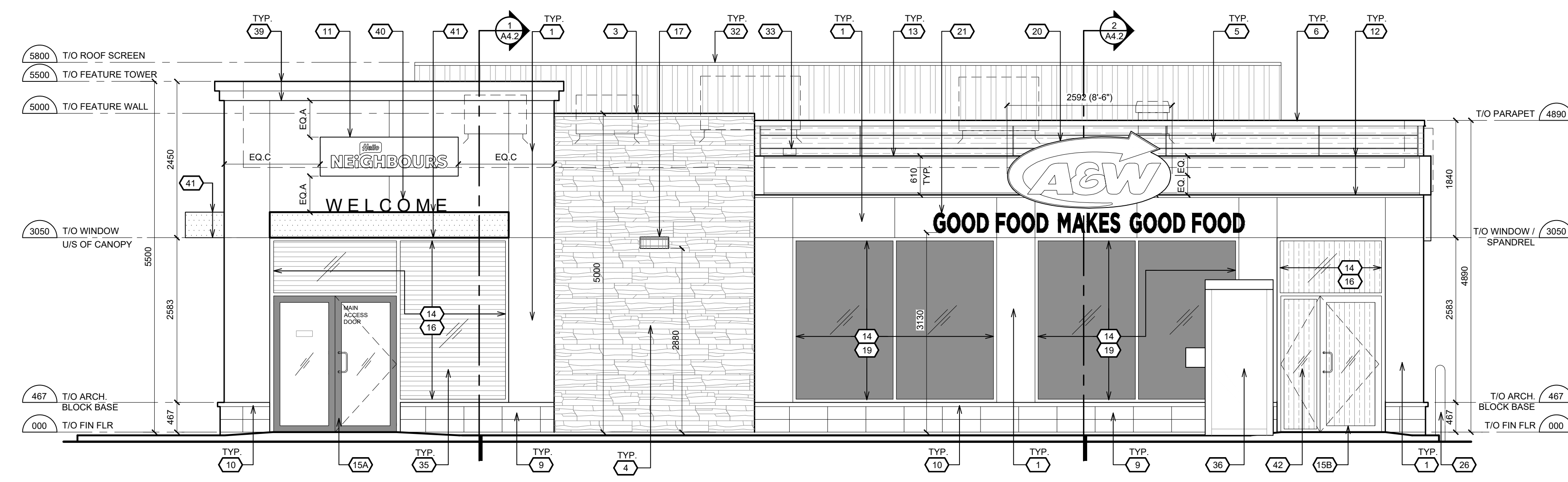


DRAWING TITLE:
EXTERIOR ELEVATIONS

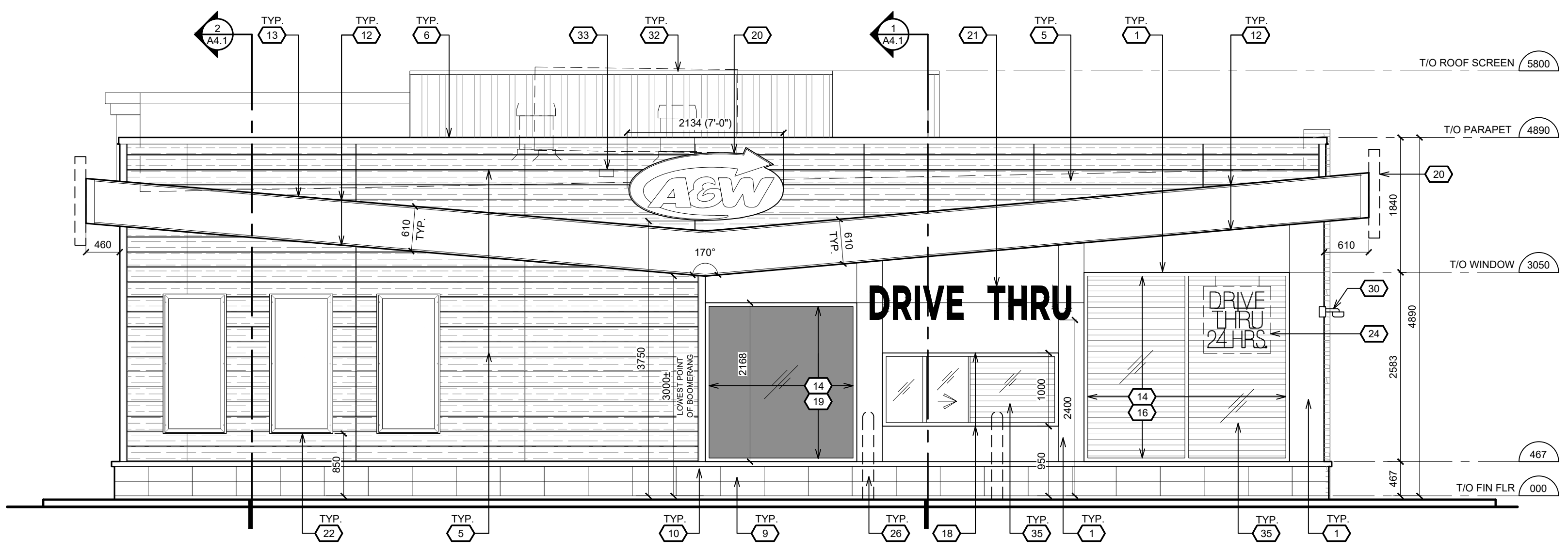
PROJECT:
 NEIGHBOURS N3200AW-D
 2830 16TH AVE
 MARKHAM, ON
 CITY FILE NO: PRCN 23 139251 000

DRAWN BY: **RG**
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 DRAWING SCALE: **1:50**
 DATE DRAWN: **SEP 2025**
 CHECKED BY:
 APPROVED BY:

STD No./OUTLET No. **34871**
A3.2



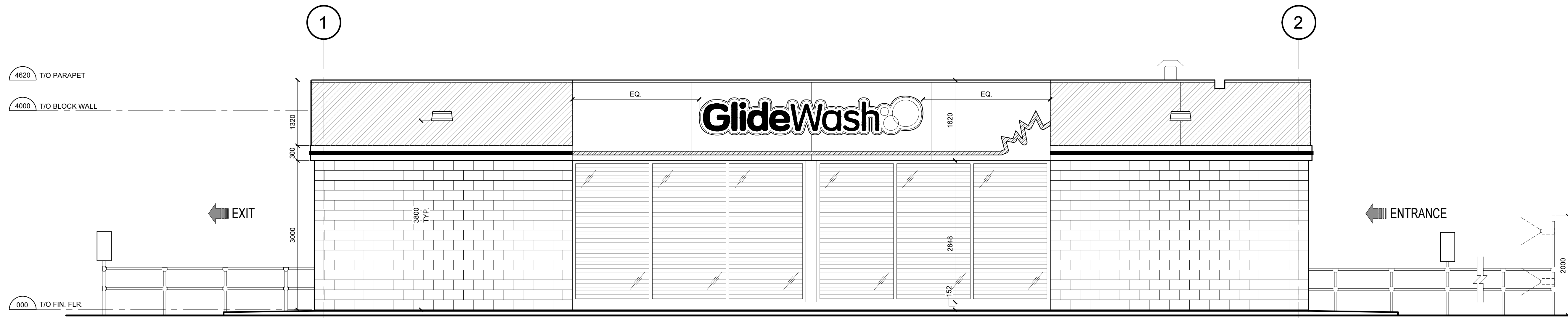
1 SOUTH ELEVATION



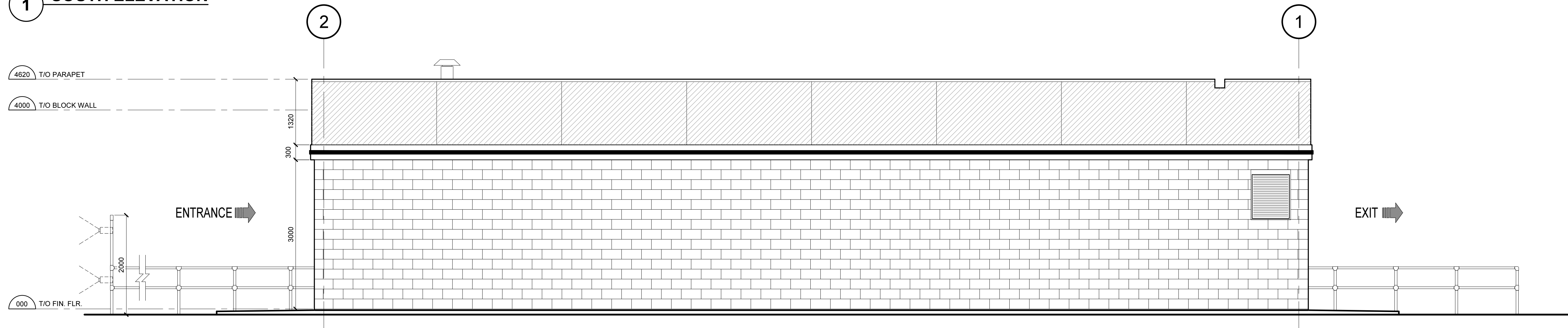
2 EAST ELEVATION

NO.	PRODUCT	SPECIFICATION & COLOUR
1	ACM WALL PANEL SYSTEM	COLOUR : PCP WHITE
3	METAL FLASHING (STONE WALL)	PAINT TO MATCH COLOUR - SHERWIN WILLIAMS SW 7025 BACKDROP
4	CULTURED STONE WALL FINISH	PRO-FIT ALPINE LEDGESTONE COL. PHEASANT 420117
5	PRE-FINISHED WOOD GRAIN	KNOTWOOD - KED150 COLOUR : ATLANTIC CEDAR (6" DECKING BOARD)
6	METAL FLASHING (PARAPET)	COLOUR TO MATCH: PCP WHITE
7	ILLUMINATED LED RED LEAF BAND	75mm CONTINUOUS ILLUMINATED LED RED LEAF BAND
9	ARCHITECTURAL BLOCK BASE	SHOULDRICE DESIGNER STONE TEXTURE : TEX-STONE COLOUR : GALAXY SIZE: 390mm x 190mm x 190mm H STACKED APPLICATION
10	ARCHITECTURAL SILL CAP	SHOULDRICE DESIGNER STONE 224 SLOPED SILL, COLOUR: GALAXY
11	INTERNALLY ILLUMINATED SIGN (C-STORE)	COLOUR : A&W ORANGE
12	ILLUMINATED BOOMERANG LIGHT BOX	COLOUR : A&W ORANGE
13	FLASHING (A&W BOOMERANG)	COLOUR TO MATCH : A&W ORANGE (PANTONE 165 C)
14	ALUMINUM WINDOW FRAMING	COLOUR : CLEAR ANODIZED
15A	ALUMINUM DOOR LEAF FRAME	COLOUR : BLACK ANODIZED
15B	ALUMINUM DOOR LEAF FRAME	COLOUR : CLEAR ANODIZED
16	THERMAL PANE GLASS	DOUBLE GLAZED
17	EXTERIOR LIGHT FIXTURE	FIXTURE COLOUR: BLACK
18	DRIVE-THRU WINDOW	COLOUR : CLEAR ANODIZED
19	SPANDREL GLASS PANEL	PPG EXTRUSION COATINGS: DURANAR COATINGS - UC43352 COLONIAL GRAY (OR APPROVED EQUAL)
20	INTERNALLY ILLUMINATED SIGN (A&W)	COLOUR : BLACK
21	NON ILLUMINATED LETTER SIGN (A&W)	COLOUR : BLACK
22	A&W POSTER SNAP FRAME	SURFACE MOUNTED
24	A&W 'DRIVE-THRU ILLUMINATED SIGN	INTERIOR SUSPENDED
25	PETRO-POINTS / TRIANGLE REWARD CLING	DOUBLE SIDES OPAQUE WINDOW APPLIED VINYL
26	CONC. FILLED BOLLARD	C/W PVC BOLLARD SLEEVE COLOUR : ORANGE (WITH WHITE TAPE) SPEC: POST GUARD BOLLARD COVER GL1385HD OR EQUAL
27	INSULATED PANEL	COLOUR : CLEAR ANODIZED
28	SECURITY DRAWER	COLOUR : SILVER ALUMINUM
30	PASS-THRU 360 CAMERA	
32	METAL CLAD ROOF SCREEN	32mm VERTICAL 24 GA. WF012036 ROOF SCREEN METAL CLADDING, FASTENED TO STRUCTURAL FRAMING. PAINT: BENJAMIN MOORE CC-20 DECORATOR'S WHITE OR EQUAL
33	ROOF SCUPPER	PAINT TO MATCH ADJACENT SURFACE
34	DOOR OPERATOR PUSH BUTTON	
35	FEATHER FRIENDLY WINDOW FILMS	DECORATIVE FILMS - SOLYX® BIRD SAFETY WINDOW FILMS
36	EXTERNAL SANIMAX TANK	
37	LOTTO DIGITAL PANEL	INTERIOR SUSPENDED
38	CINEPLEX DIGITAL MEDIA SCREEN	INTERIOR SUSPENDED
39	METAL COVERED CORNICE	COLOUR : VICWEST "CAMBRIDGE" WHITE (OR APPROVAL EQUAL)
40	NON-ILLUMINATED WELCOME LETTER SIGN	COLOUR : BLACK
41	METAL ENTRANCE CANOPY	COLOUR : MATTE BLACK
42	A&W WINDOW FILMS	COLOUR: CHARCOAL

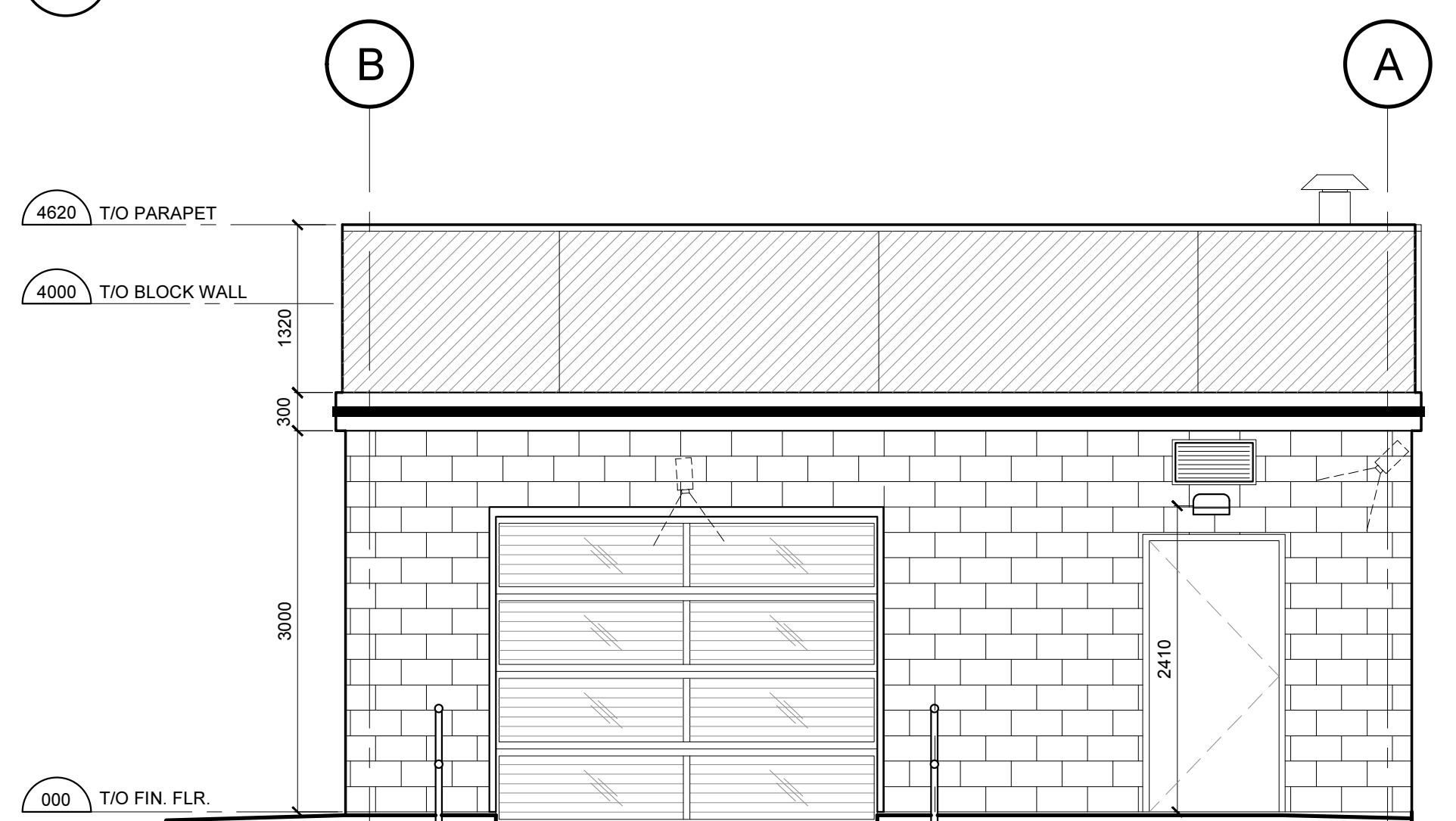
3 EXTERIOR FINISH SCHEDULE
 SCALE: N.T.S.



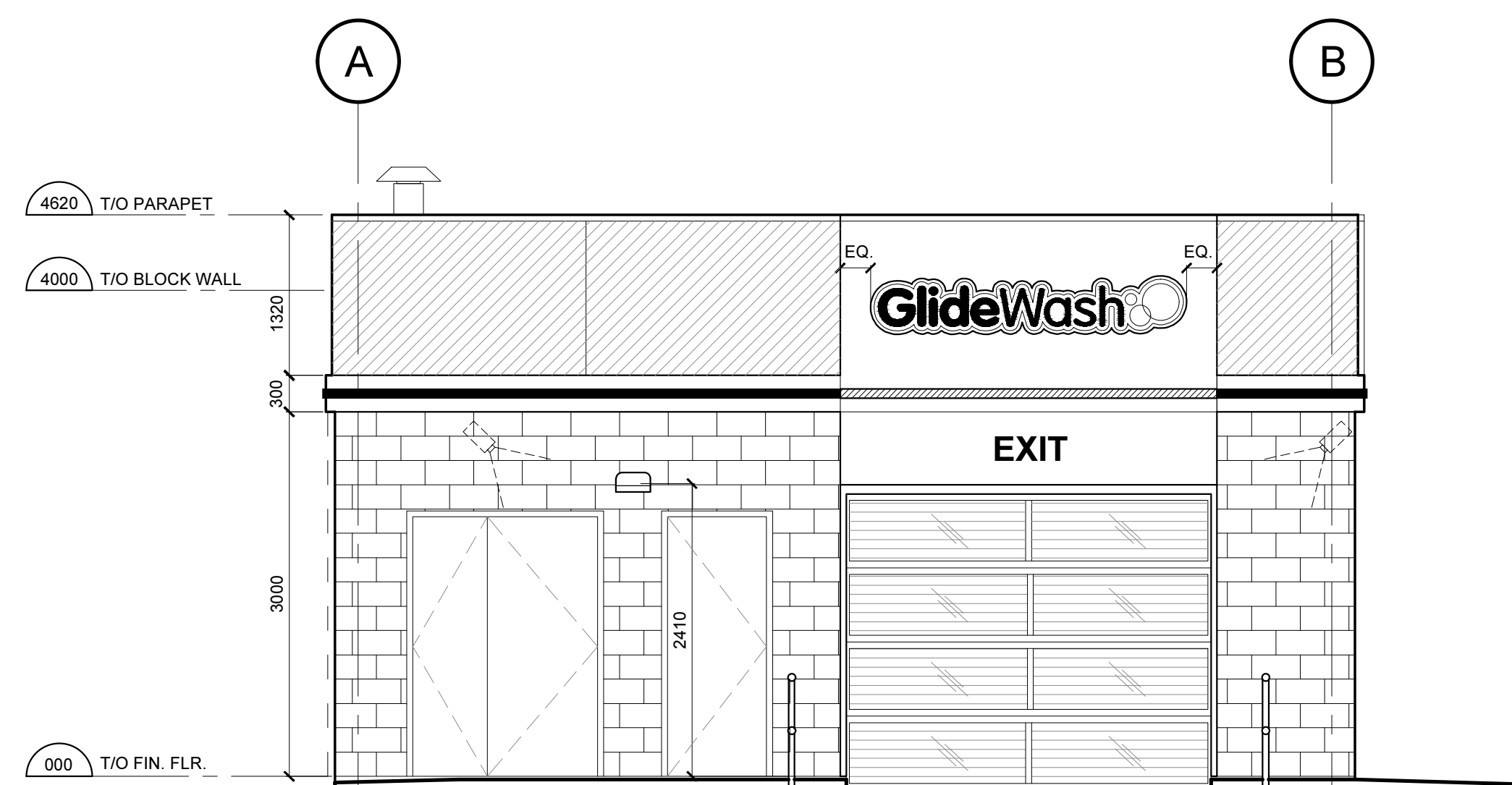
1 SOUTH ELEVATION



2 NORTH ELEVATION



3 EAST ELEVATION



4 WEST ELEVATION

BIRD-FRIENDLY DESIGN STATISTICS						
	ELEVATION WITHIN 16m ABOVE GRADE					
	NORTH	SOUTH	EAST	WEST	TOTAL (m ²)	TOTAL (%)
GLAZING AREA (m ²)	0	24.1	5.9	5.9	35.9	100%
UNTREATED AREA (m ²)	0	0	0	0	0	0%
TREATED AREA (m ²) BY VISUAL MARKER	0	24.1	5.9	5.9	35.9	100%

REVISION TABLE		
REV.	DESCRIPTION	DRAWN/ APP'D. DATE
A1	NEW INTAKE LOUVER AT ELEC. ROOM	31 JUN 23

ISSUE TABLE		
TO	FOR	DATE
OWNER	ISSUED FOR REVIEW	06 AUG 24

METRIC
ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. CONTRACTOR TO CHECK/VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED TO THE PROJECT DESIGNER. DO NOT SCALE DRAWINGS.

SEAL:

CONSULTANT:
K PAUL ARCHITECT INC.
TORONTO • VANCOUVER • ORLANDO
2660 Sherwood Heights Dr. Suite 200, Oakville, Ontario, L4J 7Y8
www.kpaularchitect.com
(905)337-9800 Fax: (905)337-1986



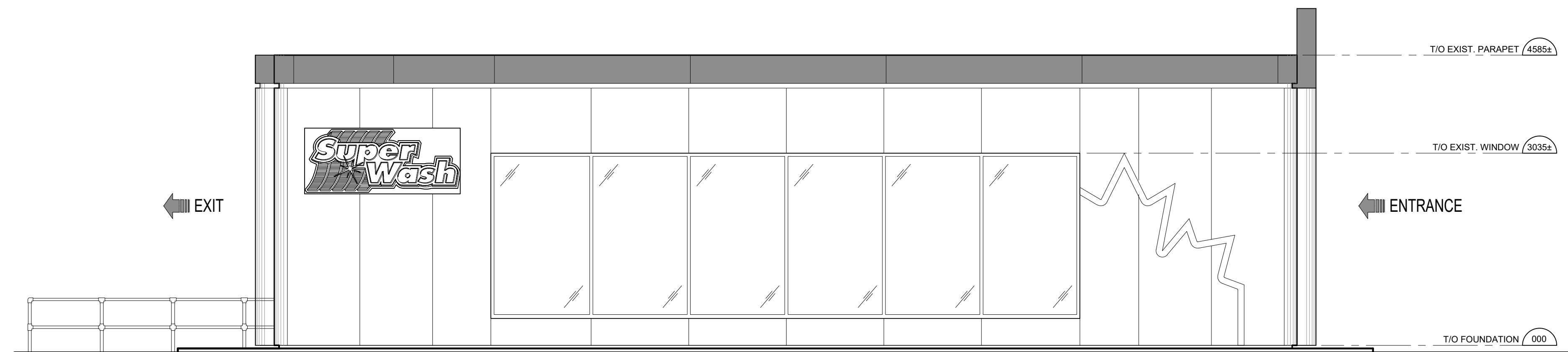
DRAWING TITLE:
EXTERIOR ELEVATIONS

PROJECT:
**GLIDE CAR WASH
2830 16TH AVE
MARKHAM, ONTARIO**

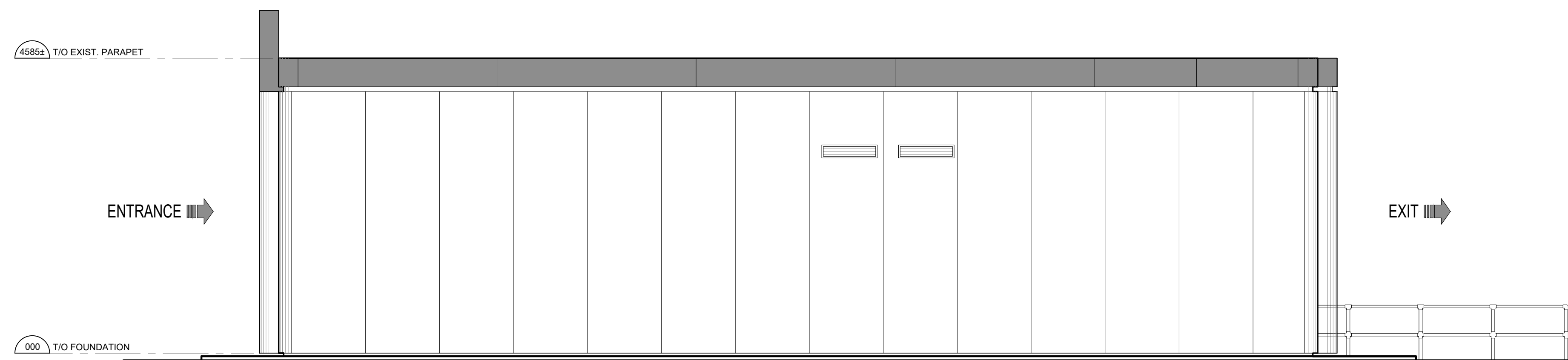
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DRAWING SCALE: **1:50**
DATE DRAWN: **AUG 2023**
CHECKED BY:
APPROVED BY:

CAD INFO:
SHEET SIZE
D (559 x 864)
PETRO-CANADA
CAD FILE No.
CONSULTANT
CAD FILE No.
PLOT SCALE
PLOT DATE
PLOT CONFIGURATION

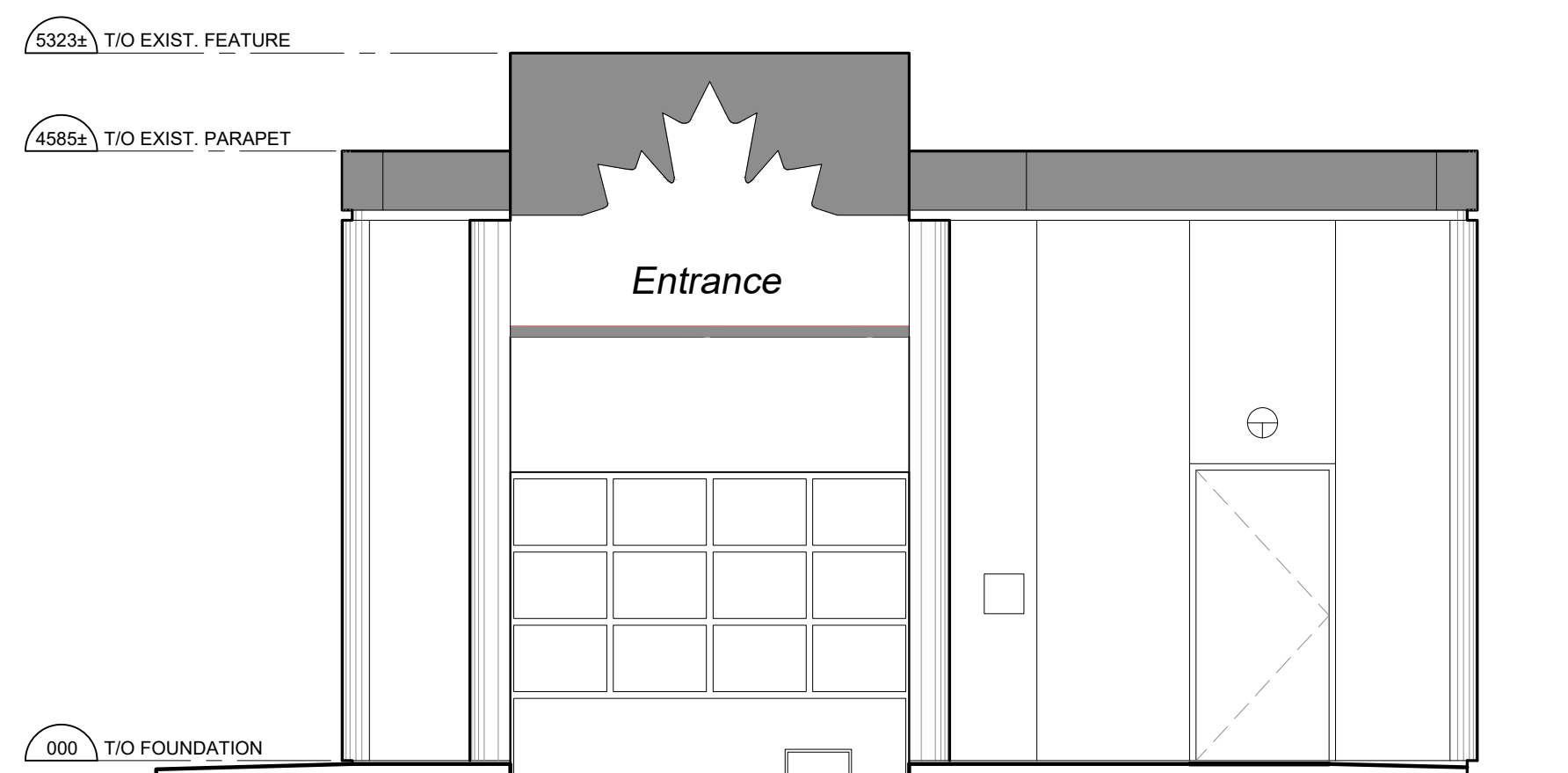
STD No./OUTLET No.
34871 WA02



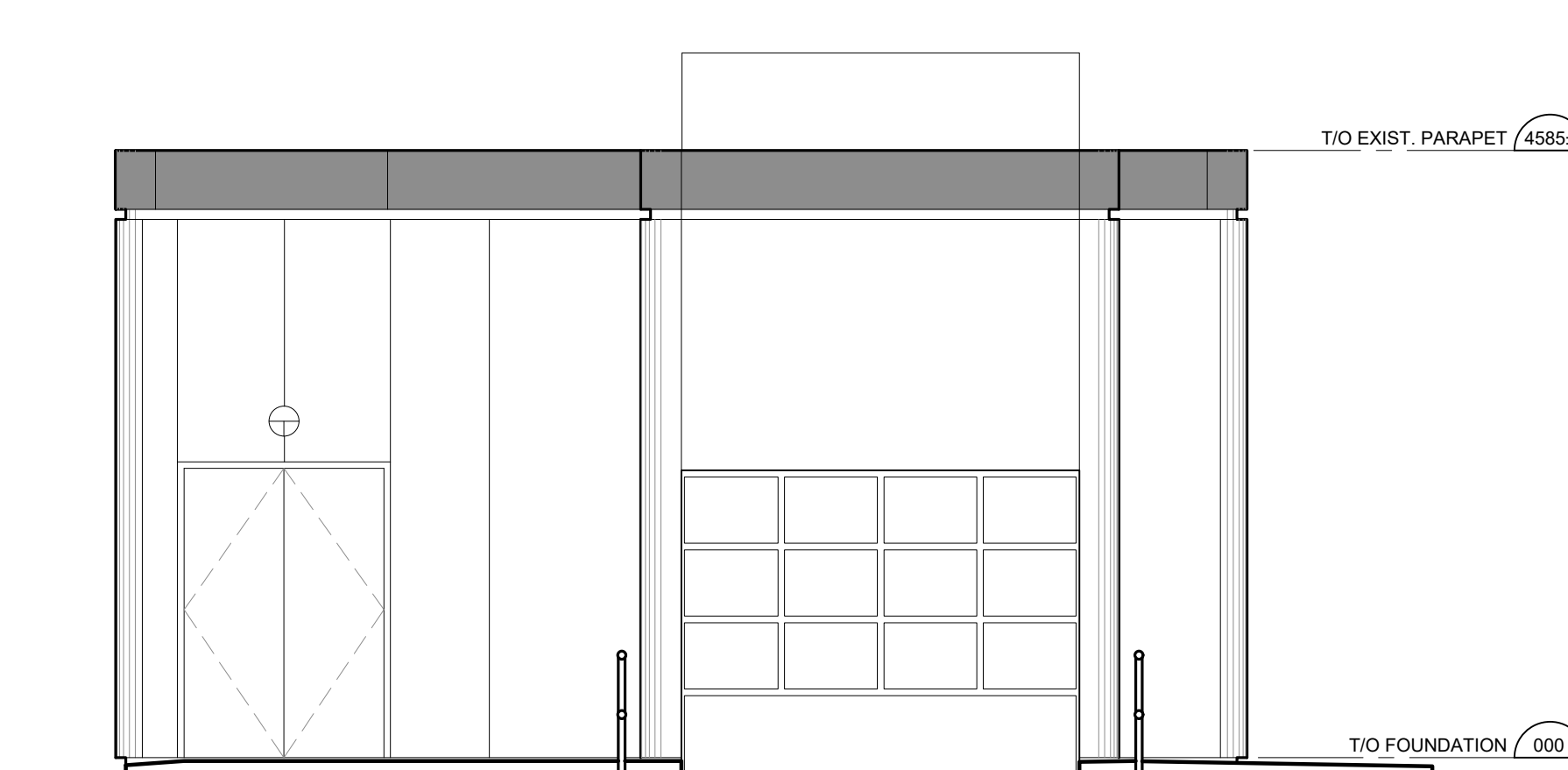
1 SOUTH ELEVATION (EXIST.)



2 NORTH ELEVATION (EXIST.)



3 EAST ELEVATION (EXIST.)



4 WEST ELEVATION (EXIST.)

REVISION TABLE		
REV.	DESCRIPTION	DRAWN / APP'D. DATE

ISSUE TABLE		
TO	FOR	DATE
CITY	ISSUED FOR SITE PLAN APPROVAL	2025/09/30

METRIC
 ALL DIMENSIONS ARE IN MILLIMETRES U.N.O.. CONTRACTOR TO CHECK/VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED TO THE PROJECT DESIGNER. DO NOT SCALE DRAWINGS.



CONSULTANT:
K PAUL ARCHITECT INC.
 TORONTO-VANCOUVER-CALGARY-ORLANDO
 2660 SHERWOOD HEIGHTS DRIVE, SUITE #200, OAKVILLE, ON L6J 7Y8



DRAWING TITLE:
CAR WASH ELEVATIONS (EXISTING)

PROJECT:
 CAR WASH CONVERSION
 2830 16TH AVE
 MARKHAM, ON
 CITY FILE NO: PRCN 23 139251 000

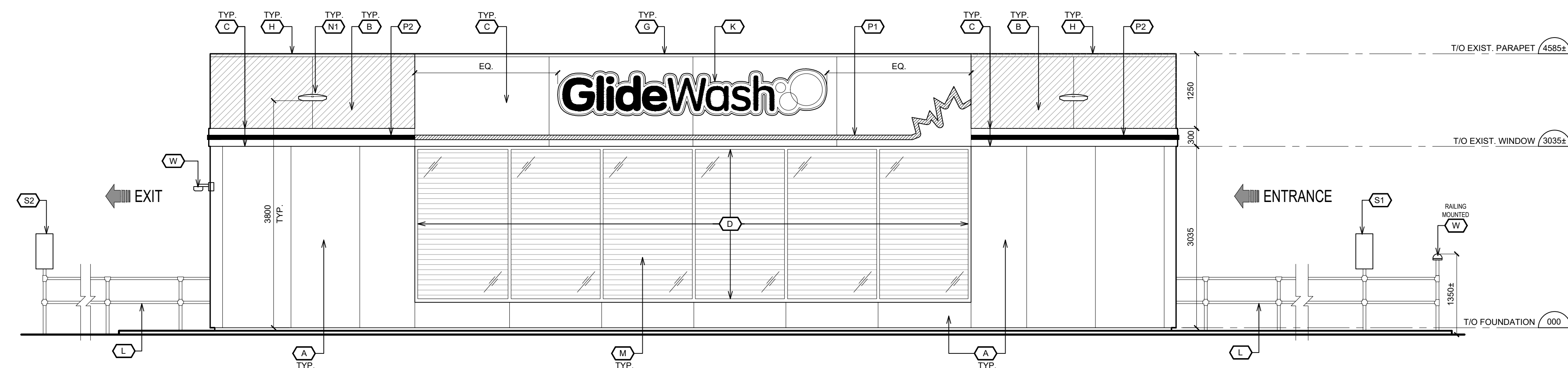
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DRAWING SCALE:	1:50	SHEET SIZE
DATE DRAWN:	SEP 2025	D (559 x 864)
CHECKED BY:		PETRO-CANADA
APPROVED BY:		CAD FILE No.
		CONSULTANT
		CAD FILE No.
		PLOT SCALE
		PLOT DATE
		PLOT CONFIGURATION

STD No./OUTLET No:
34871 **WA02-1**

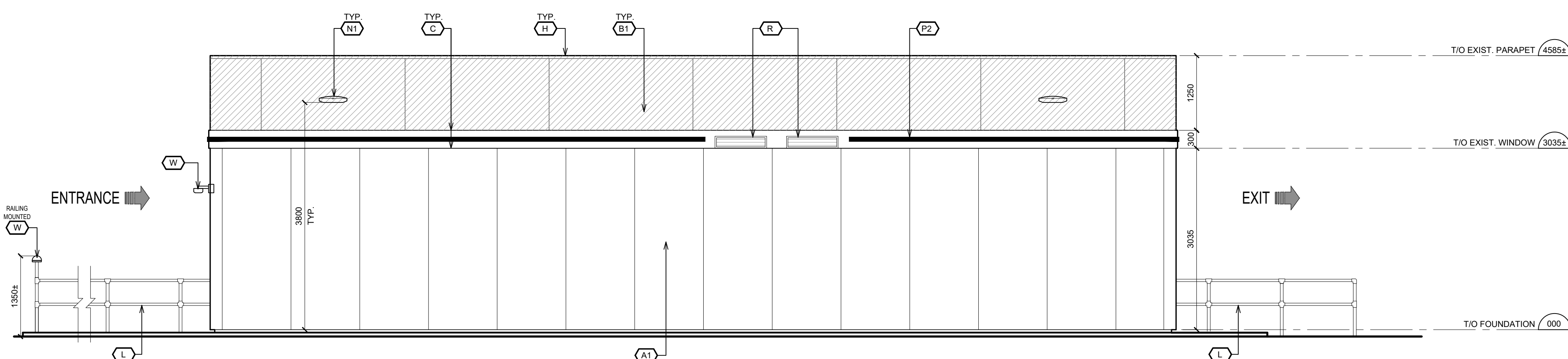
BIRD-FRIENDLY DESIGN STATISTICS						
	ELEVATION WITHIN 16m ABOVE GRADE					TOTAL (%)
	NORTH	SOUTH	EAST	WEST	TOTAL (m ²)	
GLAZING AREA (m ²)	0	18.6	0	0	18.6	100%
UNTREATED AREA (m ²)	0	0	0	0	0	0%
TREATED AREA (m ²) BY VISUAL MARKER	0	18.6	0	0	18.6	100%

NO.	PRODUCT	SPECIFICATION & COLOUR
(A)	ACM COVER SYSTEM (50mm DP)	COLOUR : PCP WHITE
(A1)	NON-COMBUSTIBLE ACM SYSTEM (50mm DP)	OR ALUMINUM COVER PANEL TO MATCH ACM PROFILE COLOUR : PCP WHITE
(B)	ACM COVER SYSTEM (50mm DP)	COLOUR : CASTLE GRAY
(B1)	NON-COMBUSTIBLE ACM SYSTEM (50mm DP)	OR ALUMINUM COVER PANEL TO MATCH ACM PROFILE COLOUR : CASTLE GRAY
(C)	ACM COVER SYSTEM (100mm DP)	COLOUR : PCP WHITE
(D)	WINDOW & FRAME	EXISTING TO REMAIN, (REPLACE WITH NEW IF NECESSARY)
(E)	DOOR & FRAME	EXISTING TO REMAIN, REPAIR TO MATCH : PCP WHITE
(F)	'ALASKA' POLYCARBONATE ROLL-UP DOOR BY AIRLIFT DOORS	NEW UNIT TO SUIT EXISTING WALL OPENING COLOUR : CLEAR ANODIZED, CW FROST PANEL
(G)	PRE-FINISHED METAL FLASHING	COLOUR : PCP WHITE
(H)	PRE-FINISHED METAL FLASHING	PAINT COLOUR TO MATCH (B)
(K)	ILLUMINATED SIGN BOX	BY SIGN COMPANY
(L)	SAFETY RAILING	GALVANIZED METAL - COLOUR : SILVER
(M)	FEATHER FRIENDLY WINDOW FILM	DECORATIVE FILMS - SOLYX® BIRD SAFETY WINDOW FILMS
(N1)	WALL WASHER LIGHT FIXTURE	LED FIXTURE, FIXTURE COLOUR: BLACK
(N2)	WALL PAK LIGHT FIXTURE	LED FIXTURE, FIXTURE COLOUR: BLACK
(P1)	ILLUMINATED RED LED LEAF BAND	COLOUR: PCP RED, PROVIDED BY SIGN COMPANY
(P2)	NON-ILLUMINATED RED BAND	COLOUR: PCP RED, PROVIDED BY SIGN COMPANY
(Q)	8" VINYL LETTER SIGN	COLOUR: PCP RED, PROVIDED BY SIGN COMPANY
(R)	INTAKE LOUVER (EXIST.)	TO BE CLEANED
(S1)	ENTRANCE TRAFFIC SIGNAL	TO BE SECURED AT RAILING
(S2)	EXIT TRAFFIC SIGNAL	TO BE SECURED AT RAILING
(W)	SECURITY CAMERA	FINAL INSTALLATION / POSITION TO BE SET UP BY SUNCOR TEAM ON SITE
(SN1)	NO PERSONNEL DECAL	REFER TO SAFETY SIGN DRAWING STANDARDS FOR DETAILS
(SN2)	PPE SAFETY DECAL	REFER TO SAFETY SIGN DRAWING STANDARDS FOR DETAILS

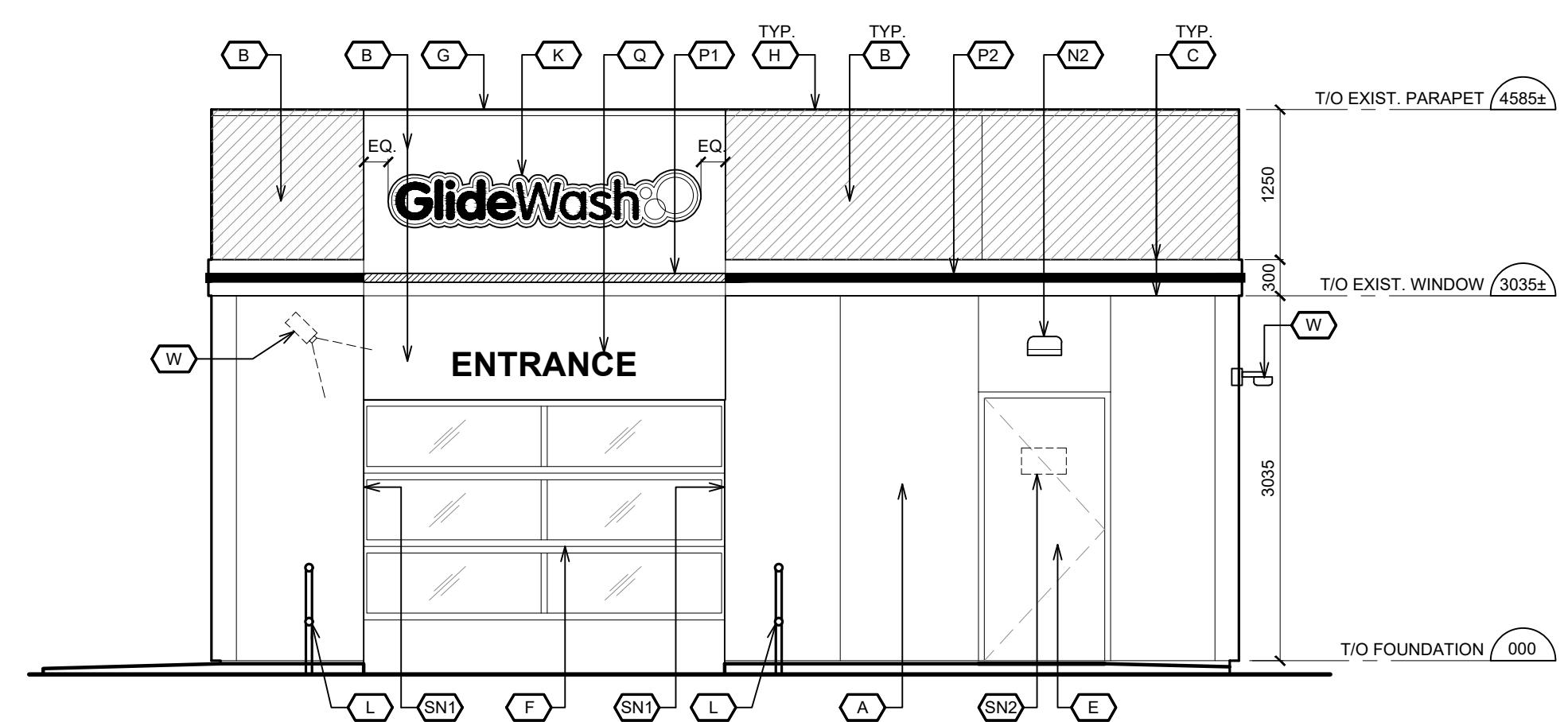
5 FINISH SCHEDULE



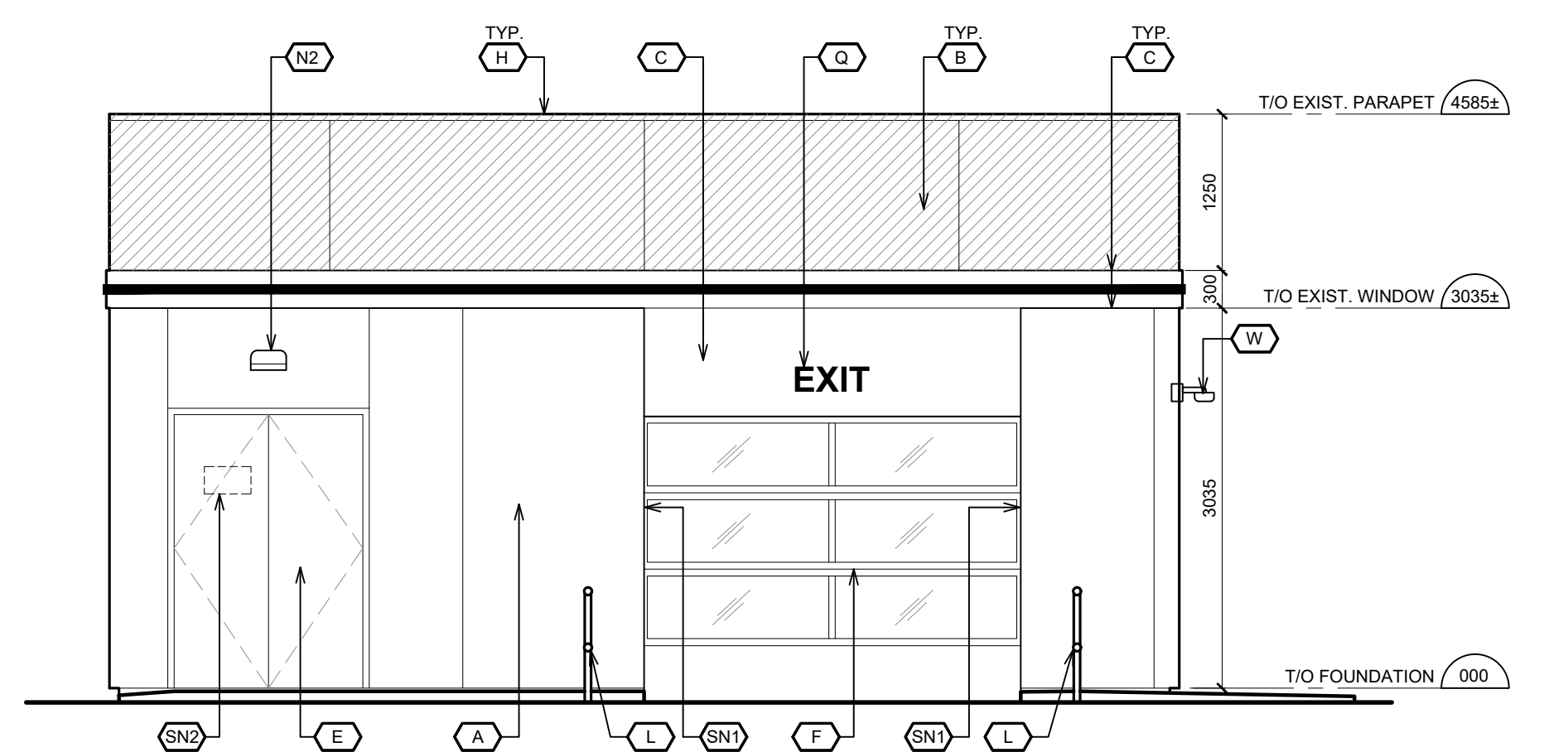
1 SOUTH ELEVATION (PROPOSED)



2 NORTH ELEVATION (PROPOSED)



3 EAST ELEVATION (PROPOSED)



4 WEST ELEVATION (PROPOSED)

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST

Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS
A. At Grade Condition (check to confirm the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from finished grade.
- Development contains no glass greater than 2m² within 16m from finished grade.

B. Roof Landscape Condition (check to confirm one of the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from roof level finished grade.
- Development contains no glass panel within 16m from roof level finished grade.

Treatment (check to confirm one of the below is applied)
* Refer to Guidelines for requirements

A) At Grade	B) Roof Landscape
Stripes <input type="checkbox"/>	<input type="checkbox"/>
Dots <input type="checkbox"/>	<input type="checkbox"/>
Netting <input type="checkbox"/>	<input type="checkbox"/>
Frit and Etched Patterns <input type="checkbox"/>	<input type="checkbox"/>

Specifications (check to confirm one of the below is applied)

- Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.
- Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST ELECTRICAL ENGINEERING

Applicant to include checklist on Electrical Engineering Drawing(s) at first landscape plan submission. Drawing(s) to be stamped and signed by a P. Eng.

MANDATORY LIGHTING CRITERIA FOR ALL DEVELOPMENTS
(check to confirm below is applied)

- The use of exterior up lighting is eliminated.
- There is no exterior light spill outside of property line.

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST LANDSCAPE

Applicant to include checklist on Landscape Plan(s) and Detail(s) at first submission. Drawing(s) to be stamped and signed by a Landscape Architect who is a full member, in good standing, of the Ontario Association of Landscape Architects.

Lighting Specifications (check to confirm below is applied)

- Where exterior lighting is proposed within the development, Landscape Details include lighting specifications.
- The following notation is included on Landscape Plans: "All lighting is to be downlit and dark sky compliant. No exterior light spill is permitted outside of the property line."

REVISION TABLE		
REV.	DESCRIPTION	DRAWN / APP'D. DATE

ISSUE TABLE		
TO	FOR	DATE
CITY	ISSUED FOR SITE PLAN APPROVAL	2025/09/30

METRIC

ALL DIMENSIONS ARE IN MILLIMETRES U.N.O.. CONTRACTOR TO CHECK/VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED TO THE PROJECT DESIGNER. DO NOT SCALE DRAWINGS.

SEAL:

CONSULTANT:

K PAUL ARCHITECT INC.
TORONTO-VANCOUVER-CALGARY-ORLANDO
2660 SHERWOOD HEIGHTS DRIVE, SUITE #200, OAKVILLE, ON L6J 7Y8

DRAWING TITLE:

EXTERIOR ELEVATIONS (PROPOSED)

PROJECT:

CAR WASH CONVERSION
2830 16TH AVE
MARKHAM, ON
CITY FILE NO: PRCN 23 139251 000

DRAWN BY: RG	CAD INFO: SHEET SIZE D (559 x 864)
DRAWING SCALE: 1:50	PETRO-CANADA CAD FILE No.
DATE DRAWN: SEP 2025	CONSULTANT CAD FILE No.
CHECKED BY:	PLOT SCALE
APPROVED BY:	PLOT DATE
STD No./OUTLET No: 34871	PLOT CONFIGURATION: WA02-2



Notice of Public Hearing

Minor Variance / Permission

(Section 45 of the *Planning Act*)

COMMITTEE OF ADJUSTMENT

MEETING DATE AND TIME: Wednesday, April 22, 2026, at 7:00 pm

LOCATION: This Public Hearing will be held virtually. Participants or attendees are required to email Staff at COA@markham.ca for more information on how to participate.

File Number: A/012/26
Agent: Adstruct Ltd.
Property Address: 41 Kirk Drive, Thornhill
Legal Description: PLAN 4184 LOT 20
Zoning: By-law 2024-19, as amended; RES-ENLR
Ward: 1

PURPOSE OF THE APPLICATION:

The applicant is requesting relief from the requirements of By-law 2024-19, as amended, to permit the following:

- a) **By-law 2024-19, Section 6.3.2.2, Special Standard (xiv):** a maximum combined main building coverage of 629.6 square metres, whereas the by-law permits a maximum combined main building coverage of 500 square metres;
- b) **By-law 2024-19, Section 6.3.2.2 (e):** a maximum first storey main building distance from the established building line of 23.63 metres, whereas the by-law permits a maximum first storey main building distance from the established building line of 19.5 metres;
- c) **By-law 2024-19, Section 6.3.2.2 (e):** a maximum second storey main building distance from the established building line of 19.82 metres, whereas the by-law permits a maximum second storey main building distance from the established building line of 14.5 metres;
- d) **By-law 2024-19, Section 6.2.1 (b):** a maximum roof projection above the maximum outside wall height of 1.94 metres for roofs with a pitch of less than 25 degrees, whereas the by-law permits a maximum roof projection above the maximum outside wall height of 1 metre for roofs with a pitch of less than 25 degrees;
- e) **By-law 2024-19, Section 4.8.8 (c)(2):** a maximum rear balcony encroachment from the main wall of 3.18 metres, whereas the by-law permits a maximum rear balcony encroachment from the main wall of 1.8 metres; and

as it relates to a proposed two-storey residential dwelling.

NOTICE REQUIREMENTS FOR LANDLORDS AND CONDOMINIUM CORPORATIONS:

A copy of this notice must be posted by the Owner(s) of any land that contains seven or more residential units in a location that is visible to all the residents.

THE COMMITTEE OF ADJUSTMENT (THE “COMMITTEE”) AND MINOR VARIANCES:

The Committee’s role offers flexibility in dealing with minor adjustments to Zoning By-law permissions. The Committee forms its opinions through its detailed review of all material filed with an application, letters received, deputations made at the public hearing, and results of site inspections. After hearing the Applicant and every person who desires to be heard in respect to this application, the Committee may approve, refuse, modify, or otherwise alter the application at the hearing without further notice provided.

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Notice of Public Hearing

Minor Variance / Permission

(Section 45 of the *Planning Act*)

OR

Deliver a letter in person to the DROP BOX at the Civic Centre (Thornhill Entrance), or by mail or email to the undersigned.

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NOTE: Under The Municipal Freedom of Information Act: personal information collected in response to this planning notice will be used to assist City staff and Council to process this application and will be a part of the public record.

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<https://www.markham.ca/about-the-city-of-markham/city-hall/council-and-committee-meetings>

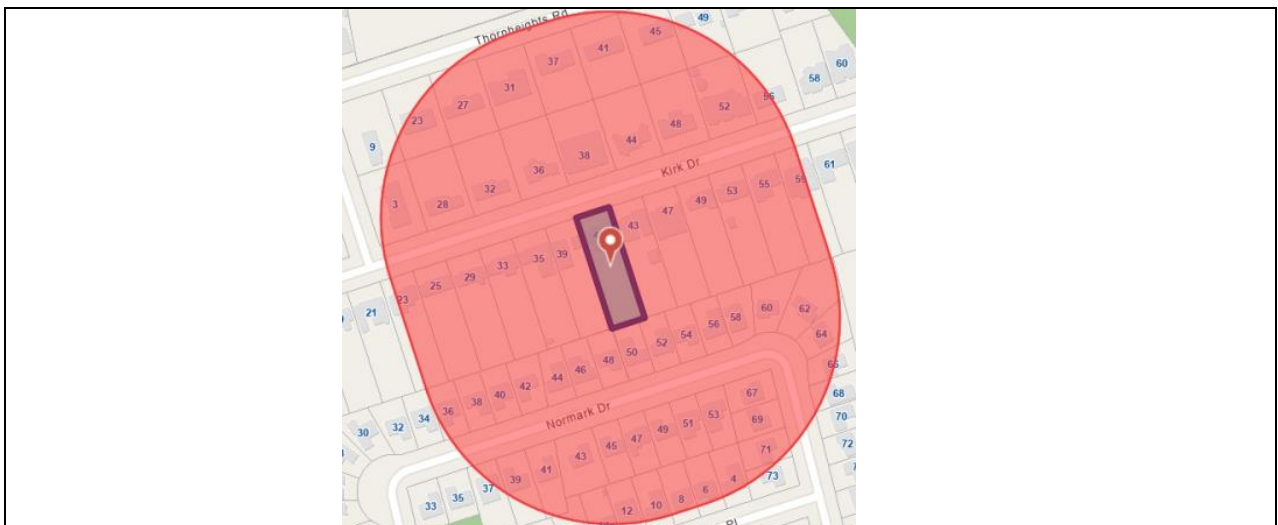
NOTICE OF DECISION and ONTARIO LAND TRIBUNAL PROCEEDINGS

Any person wishing to comment on this application, but who is unable to attend, may send a signed written submission to the Secretary Treasurer prior to the Hearing. A submission received prior to the Hearing is not considered a Notice of Appeal.

A copy of the decision will be sent to the Applicant and Agent. Any other person or agency wishing to receive a copy of the decision, or any notice of relevant Ontario Land Tribunal hearings, must submit a written request for a copy of the decision, or you would not be entitled to receive notice of any further proceedings.

IMPORTANT NOTICE TO OWNERS AND/OR AGENTS:

The Applicant or representative for the Applicant **MUST** appear at the hearing in support of the application. Failure to appear would result in dismissal of this application.



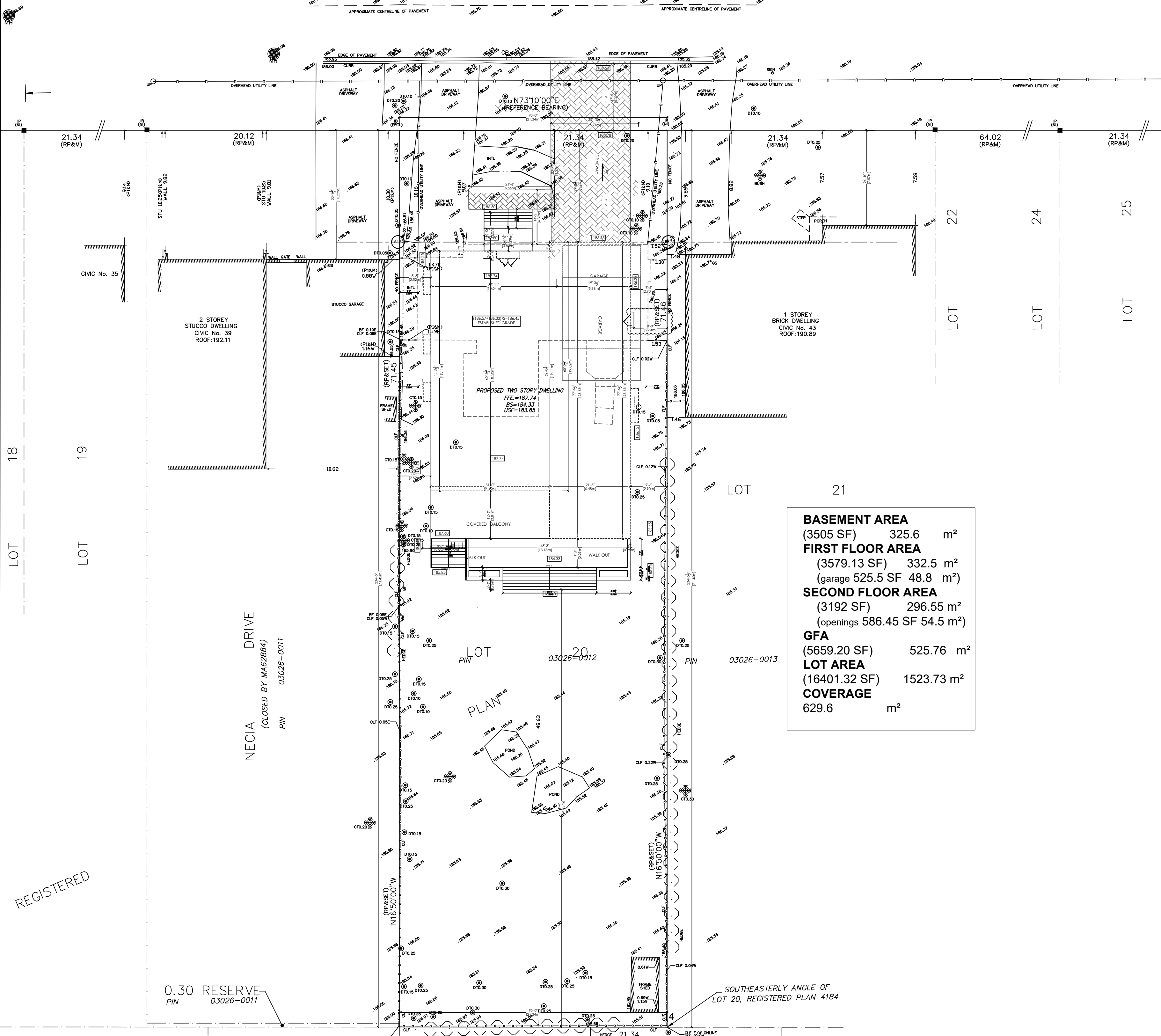
Shawna Houser
Secretary-Treasurer, Committee of Adjustment

For more information about this matter, contact:

☎ 905.475.4721 🖨 905.479.7768 ✉ COA@markham.ca

SITE BENCHMARK
TOP OF MH= 186.69

KIRK DRIVE
(BY REGISTERED PLAN 4184)
PIN 03026-0790



BASEMENT AREA	
(3505 SF)	325.6 m ²
FIRST FLOOR AREA	
(3579.13 SF)	332.5 m ²
(garage 525.5 SF 48.8 m ²)	
SECOND FLOOR AREA	
(3192 SF)	296.55 m ²
(openings 586.45 SF 54.5 m ²)	
GFA	
(5659.20 SF)	525.76 m ²
LOT AREA	
(16401.32 SF)	1523.73 m ²
COVERAGE	
629.6	m ²

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 Toronto, Ontario
 Canada, M2N1M5
 www.ADSTRUCT.ca
 info@adstruct.ca
 Tel: 416-225-6555
 Fax: 416-225-7555

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DO NOT SCALE DRAWING
 CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES TO ADSTRUCT LTD BEFORE COMMENCING WORK. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' AND SPECIALISTS' DRAWINGS OR DOCUMENTS AND ALL DISCREPANCIES MUST BE NOTIFIED TO ADSTRUCT LTD. BEFORE THE AFFECTED WORK COMMENCES.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C - 3.2.5.1. of the 2024 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

NAME _____

SIGNATURE _____

BCIN _____

REGISTRATION INFORMATION
 Required unless design is exempt under Division C - 3.2.4.1. of the 2024 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

FIRM NAME _____

BCIN _____

PROJECT :
 41 KIRK Dr.

DRAWING TITLE :
 SITE PLAN

A-1.1

DATE : Jan 2026
 SCALE : 1/16" = 1'

REGISTERED

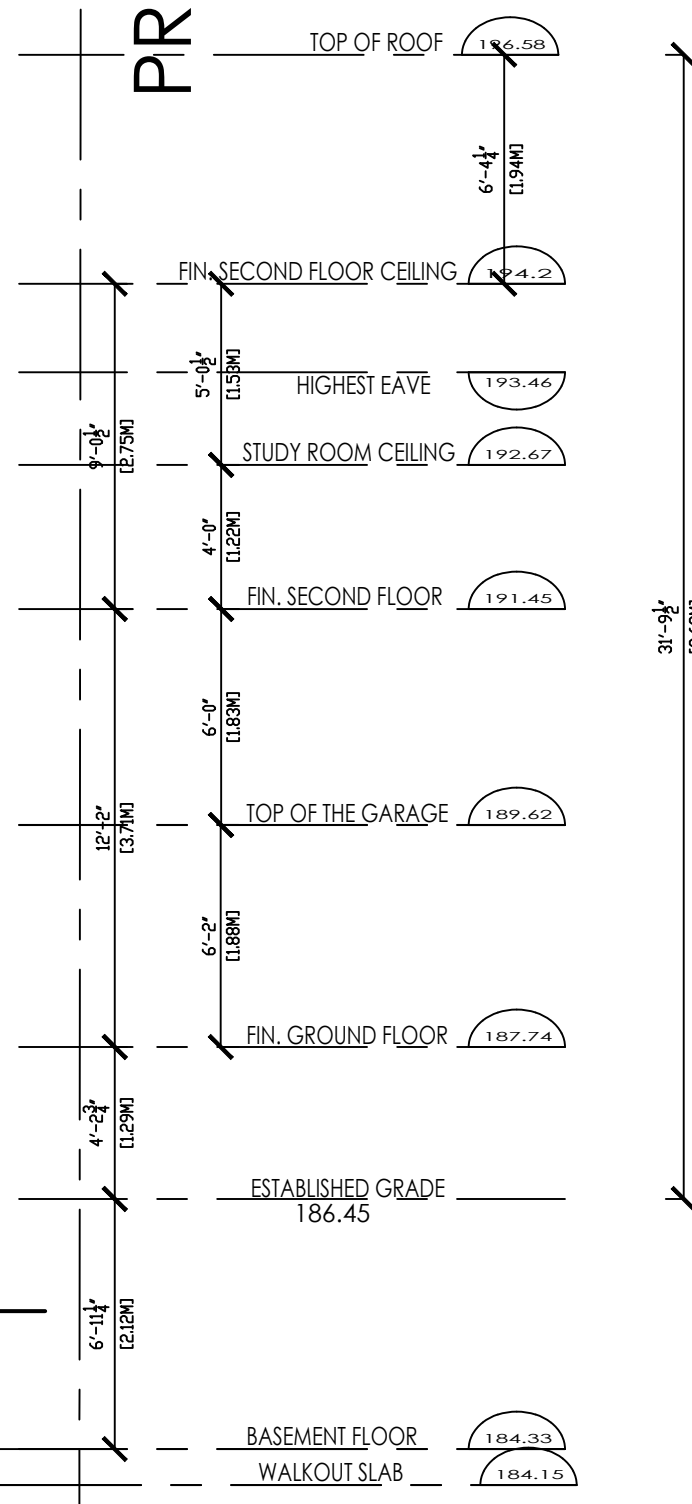
0.30 RESERVE
PIN 03026-0011

SOUTHEASTERLY ANGLE OF LOT 20, REGISTERED PLAN 4184

PROPERTY LINE



PROPERTY LINE



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FIRM NAME _____

BCIN _____

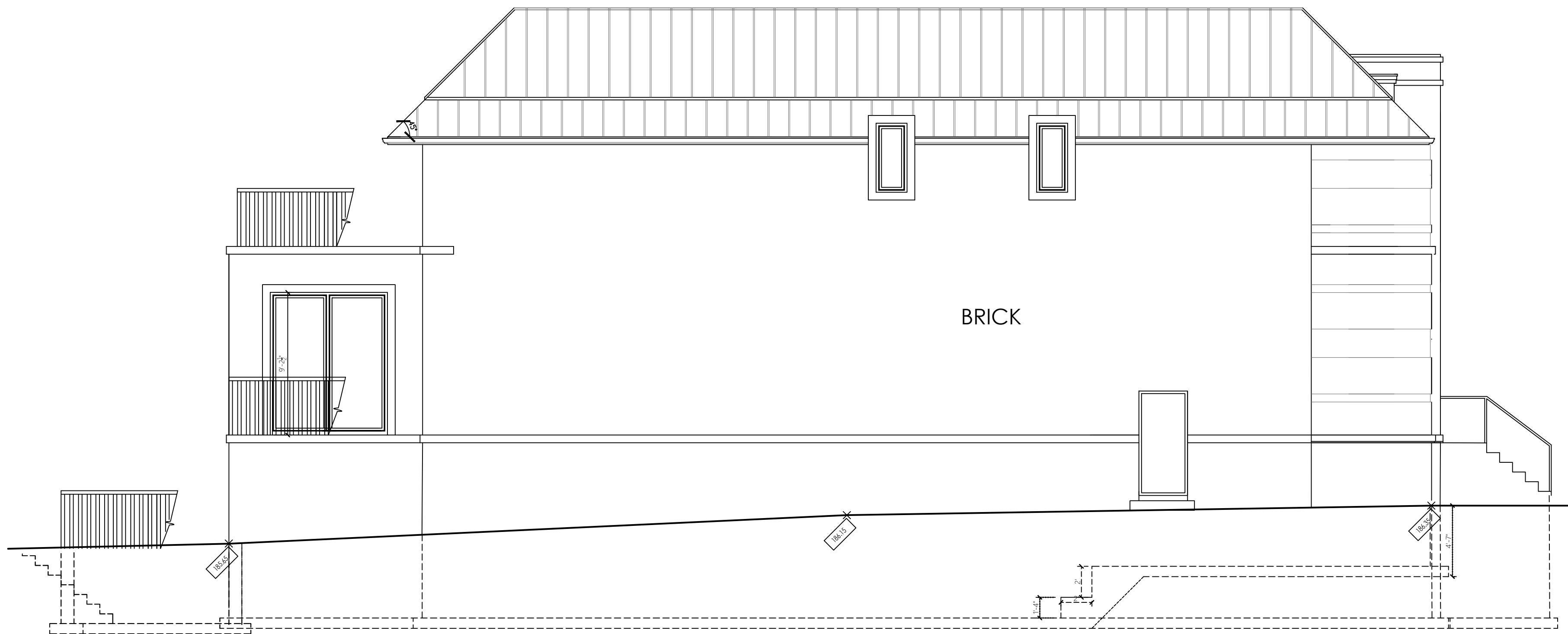
PROJECT :
 41 KIRK Dr.

DRAWING TITLE :
 REAR ELEV-SOUTH

A-3.1

DATE : **Jan 2026**

SCALE :



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 Canada - M2N1M5
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Design and Build

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NAME _____

SIGNATURE _____

BCIN _____

REGISTRATION INFORMATION
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FIRM NAME _____

BCIN _____

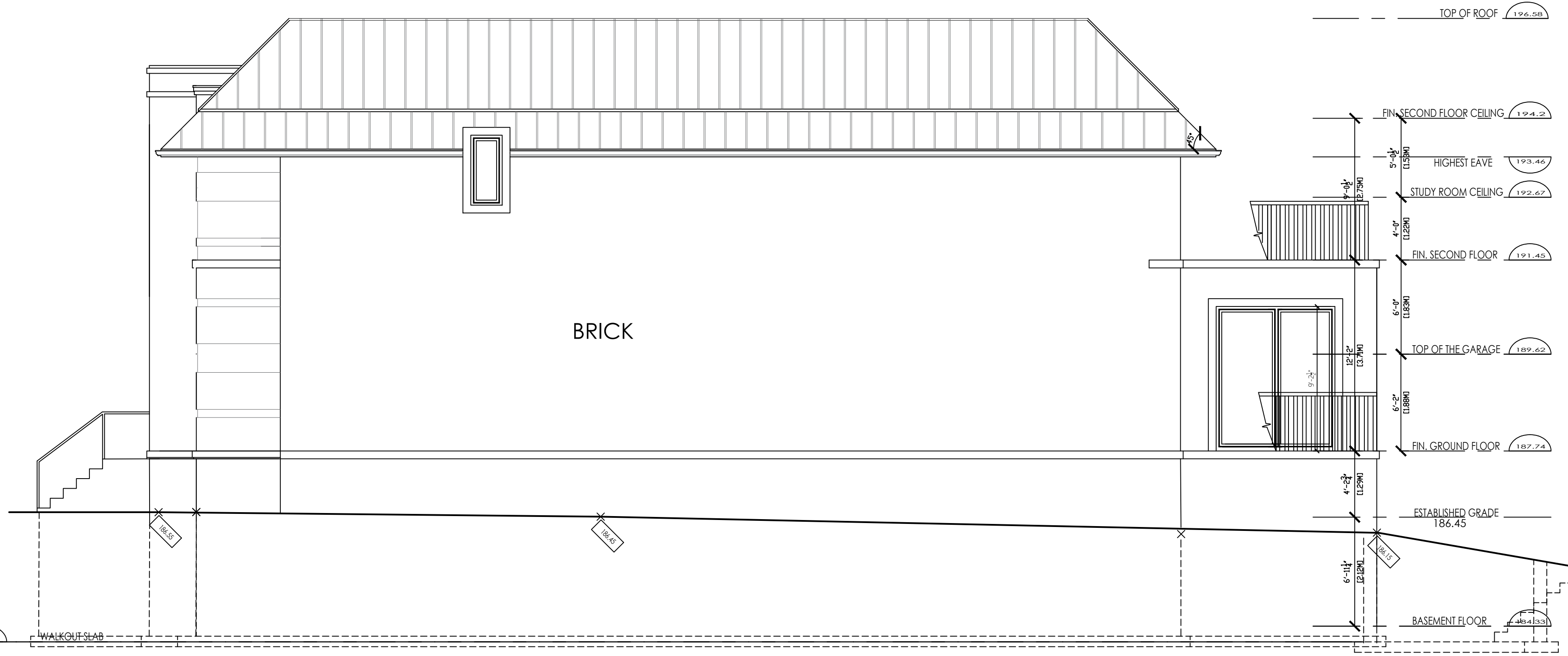
PROJECT :
 41 KIRK Dr.

DRAWING TITLE :
 SIDE ELEV-EAST

A-3.2

DATE : **Jan 2026**

SCALE :



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NAME _____

SIGNATURE _____

BCIN _____

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 Required unless design is exempt under Division C - 3.2.4.1. of the 2024 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

FIRM NAME _____

BCIN _____

PROJECT :
 41 KIRK Dr.

DRAWING TITLE :
 SIDE ELEV-WEST

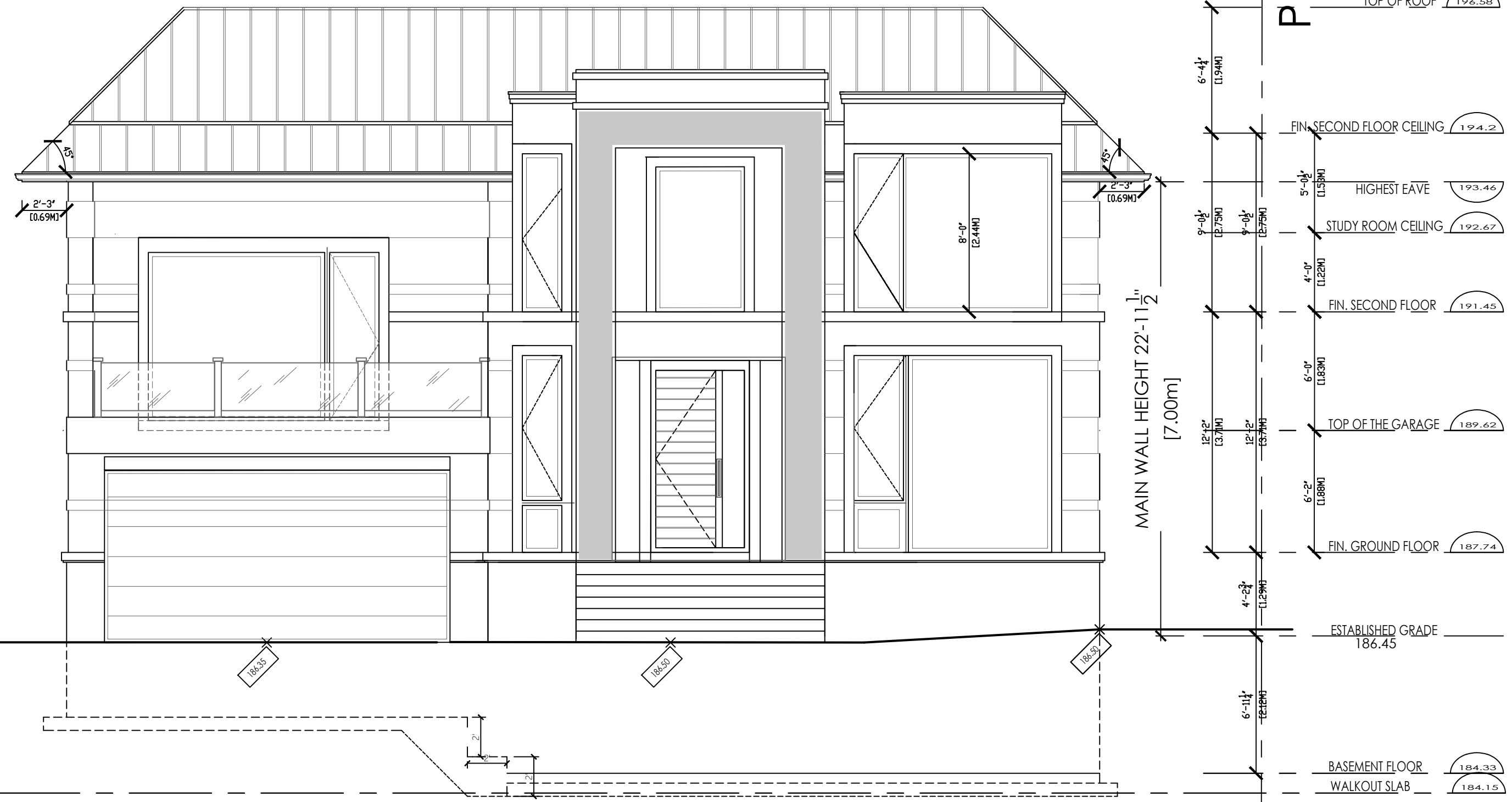
A-3.3

DATE: **Jan 2026**

SCALE: _____

PROPERTY LINE

PROPERTY LINE



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 128 Sheppard Ave. W.
 Toronto, Ontario
 Canada - M2N 1M5
 www.ADSTRUCT.ca
 info@adstruct.ca
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NAME _____
 SIGNATURE _____
 BCIN _____

REGISTRATION INFORMATION
 Required unless design is exempt under Division C - 3.2.4.1. of the 2024 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

FIRM NAME _____
 BCIN _____

PROJECT :
 41 KIRK Dr.

DRAWING TITLE :
 FRONT ELEV-NORTH

A-3

DATE: **Jan 2026**
 SCALE:



Notice of Public Hearing

Consent

(Section 53 of the *Planning Act*)

COMMITTEE OF ADJUSTMENT

MEETING DATE AND TIME: Wednesday, April 22, 2026 at 7:00 p.m.

LOCATION: This Public Meeting will be held digitally. Participants or attendees are required to email COA@markham.ca to obtain an access link.

File Number: B/004/26
Agent: JKO Planning Services Inc.
Property Address: 10 River Bend Road, Markham
Legal Description: PLAN 3684 PT LOT 24 CONCESSION 6 PART LOT 10
Zoning: By-law 2024-19, as amended; Residential Low Rise and Greenway
Ward: 3

PURPOSE OF THE APPLICATION:

The Owner is requesting provisional consent to:

- a) **sever and convey** a parcel of land (Part 2) with an approximate lot frontage of 15.75 metres, and an approximate lot area of 685.7 square metres;
- b) **sever and convey** a parcel of land (Part 3) with an approximate lot frontage 16.91 metres, and an approximate lot area of 700.4 square metres;
- c) **sever and convey** a parcel of land (Part 4) with an approximate lot frontage of 16.13 metres, and an approximate lot area of 751.8 square metres;
- d) **sever and convey** a parcel of land (Part 5) to the City of Markham with an approximate width of 75.16 metres, and an approximate lot area of 3013.3 square metres; and
- e) **retain** a parcel of land (Part 1) with an approximate lot frontage of 15.24 metres, and an approximate lot area of 709.3 square metres;

The purpose of this application is to sever the subject lands to facilitate the creation of three new residential lots, and one new greenway lot to be conveyed to the City of Markham.

This application is related to PLAN 24 189460 which has been previously approved.

NOTICE REQUIREMENTS FOR LANDLORDS AND CONDOMINIUM CORPORATIONS:

A copy of this notice must be posted by the Owner(s) of any land that contains seven or more residential units in a location that is visible to all the residents.

THE COMMITTEE OF ADJUSTMENT (THE “COMMITTEE”) AND CONSENTS:

The Committee of Adjustment has the authority to grant consent to sever land and for other related property transactions. To approve a consent request, the Committee of Adjustment must have considered the provisions of Section 51(24) of *The Planning Act* and be satisfied that a plan of subdivision is not necessary.

The Committee of Adjustment forms its opinions through its detailed review of all material filed with an application, letters received, deputations made at the public hearing and results of site inspections.

HOW TO ATTEND AND PARTICIPATE AT THE MEETING

As required by the *Planning Act*, you are provided written notice to ensure that you may make your views known by either of the two following options:

1. Watch via live stream at <https://www.markham.ca>.
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OR



Notice of Public Hearing

Consent

(Section 53 of the *Planning Act*)

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TO VIEW THE MATERIALS IN THE APPLICATION FILE:

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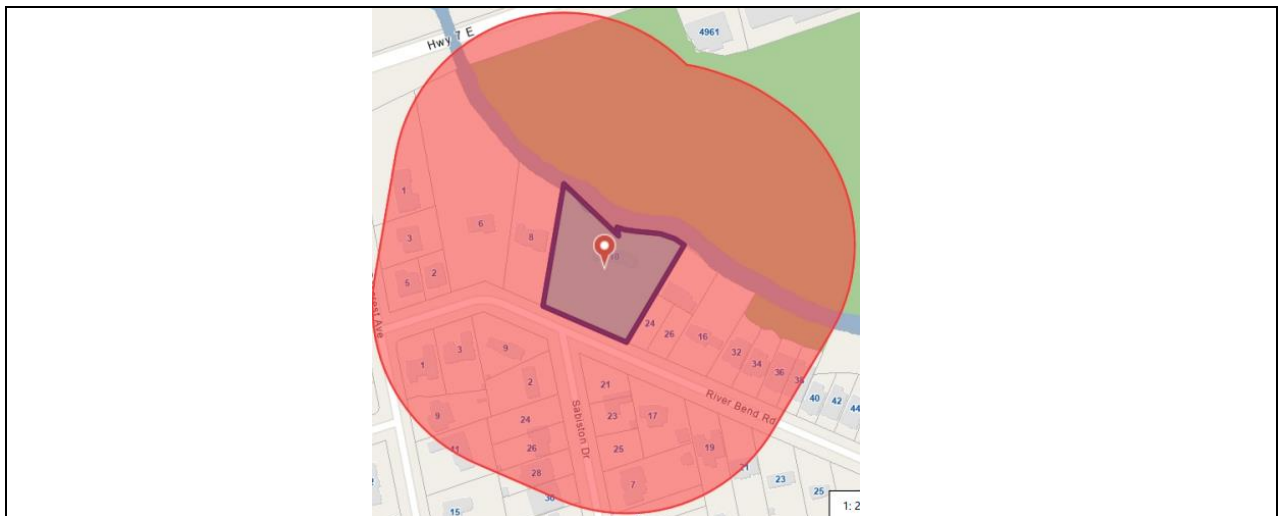
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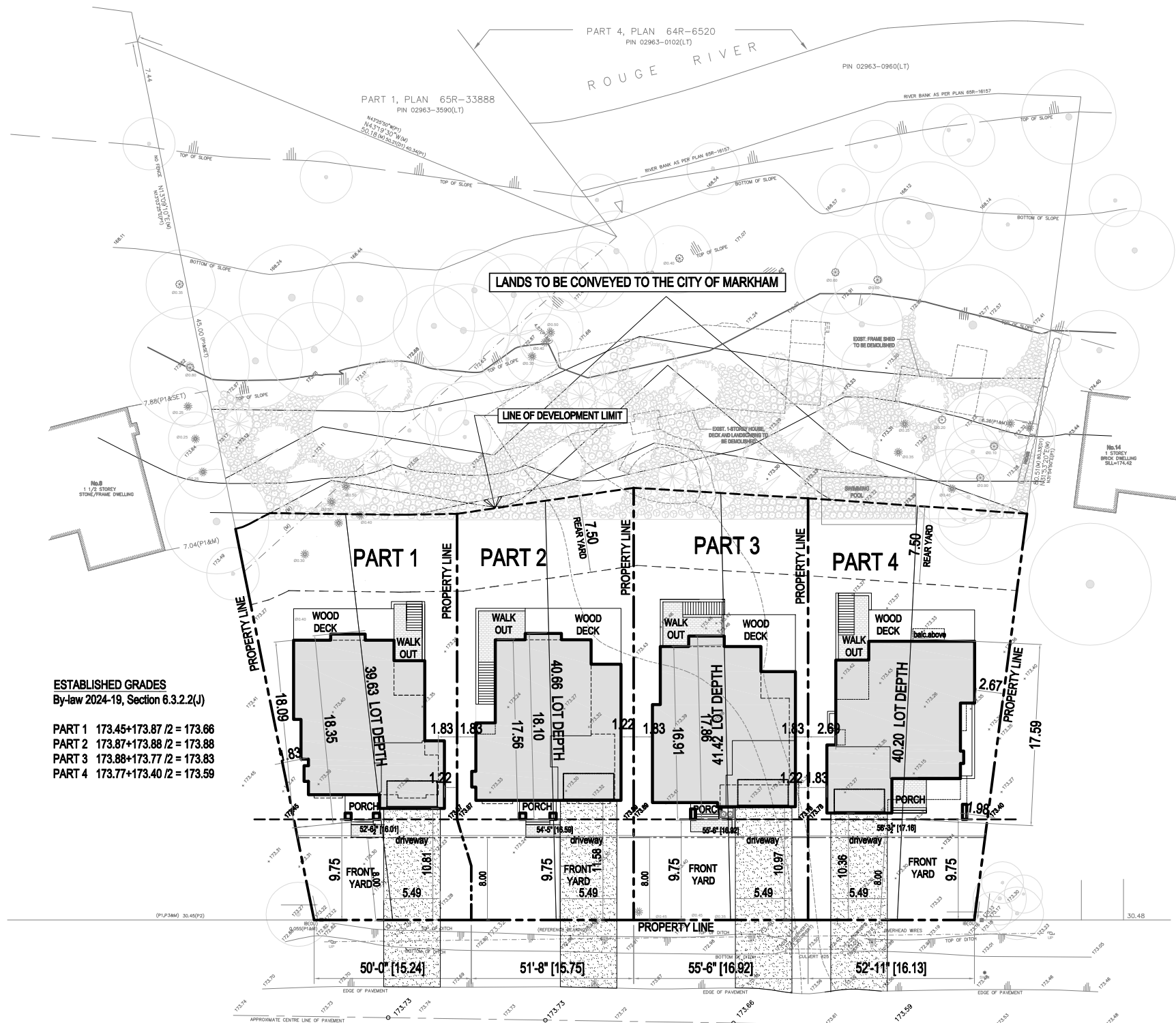
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Shawna Houser
Secretary-Treasurer, Committee of Adjustment

For more information about this matter, contact:

☎ 905.475.4721 🖨 905.479.7768 ✉ COA@markham.ca



ESTABLISHED GRADES
By-law 2024-19, Section 6.3.2.2(J)

PART 1 173.45+173.87 /2 = 173.66
 PART 2 173.87+173.88 /2 = 173.88
 PART 3 173.88+173.77 /2 = 173.83
 PART 4 173.77+173.40 /2 = 173.59

RIVERBEND ROAD

KEY PLAN N.T.S.



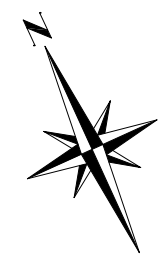
PROPERTY / PART 1	7634.16 SQ.FT. / 709.26 m2
PROPERTY / PART 2	7380.39 SQ.FT. / 685.66 m2
PROPERTY / PART 3	7539.52 SQ.FT. / 700.44 m2
PROPERTY / PART 4	8092.29 SQ.FT. / 751.80 m2

FOR EXISTING AND PROPOSED GRADES
REFER TO GRADING PLAN

FOR TPZ, PROPERTY GUARD AND PAVERS
REFER TO LANDSCAPE DESIGN PLANS

DRAWINGS:

- A0.0 COMBINED SITE PLAN
- A0.1 SITE PLAN & INFORMATION
- A1.1 BASEMENT PLAN
- A1.2 FIRST FLOOR PLAN
- A1.3 SECOND FLOOR PLAN
- A1.4 ROOF PLAN
- A2.1 FRONT /SOUTH ELEVATION
- A2.2 SIDE /EAST ELEVATION
- A2.3 REAR /NORTH ELEVATION
- A2.4 SIDE /WEST ELEVATION



MARK	DATE	DESCRIPTION	MARK	DATE	DESCRIPTION
DESIGN <small>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Code to be a designer. Qualification Information Required unless design is exempted under Division C-3.2.5.1. of the 2006 Ontario Building Code.</small>			PROJECT: No. 10 RIVERBEND ROAD (PARTS 1, 2, 3 & 4) City of Markham		
<small>Zoran Paar</small> <small>Registration Information Required unless design is exempted under Division C-3.2.4.1. of the 2006 Ontario Building Code.</small>			<small>24546</small> <small>BCIN / BCDN</small>		
<small>PAAR Architecture and Interior Design Inc.</small> <small>Firm Name</small>			<small>31785</small> <small>BCIN / BCDN</small>		
			<small>PAAR DESIGN INC.</small> <small>22 BLUE FOREST DR.</small> <small>TORONTO ON M3H 4W2</small> <small>p: 416 630 2105</small> <small>www.paar-design.com</small> <small>info.paar-design.com</small>		
<small>scale 1:500</small>			A0.0		



Notice of Public Hearing

Minor Variance / Permission

(Section 45 of the *Planning Act*)

COMMITTEE OF ADJUSTMENT

MEETING DATE AND TIME: Wednesday, April 22, 2026, at 7:00 pm

LOCATION: This Public Hearing will be held virtually. Participants or attendees are required to email Staff at COA@markham.ca for more information on how to participate.

File Number: A/008/26
Agent: Twinscape Construction Inc
Property Address: 75 John Street, Thornhill
Legal Description: PLAN 3537 PT LOT 17 RS65R16635 PART 1
Zoning: By-law 2024-19, as amended; RES-ENLR
Ward: 1

PURPOSE OF THE APPLICATION:

The applicant is requesting relief from the requirements of By-law 2024-19, as amended, to permit the following:

- a) **By-law 2024-19, Section 4.8.3 b)**: a deck projection of 4.9 metres from the main wall closest to the rear lot line, whereas the by-law permits a maximum deck projection of 3.7 metres where decks have a height greater than 1.0 metres above the lowest ground surface at any point around the perimeter of the platform;

as it relates to an existing deck for a residential dwelling.

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(Section 45 of the *Planning Act*)

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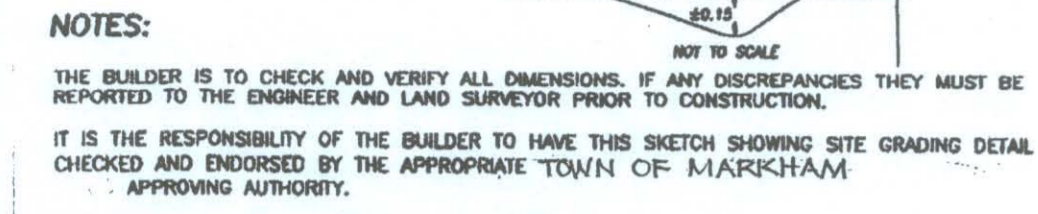
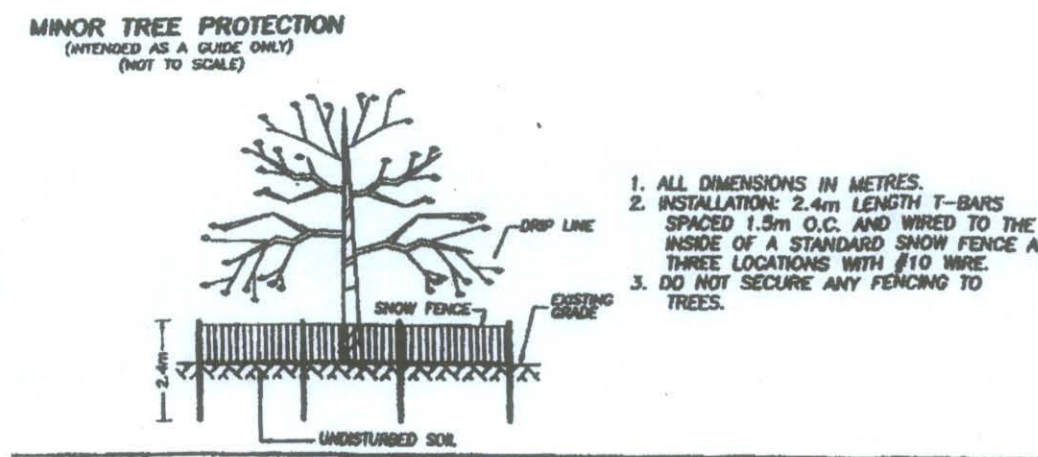
The Applicant or representative for the Applicant **MUST** appear at the hearing in support of the application. Failure to appear would result in dismissal of this application.



Shawna Houser
Secretary-Treasurer, Committee of Adjustment

For more information about this matter, contact:

☎ 905.475.4721 🖨 905.479.7768 ✉ COA@markham.ca



NOTES:

THE BUILDER IS TO CHECK AND VERIFY ALL DIMENSIONS. IF ANY DISCREPANCIES THEY MUST BE REPORTED TO THE ENGINEER AND LAND SURVEYOR PRIOR TO CONSTRUCTION.

IT IS THE RESPONSIBILITY OF THE BUILDER TO HAVE THIS SKETCH SHOWING SITE GRADING DETAIL CHECKED AND ENDORSED BY THE APPROPRIATE TOWN OF MARKHAM APPROVING AUTHORITY.

ALL GRADING AND SITE SERVICES ARE TO COMPLY WITH THE TOWN OF MARKHAM ENGINEERING STANDARDS AND SPECIFICATIONS, AND

IT IS THE RESPONSIBILITY OF THE BUILDER TO HAVE A REGISTERED ONTARIO LAND SURVEYOR OR A REGISTERED PROFESSIONAL ENGINEER OF ONTARIO VERIFY THE FOOTING FRAMEWORK, SETBACKS, AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

ALL DITCHES, SWALES AND DEPRESSIONS ARE TO BE SOODED.

0.60m STRIP OF LAND TO REMAIN UNDISTURBED ALONG THE PROPERTY LINES.

DOWNSPOUTS ARE TO DISCHARGE ONTO SLASHPADS AND NOT DIRECTED TOWARDS THE DRIVEWAY AND/OR PERPENDICULAR TO THE LOT LINES.

PRIOR TO THE SUPERSTRUCTURE WORKS PROCEEDING THE OWNER'S CONSULTANT MUST VERIFY THAT THE FOUNDATION WALL ELEVATION IS IN CONFORMITY WITH THE GRADING PLAN REVIEWED BY TOWN OF MARKHAM.

NO TREES TO BE REMOVED WITHOUT PRIOR CONSENT FROM THE CITY ARBORIST.

ALL NEW AND EXISTING CATCHBASINS AND OUTCATCHIN MANHOLES LOCATED ON SITE OR ADJACENT STREETS SHALL HAVE THE UNDERSIDE OF THE GRATE COVERED WITH TERRAZO 24 R MIN WOVEN GEOTEXTILE DURING CONSTRUCTION.

CONTRACTOR SHALL REGULARLY CLEAN SEDIMENT AND DEBRIS FROM THESE GEOTEXTILE PIECES. CONTRACTOR SHALL REMOVE AND DISPOSE WITH THESE PIECES AT THE END OF THE CONSTRUCTION PERIOD OR AS DIRECTED BY THE ENGINEER.

CONTRACTOR SHALL MAINTAIN ADJACENT STREETS AND LOTS FREE OF DIRT, MUD AND OTHER REFUSE THROUGHOUT THE DURATION OF CONSTRUCTION. ANY CLEANING OF ADJACENT STREETS OR LOTS DURING THE CONSTRUCTION PERIOD SHALL BE PAID BY THE CONTRACTOR.

CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO PRE CONSTRUCTION CONDITIONS OR BETTER TO SATISFACTION OF THE TOWN OF MARKHAM.

NET LOT AREA CALCULATIONS:

LOT: PART 1

ACTUAL LOT AREA	1141.84 m ²
MIN. LOT AREA	905.77 m ²
DIFFERENCE	236.07 m ²
NET LOT AREA	$\frac{236.07 + 905.77}{2}$ = 1023.80 m ²
MAX. FLOOR AREA RATIO	$\frac{337.85}{1023.80}$ = 33% OF NET LOT AREA

LOT: PART 2

ACTUAL LOT AREA	1076.79 m ²
MIN. LOT AREA	905.77 m ²
DIFFERENCE	171.02 m ²
NET LOT AREA	$\frac{171.02 + 905.77}{2}$ = 991.28 m ²
MAX. FLOOR AREA RATIO	$\frac{327.12}{991.28}$ = 33% OF NET LOT AREA

SITE DATA: (THORNHILL HERITAGE CONSERVATION DISTRICT)

PART #1	
ZONING	R2 (BY-LAW 2237) & (CA/38 & 39/92)
LOT AREA	1141.84 m ² (12,231.06 S.F.) ±
BUILDING AREA	170.17 m ² (1831.85 S.F.)
LOT COVERAGE	LOT x 14.9%
BUILDING HEIGHT	2 STOREYS = 9.14m (30'-0")
GFA (FAR)	331.08 m ² (32.33%) PROPOSED 337.85 m ² (32%) PERMITTED
PART #2	
ZONING	R2 (BY-LAW 2237) & (CA/38 & 39/92)
LOT AREA	1076.79 m ² (11,590.85 S.F.) ±
BUILDING AREA	162.94 m ² (1754 S.F.)
LOT COVERAGE	15.13% x LOT
BUILDING HEIGHT	2 STOREYS (9.12 m)
GFA (FAR)	322.54 m ² (LOT x 33.00%) = 3472 S.F.

SURVEY CREDITS:

SURVEY INFORMATION TAKEN FROM TOPOGRAPHICAL PLAN OF SURVEY OF PART OF LOT 17, R.P. 3537, TOWN OF MARKHAM, REGION MUNICIPALITY OF YORK

SURVEY BY: RUDOLF ZIVKO SURVEYING LTD, OLS, OCT. 2003.

PART 1 & PART 2 OF LOT 17, PLAN G5R-16635.

SURVEY BY: DONALD E. ROBERTS, O.L.S.

- LEGEND:**
- x 171.12 ----- SHOWS EXISTING GRADE ELEVATIONS.
 - x (171.25) ----- SHOWS PROPOSED GRADE ELEVATIONS.
 - FFE ----- FINISHED FIRST FLOOR ELEVATION.
 - BFS ----- BASEMENT FLOOR SLAB ELEVATION.
 - TFW ----- TOP OF FOUNDATION WALL ELEVATION.
 - U/SF ----- UNDERSIDE OF FOOTING ELEVATION. (STANDARD CONDITION).
 - (*) ----- EXISTING TREES & HEDGES TO BE SAVED DURING CONSTRUCTION.
 - (X) ----- EXISTING TREES & HEDGES TO BE REMOVED BEFORE CONSTRUCTION BEGINS.
 - ----- DIRECTION OF OVERLAND DRAINAGE FLOW.
 - ⊕ H.P. ----- HYDRO POLE LOCATION.

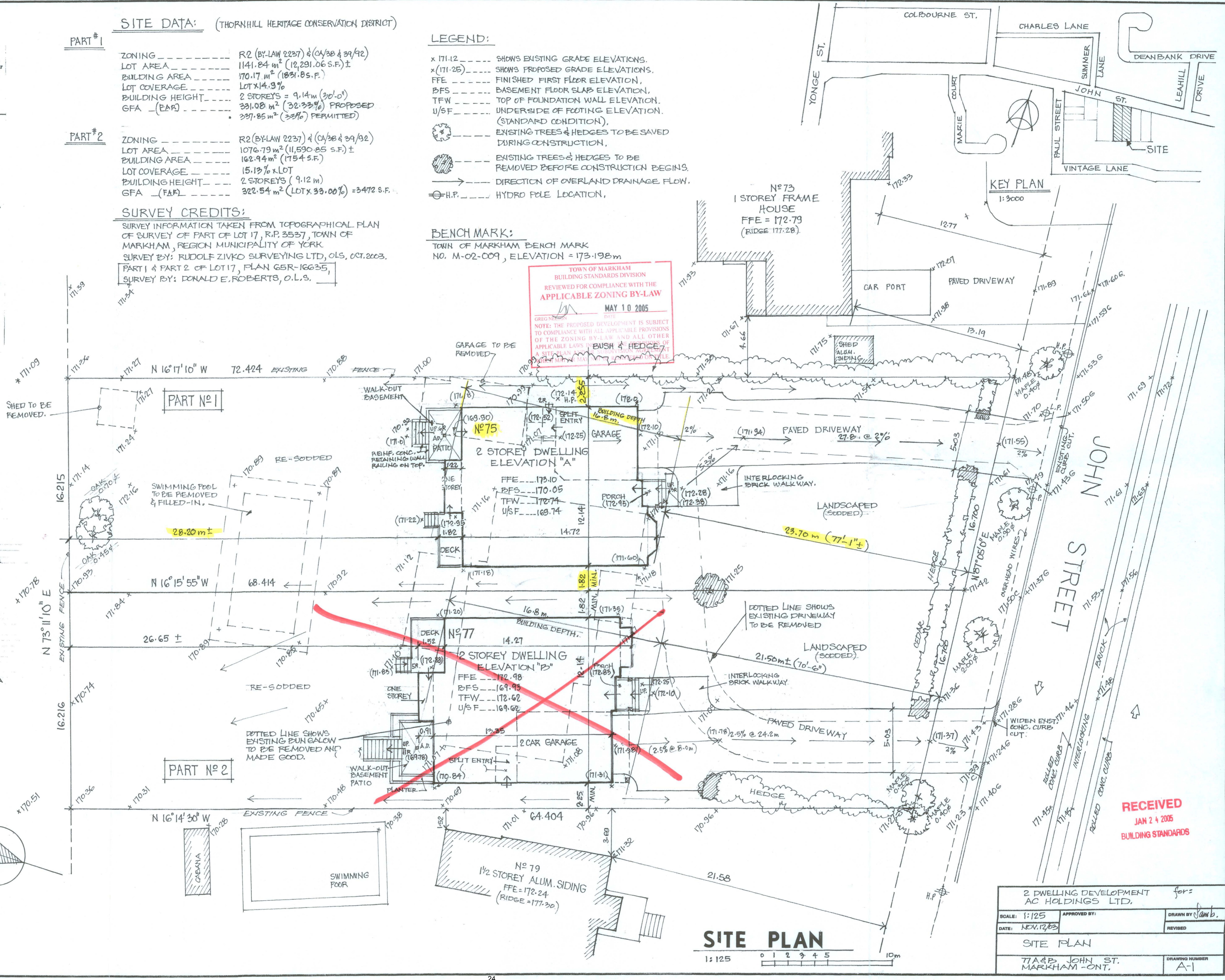
BENCHMARK:

TOWN OF MARKHAM BENCH MARK
NO. M-02-009, ELEVATION = 173.198m

TOWN OF MARKHAM
BUILDING STANDARDS DIVISION
REVIEWED FOR COMPLIANCE WITH THE
APPLICABLE ZONING BY-LAW

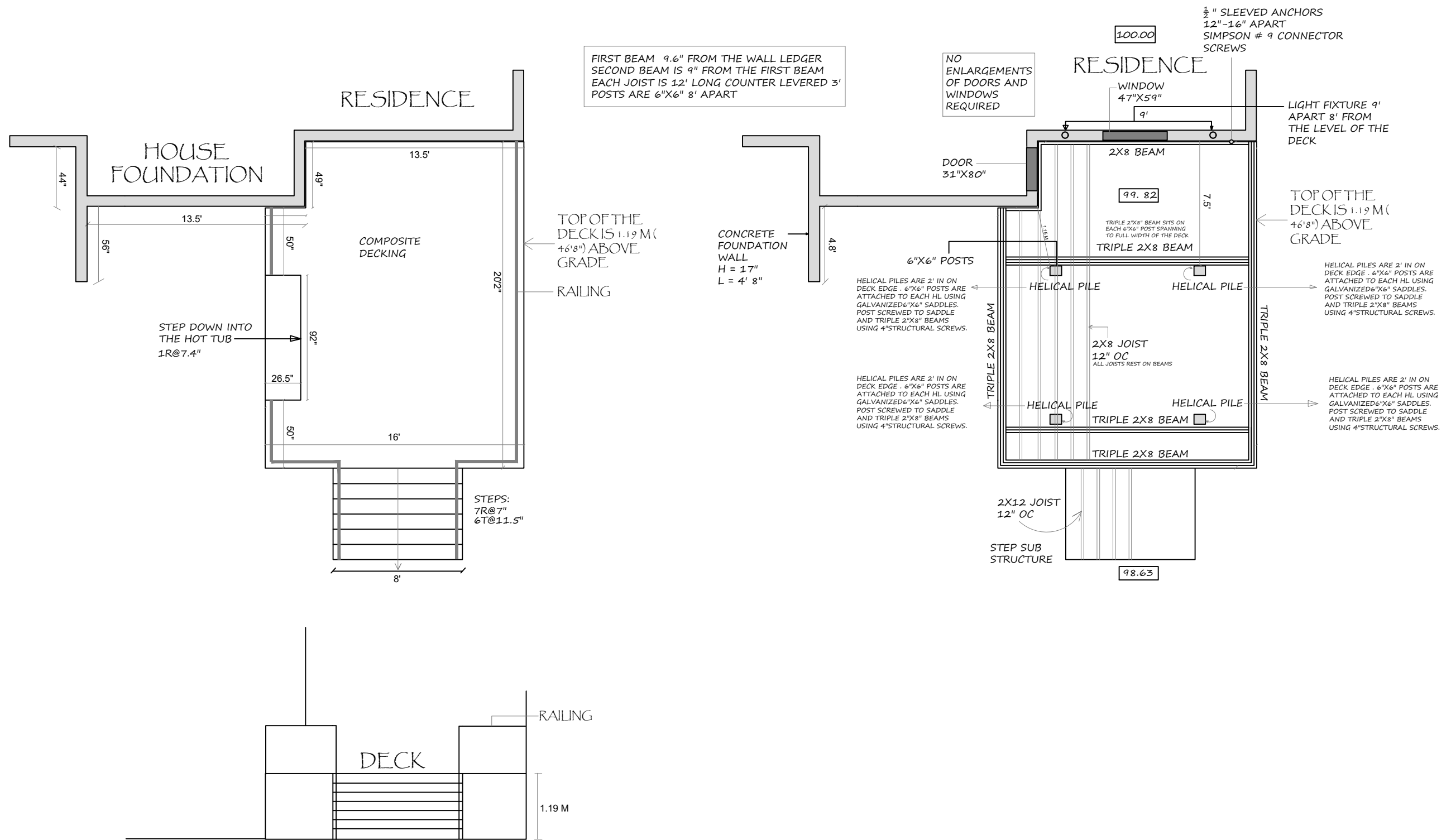
MAY 10 2005

NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS. THIS REVIEW IS LIMITED TO A SITE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF ACCURACY OR A PROFESSIONAL OPINION.

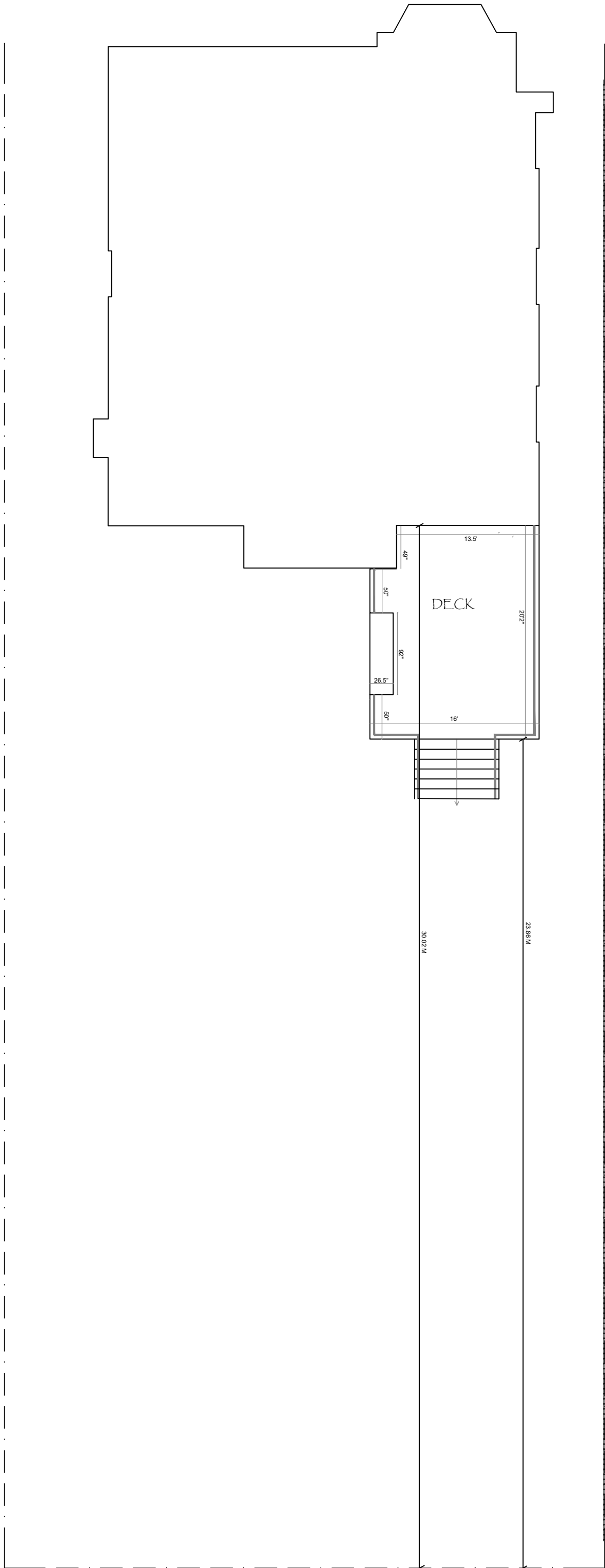


RECEIVED
JAN 24 2005
BUILDING STANDARDS

2 DWELLING DEVELOPMENT AC HOLDINGS LTD.		for
SCALE: 1:125	APPROVED BY:	DRAWN BY: Jamb.
DATE: NOV. 12/03		REVISED
SITE PLAN		
77A & B JOHN ST. MARKHAM - ONT.		DRAWING NUMBER A-1



DECK 75 JOHN STREET MARKHAM ON





Notice of Public Hearing

Minor Variance / Permission

(Section 45 of the *Planning Act*)

COMMITTEE OF ADJUSTMENT

MEETING DATE AND TIME: Wednesday, April 22, 2026, at 7:00 pm

LOCATION: This Public Hearing will be held virtually. Participants or attendees are required to email Staff at COA@markham.ca for more information on how to participate.

File Number: A/009/26
Agent: Jeff Cogliati
Property Address: 190 Henderson Avenue, Thornhill
Legal Description: PLAN 9766 LOT 12
Zoning: By-law 2024-19, as amended; RES-ENLR
Ward: 1

PURPOSE OF THE APPLICATION:

The applicant is requesting relief from the requirements of By-law 2024-19, as amended, to permit the following:

- a) **By-law 2024-19, Section 4.9.10 g)**: a garden home to be located 32.78 metres from the lot line abutting a street, whereas the By-law requires a garden home to be located no further than 30 metres from the lot line abutting a street; and
- b) **By-law 2024-19, Section 4.8.1.2(d)(i)**: a maximum permitted height for an accessory building of 4.5 metres, whereas the By-law permits a maximum height of 4.0 metres for an accessory building;

as it relates to a proposed one-storey garden home.

NOTICE REQUIREMENTS FOR LANDLORDS AND CONDOMINIUM CORPORATIONS:

A copy of this notice must be posted by the Owner(s) of any land that contains seven or more residential units in a location that is visible to all the residents.

THE COMMITTEE OF ADJUSTMENT (THE “COMMITTEE”) AND MINOR VARIANCES:

The Committee’s role offers flexibility in dealing with minor adjustments to Zoning By-law permissions. The Committee forms its opinions through its detailed review of all material filed with an application, letters received, deputations made at the public hearing, and results of site inspections. After hearing the Applicant and every person who desires to be heard in respect to this application, the Committee may approve, refuse, modify, or otherwise alter the application at the hearing without further notice provided.

HOW TO ATTEND AND PARTICIPATE AT THE MEETING

As required by the *Planning Act*, you are provided written notice to ensure that you may make your views known by either of the two following options:

1. Watch via live stream at <https://www.markham.ca>.
2. Request to attend the ZOOM meeting in writing, along with a completed [Interested Party Comment and Deputation Form](https://www.markham.ca/sites/default/files/economic-development-business/What%20to%20Expect%20at%20a%20COA%20Hearing/COA%2BInterested%2BParty%2BComment%2Band%2BDeputation%2BForm%2Bno%2Bsubmit%20(1).pdfmailto:COA@markham.ca) at ([https://www.markham.ca/sites/default/files/economic-development-business/What%20to%20Expect%20at%20a%20COA%20Hearing/COA%2BInterested%2BParty%2BComment%2Band%2BDeputation%2BForm%2Bno%2Bsubmit%20\(1\).pdfmailto:COA@markham.ca](https://www.markham.ca/sites/default/files/economic-development-business/What%20to%20Expect%20at%20a%20COA%20Hearing/COA%2BInterested%2BParty%2BComment%2Band%2BDeputation%2BForm%2Bno%2Bsubmit%20(1).pdfmailto:COA@markham.ca).) to COA@markham.ca.

OR

Deliver a letter in person to the DROP BOX at the Civic Centre (Thornhill Entrance), or by mail or email to the undersigned.



Notice of Public Hearing

Minor Variance / Permission

(Section 45 of the *Planning Act*)

Written comments must be received no later than 4:00 pm, two days prior to the Hearing date to ensure the Committee members can review all written comments prior to the hearing.

NOTE: Under The Municipal Freedom of Information Act: personal information collected in response to this planning notice will be used to assist City staff and Council to process this application and will be a part of the public record.

TO VIEW THE MATERIALS IN THE APPLICATION FILE:

Materials will be posted on the Council and Committee Meetings webpage at the link below prior to the scheduled meeting date.

<https://www.markham.ca/about-the-city-of-markham/city-hall/council-and-committee-meetings>

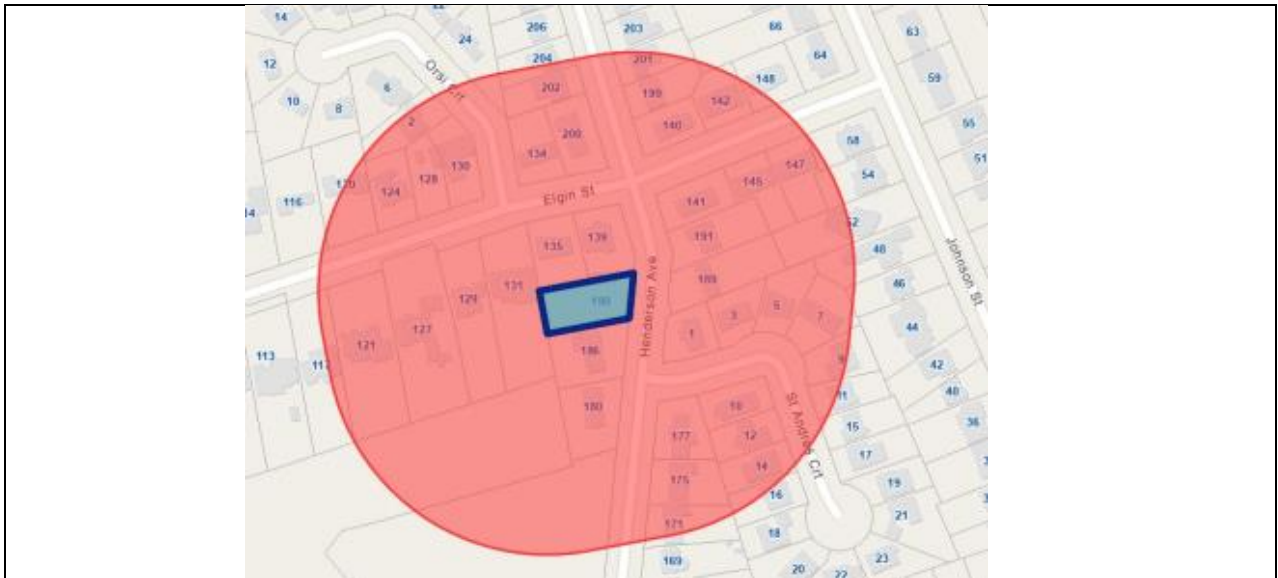
NOTICE OF DECISION and ONTARIO LAND TRIBUNAL PROCEEDINGS

Any person wishing to comment on this application, but who is unable to attend, may send a signed written submission to the Secretary Treasurer prior to the Hearing. A submission received prior to the Hearing is not considered a Notice of Appeal.

A copy of the decision will be sent to the Applicant and Agent. Any other person or agency wishing to receive a copy of the decision, or any notice of relevant Ontario Land Tribunal hearings, must submit a written request for a copy of the decision, or you would not be entitled to receive notice of any further proceedings.

IMPORTANT NOTICE TO OWNERS AND/OR AGENTS:

The Applicant or representative for the Applicant **MUST** appear at the hearing in support of the application. Failure to appear would result in dismissal of this application.



Shawna Houser
Secretary-Treasurer, Committee of Adjustment

For more information about this matter, contact:

☎ 905.475.4721 🖨 905.479.7768 ✉ COA@markham.ca



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Minor Variance / Permission

(Section 45 of the *Planning Act*)

COMMITTEE OF ADJUSTMENT

MEETING DATE AND TIME: Wednesday, April 22, 2026, at 7:00 pm

LOCATION: This Public Hearing will be held virtually. Participants or attendees are required to email Staff at COA@markham.ca for more information on how to participate.

File Number: A/171/25
Agent: Arcica Inc.
Property Address: 70 Highland Park Boulevard, Thornhill
Legal Description: PLAN 2446 LOT 150
Zoning: By-law 2024-19, as amended; RES-ENLR
Ward: 1

PURPOSE OF THE APPLICATION:

The applicant is requesting relief from the requirements of By-law 2024-19, as amended, to permit the following:

- a) **By-law 2024-19, Section 6.3.2.2 c:** a main building coverage of 27.6 percent (1931.29 square feet) for the second storey, whereas the By-law permits a maximum main building coverage of 20 percent (1400 square feet) of the lot area for any storey above the first;
- b) **By-law 2024-19, Section 6.3.2.2 e:** a main building distance of 16.33 metres for the second storey, whereas the By-law permits a maximum distance of 14.5 metres for any storey above the first from the established building line;

as it relates to a new two-storey detached dwelling.

NOTICE REQUIREMENTS FOR LANDLORDS AND CONDOMINIUM CORPORATIONS:

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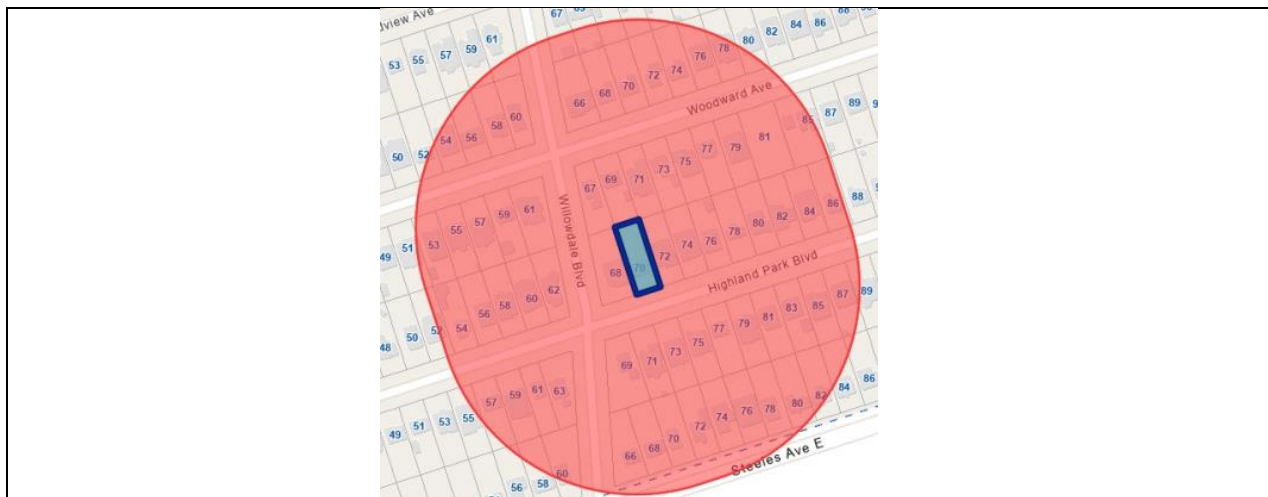
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